



# **TOWN OF RIB MOUNTAIN**

Where Nature, Family & Sport Come Together

[www.townofribmountain.org](http://www.townofribmountain.org)

3700 North Mountain Road  
Wausau, Wisconsin 54401  
(715) 842-0983  
Fax(715) 848-0186

## PLAN COMMISSION

### OFFICIAL NOTICE & AGENDA

A meeting of the Town of Rib Mountain Plan Commission will be held on **Wednesday, July 11<sup>th</sup>, 2018; 6:30 P.M. at the Town of Rib Mountain Municipal Center, 3700 North Mountain Road.** The Town Board may attend for purposes of gathering information. Subject matter for consideration and possible action follows:

- 1.) Call to Order
- 2.) Roll Call
- 3.) Minutes
  - a. **Approval of minutes from the 6-27-2018 Plan Commission meeting.**
- 4.) Public Hearing(s):
  - a. **Halle Properties LLC, applicant, requests conditional use approval for an indoor maintenance use at the property addressed 4201 Rib Mountain Drive. Parcel #34.102807.016.007.00.00. Docket #2018-28.**
  - b. **SC Swiderski, applicant, requests General Development Plan and Precise Implementation Plan approval for development of five (5) four-unit multifamily structures at the property addressed 1701 Oriole Lane. Parcel #34.102807.003.012.00.00. Docket #2018-30.**
- 5.) Certified Survey Map Review(s):
  - a. **Halle Properties LLC, applicant, requests certified survey map approval for the property addressed 4201 Rib Mountain Drive. Parcel #34.102807.016.007.00.00. Docket #2018-29.**
  - b. **REI Engineering, agent, requests certified survey map approval for the property addressed 2804 South Mountain Road. Parcel #34.762.000.032.00.00 Docket #2018-31.**
- 6.) Preliminary Plat Review(s):
  - a. **Paul Hackel, applicant, requests preliminary plat review for Stone Horizon subdivision at the property addressed 6200 South Mountain Road. Parcel #34.182807.016.002.00.00 and #34.182807.013.000.00.00. Docket #2018-32.**
- 7.) Correspondence/ Questions/ Town Board Update:
- 8.) Public Comment
- 9.) Adjourn

TOWN OF RIB MOUNTAIN  
PLANNING COMMISSION MEETING  
June 27, 2018

Chairperson Harlan Hebbe, called the meeting of the Plan Commission to order at 6:30 pm. Other Plan Commission members present included Laura McGucken, Jim Hampton, Ryan Burnett, Tom Steele and Jay Wittman. Also present were Community Development Director, Steve Kunst, and Building Inspector / Assistant Zoning Administrator, Paul Kufahl.

MINUTES:

**Motion by Tom Steele, second by Jay Wittman to approve the minutes of the June 13, 2018 Plan Commission meeting, as presented. Motion carried 5-0. Tom Steele abstained.**

NEW BUSINESS:

- a. *Jeremy Foss, applicant, requests a pre-application discussion for potential Unified Development District project. Docket #2018 – 25.*

Community Development Director, Steve Kunst, identified the location of the potential development, noting the current zoning is Urban Commercial; however, the proposal may develop as a unified development district. Kunst also noted the three-lot development has shared access with Kwik Trip on the private access road to the south, as well as from Lilac Ave to the east.

Jeremy Foss, applicant, presented the three-lot development which would include four (4) tenant spaces, two of which include drive-thru restaurants. He noted it would be a phased development where they would construct and own the building on proposed lot 2 and they would get the remaining lots pad ready. Foss added there would be a shared access and stormwater agreement for all lots. He also presented an initial concept for landscaping, indicating they intend to screen the retaining wall on the adjacent property. After Plan Commissioners asked about the aesthetics of the building, it was noted they would use four-sided architecture, which would respect the importance of the buildings appearance along Rib Mountain Drive even though the true building fronts would face east.

The applicant and Commissioners discussed the elevation difference and continuity of landscaping along Rib Mountain Drive, progress of the phase 1 environmental study, shared access agreements, traffic flows and parking requirements. Commissioners' indicated they were most concerned about the flow of traffic onsite with two drive-thru tenants, the quantity of required parking and overall aesthetics of the development. They also noted they would like to see examples of car stacking and traffic flow should the applicant chose to pursue the site's development.

OLD BUSINESS:

- a. *Discussion on potential zoning code amendments related to small-scale nonmetallic mining operations. Docket #2018-26.*

Kunst indicated current extraction use standards are intended to cover large-scale, commercial quarries and staff is looking for Plan Commission input on possible amendments to those standards to address smaller scale operations. He reminded Commissioners of two recent projects which were approved, whose intent was to create a wildlife pond and whose duration was limited to 5 years.

Staff and Commissioners discussed a variety of pond and lot size requirements, overall intent of the projects, durations, and adjacent property buffers. The general consensus was to establish a maximum percentage of extracted area and pond to overall lot size, with the maximum pond size not exceeding five (5) acres. Commissioners felt comfortable with a 5-year project duration but would like to verify time limits can be applied to such uses. Additionally, they directed staff to determine logical bufferyard requirements for applicants who wish to decrease the required activity area setbacks.

- b. *Discussion on potential zoning code amendments related to detached garages. Docket #2018-27*

Building Inspector, Paul Kufahl, stated Commissioners have indicated they may like to see some changes to the accessory buildings code to allow applicants the ability to apply for a structure larger than 1,500 square feet in certain instances. He also noted the Plan Commission may be interested in capping the number of plumbing fixtures and addressing height concerns.

Commissioners generally agreed the current 1,500 square foot maximum accessory building size is adequate in most areas of Town. The Commission also noted 1,000 square feet of building area may be more acceptable in more dense areas within the sanitary district. Commissioners were generally concerned about the overall size and height of accessory buildings dwarfing the principle structure and neighboring residential homes and felt allowing for showers or bathtubs in accessory buildings may invite an undesired dwelling unit use. The Commission directed staff to research the number of parcels the proposed changes would affect, assign a minimum lot size for those situations, and consider increased setbacks to minimize the impact on neighboring properties.

CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

Town Board Update – Kunst indicated the Town Board approved the Plan Commission’s recommendations at their last meeting.

Next Meeting – Kunst noted the first meeting in July will have a full agenda; including a multi-family development proposal, a preliminary plat review, a certified survey map review, and a conditional use / site plan review for a new commercial building.

Countywide Addressing – Commissioners and Staff discussed the recent Appeals Court decision and potential next steps.

Electronic Messaging Signs – Jay Wittman indicated he would like to find a way to work with Mountain of the Lord Lutheran Church to accommodate their request for an electronic messaging component within their existing monument sign. Staff and Commissioners discussed a number of scenarios and the Commission recommended staff include an item on a future agenda to discuss potential code amendments.

PUBLIC COMMENT: None Provided

ADJOURN:

**Motion by Tom Steele, second by Jim Hampton to adjourn the Plan Commission Meeting.**

**Motion carried 6-0. Meeting adjourned at 8:05 pm.**

Respectfully Submitted,

Paul Kufahl, Building Inspector / Assistant Zoning Administrator

**REPORT TO: PLAN COMMISSION**

**FROM:** Steve Kunst, Community Development Director

**DATE:** July 6, 2017

**SUBJECT:** Discount Tire Conditional Use Review

**APPLICANT:** Halle Properties LLC

**PROPERTY OWNER:** RBMTN LLC

**PROPERTY ADDRESS:** 4201 Rib Mountain Drive

**PARCEL #:** 34.45.002.001.00.00

**REQUEST:** Site plan approval for a new three (3) tenant retail building. This request requires only Plan Commission action (no recommendation to Town Board).

**ZONING:** Suburban Commercial (SC)

**ADJACENT ZONING:** SC (North, South, and East); UDD (West)

**FUTURE LAND USE MAP DESIGNATION:** Commercial

**NARRATIVE:**

The applicant seeks Plan Commission recommendation on a conditional use request for a new Discount Tire facility at the property addressed 4201 Rib Mountain Drive (currently vacant). The facility is proposed as an 8,192 square foot building with three auto bays. The proposed uses are identified within the Town’s Zoning Ordinance as ‘Indoor Sales and Service’ and ‘Indoor Maintenance Service,’ representing a conditional use in the Suburban Commercial zoning district. The subject property does contain delineated wetlands proposed to be disturbed as part of the development. The applicant received a letter from the Wisconsin Department of Natural Resources approving the disturbance.

**INDOOR MAINTENANCE STANDARDS:**

*Indoor Maintenance Service.* Description: Indoor maintenance services include all land uses which perform maintenance services (including repair) and contain all operations (except loading) entirely within an enclosed building. Because of the noise, odor, dust, and outside storage associated with certain types of vehicle and other repair businesses, all indoor maintenance service and repair activities are a conditional use in the commercial zoning districts listed below:

1. Permitted by Right {SI, UI, HI}
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations: {NC, SC, UC, CC}
  - a. Outside vehicle storage shall be restricted to licensed vehicles waiting to be repaired. Junk vehicles or vehicles which are being used for parts are not allowed to be stored outside.

**Current Land Use:** Vacant Land

**Proposed Land Use:** Indoor Maintenance Service & Indoor Sales and Service

**Proposed Site Visitors (combined):**

- 1) Employees: 15
- 2) Daily Customers: 100 per day, 600 per week

**Hours of Operation:** Monday – Friday 8:00 am – 6:00 pm / Saturday 8:00 am – 5:00 pm

**Ingress/Egress Access:**

- Access to the property is available from northbound Rib Mountain Drive (right in / right out) as well as the private access road to the east, which is accessible from Morning Glory and Cloverland Lanes.

**Parking (1 space per 300 ft<sup>2</sup> of floor area + 1 space per employee at largest shift):**

- 1) Total Parking Required = 43 spaces
- 2) Total Parking Provided = 49 spaces

**Landscaping**

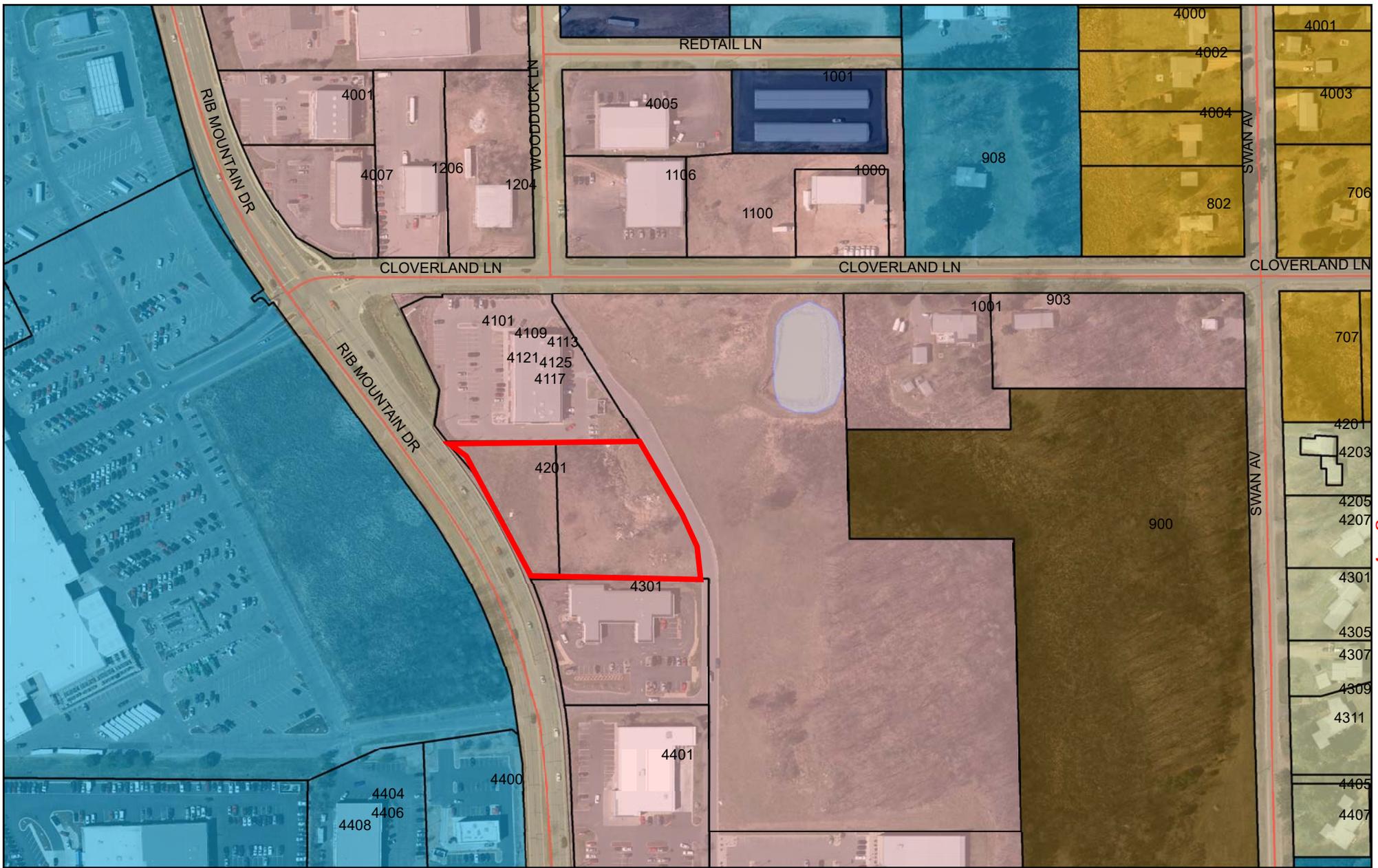
- 1) Landscape Surface Ratio
  - Required - 0.25
  - Proposed - 0.46
- 2) Landscape Points
  - Building Foundation
    - Required – 308
    - Provided – 309
  - Developed Lots
    - Required – 164
    - Provided – 180
  - Street Frontage
    - Required – 236
    - Provided – 245
  - Paved Areas or Parking Stalls
    - Required – 489
    - Provided – 490
  - Total
    - Required – 1,197
    - Provided – 1,224

**ADDITIONAL CONSIDERATION(S):**

- Approval should be conditioned upon a finalized stormwater management plan approved by the Street and Park Superintendent
- Approval should be conditioned on approval of a stormwater management maintenance agreement approved by the Street and Park Superintendent
- Approval should be conditioned upon signage plans meeting current ordinance standards and approved by staff

**ACTIONS TO BE TAKEN:**

- 1. Recommend approval of the conditional use for a new Discount Tire facility at the property addressed 4201 Rib Mountain Drive, as presented.
- 2. Recommend approval of the conditional use for a new Discount Tire facility at the property addressed 4201 Rib Mountain Drive, with conditions/modifications.
- 3. Recommend denial of the conditional use for a new Discount Tire facility at the property addressed 4201 Rib Mountain Drive.



4a-3

*Rib Mountain:*  
"Where Nature, Family, and Sport Come Together"

Prepared by:  
**mi-TECH**  
www.mi-tech.us

Map Printed: 4/19/2018

<ul style="list-style-type: none"> <li>▭ Parcel Outline</li> <li>▭ Parcel Address</li> <li><b>Zoning Districts</b></li> <li>▭ Unzoned</li> <li>▭ CR-5ac Countryside Residential</li> <li>▭ EO Estate Office Residential</li> <li>▭ ER-1 Estate Residential</li> <li>▭ MR-4 Mixed Residential</li> <li>▭ NC Neighborhood Commercial</li> </ul>	<ul style="list-style-type: none"> <li>▭ OR Outdoor Recreation</li> <li>▭ RA-1 Rural Agricultural</li> <li>▭ RA-2 Rural Agricultural</li> <li>▭ ROW</li> <li>▭ RR Rural Residential</li> <li>▭ SC Suburban Commercial</li> <li>▭ SI Suburban Industrial</li> <li>▭ SO Suburban Office Residential</li> </ul>	<ul style="list-style-type: none"> <li>▭ SR-2 Suburban Residential</li> <li>▭ SR-3 Suburban Residential</li> <li>▭ UC Urban Commercial</li> <li>▭ UDD Unified Development</li> <li>▭ UR-8 Urban Residential</li> <li>▭ Building Outline</li> <li>▭ Road Centerline</li> <li>▭ Water Feature</li> </ul>
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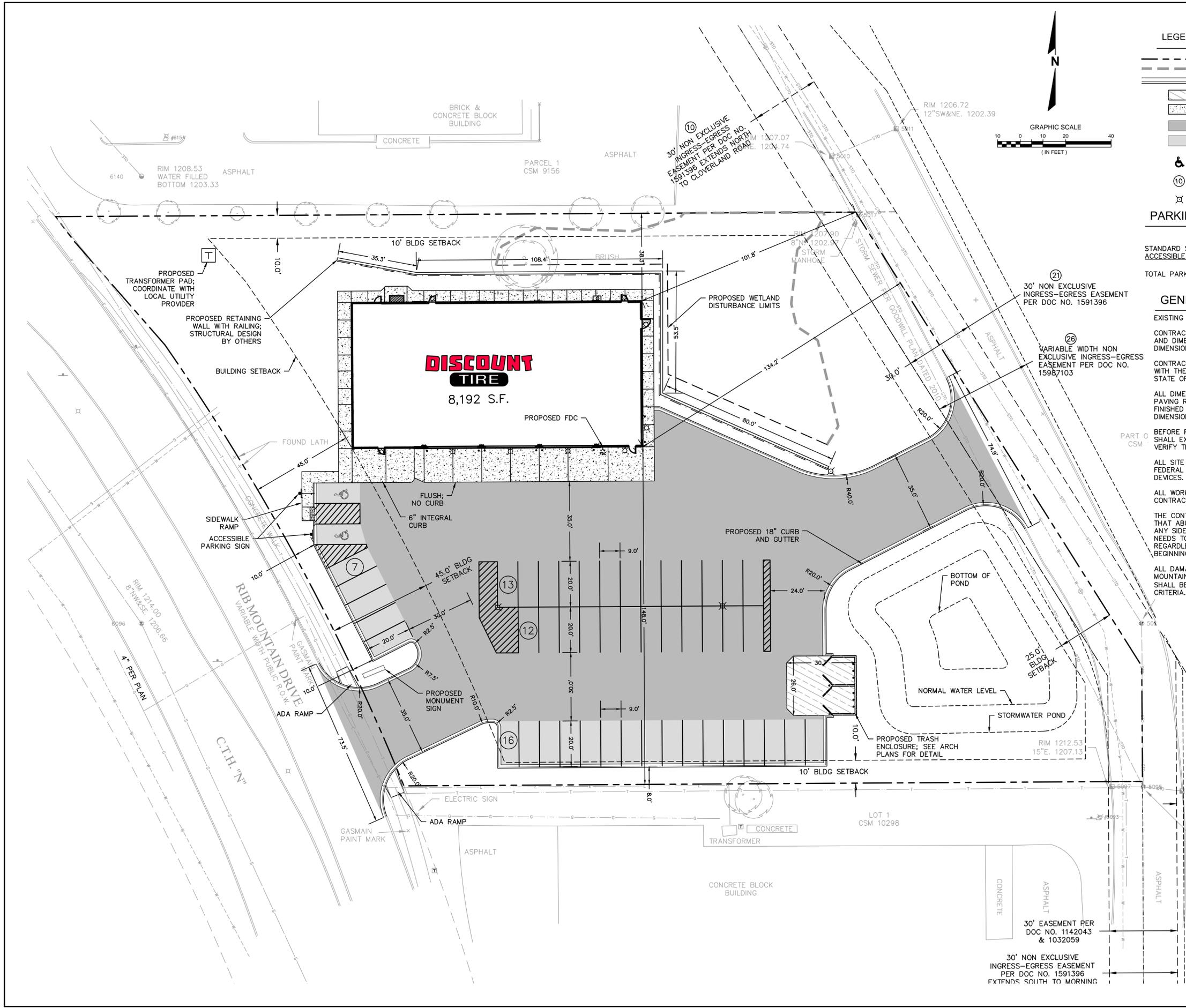
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DISCOUNT TIRE - WIW 16745 RIB MOUNTAIN, WI		 CREATIVITY BEYOND ENGINEERING 16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	DATE	DESCRIPTION
LOCATION EXHIBIT				
		© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 06/27/2018 SCALE: Custom JOB NO. 3180037 PROJECT MANAGER: TODD MOSHER DESIGNED BY: CHECKED BY:		
		<b>SHEET NUMBER</b>		
		EX01		







**LEGEND**

- PROPOSED PROPERTY LINE
- - - EXISTING WETLAND LINE
- ==== PROPOSED 18" CURB & GUTTER
- ▨ HEAVY-DUTY CONCRETE PAVEMENT
- ▩ CONCRETE SIDEWALK
- ▧ HEAVY-DUTY ASPHALT PAVEMENT
- ▦ STANDARD-DUTY ASPHALT PAVEMENT
- ♿ PROPOSED ACCESSIBLE PAVEMENT MARKING
- ⊠ VAN ACCESSIBLE STALL
- ⊙ STALL PARKING COUNT
- ⊗ PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN)

**PARKING CALCULATIONS**

	PROPOSED	REQUIRED
STANDARD SPACES	46	41 (1 PER 300 S.F. + 15 EMPLOYEES)
ACCESSIBLE SPACES	2	2
<b>TOTAL PARKING SPACES</b>	<b>48</b>	<b>43</b>

**GENERAL NOTES:**

EXISTING TOPOGRAPHY OBTAINED BY raSmith, DATED 5/14/2018.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF RIB MOUNTAIN EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

ALL WORK IN THE PUBLIC ROW SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER OF THE CONDITION EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION.

ALL DAMAGED PAVEMENT DUE TO CONSTRUCTION RELATED ACTIVITIES IN RIB MOUNTAIN DRIVE OR WOOD DUCK LANE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH CITY'S PAVEMENT PATCHING CRITERIA.

**SITE STATISTICS**

	SQFT	AC	COVERAGE
PARCEL AREA	85,345	1.96	
EXISTING BUILDING AREA	0	0.00	00.0%
EXISTING PERVIOUS AREA	82,700	1.90	96.9%
EXISTING IMPERVIOUS AREA	2,645	0.06	3.1%
PROPOSED BUILDING AREA	8,192	0.19	9.6%
PROPOSED PERVIOUS	43,486	1.00	51.0%
PROPOSED IMPERVIOUS	33,667	0.77	39.4%

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 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
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CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF RIB MOUNTAIN EROSION CONTROL ORDINANCE, THE WISCONSIN DNR STORMWATER CONSTRUCTION AND POST CONSTRUCTION TECHNICAL STANDARDS, THESE DOCUMENTS, THE MOST STRINGENT TO APPLY.

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RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.

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DESCRIPTION	DATE	

**DISCOUNT TIRE - W1W 16745  
RIB MOUNTAIN, WI**

**DIMENSIONED SITE PLAN**

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DATE: 07/06/18

SCALE: 1" = 20'

JOB NO. 3180037

PROJECT MANAGER:  
ROBERT J. HARLEY, P.E.

DESIGNED BY: CBW

CHECKED BY: JAH

**SHEET NUMBER**  
C200

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
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# LANDSCAPE CALCULATIONS

## SECTION 17.144 - Landscaping Requirements for Building Foundations

- Required - 80 points per 100 LF of foundation =  $80 \times \frac{384}{100} = 308$  points
- Provided - Low Evergreen Trees 8 x 12 = 96
- Med Deciduous Shrubs 36 x 3 = 108 (in wetland)
- Ex. Med Dec. Shrubs 36 x 3 = 105 (in wetland)
- Total 309 points

## SECTION 17.145 - Landscaping Requirements for Developed Lots

- Required - 20 points per 1000 sf of GFA =  $20 \times \frac{1192}{1000} = 164$  points
- Provided - Tall Evergreen Trees 1 x 30 = 30
- Existing Tall Dec. Trees 5 x 30 = 150
- Total 180 points

## SECTION 17.146 - Landscaping Requirements for Street Frontages

- Required - 80 points per 100 LF of street frontage =  $80 \times \frac{298}{100} = 236$  points
- Climax/ Tall Trees must be at least 50% of points
- Med / Low Trees must be at least 30% of points
- Provided - Climax Trees 5 x 35 = 175
- Low Dec Trees 7 x 10 = 70
- Total 245 Points

Climax / Tall Trees = 175 points or 71% of total points  
 Low Trees = 80 points or 29% of total points

## SECTION 17.147 - Landscaping Requirements for Paved Areas

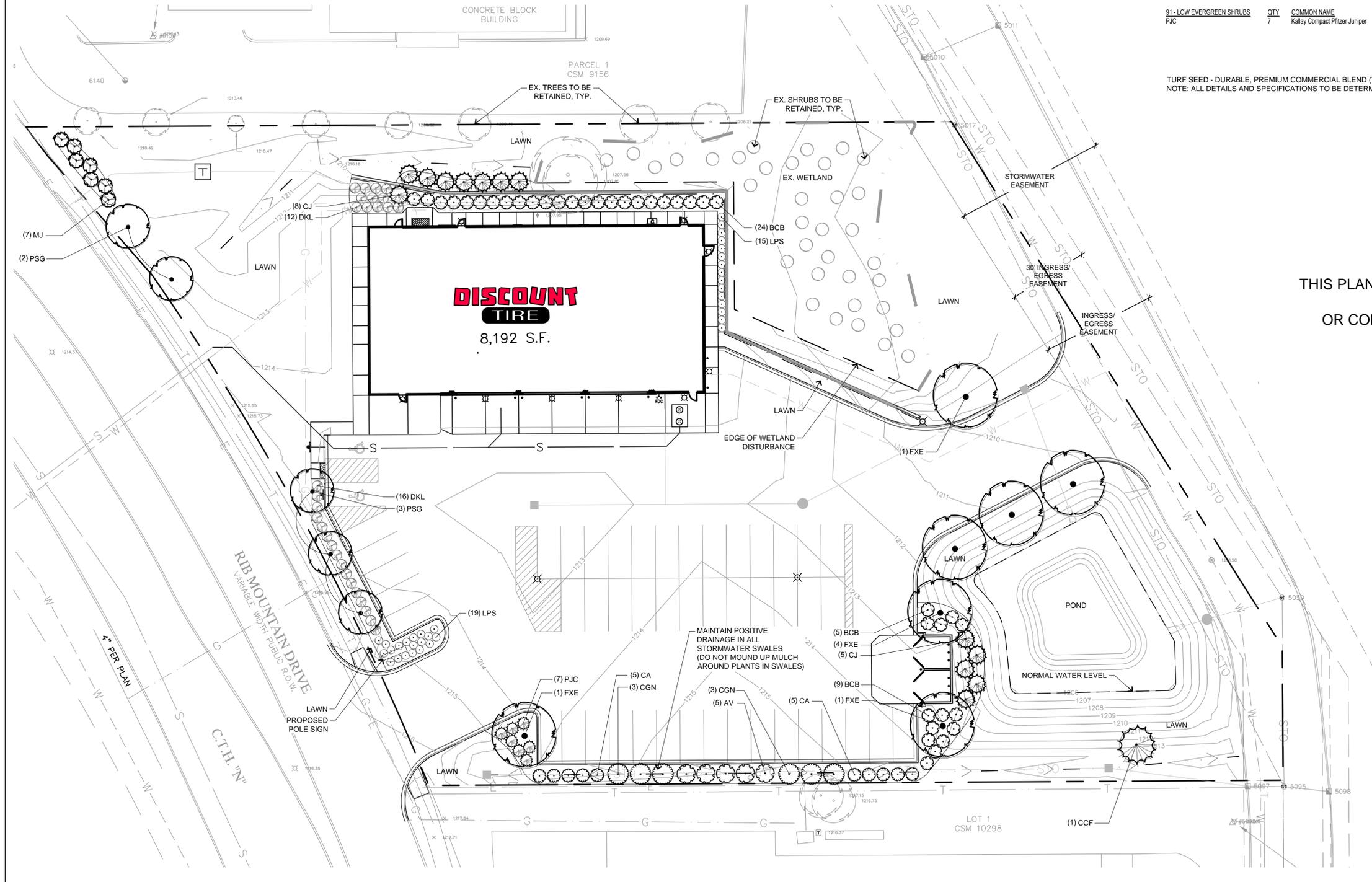
- Required - 160 points per 10,000 sf of paved area =  $160 \times \frac{30639}{10000} = 489$  points
- Med / Low Trees must be at least 30% of points
- Shrubs must be at least 40% of points
- Provided - Med Dec Trees 7 x 15 = 105
- Tall EG Trees 3 x 30 = 90
- Low EG Trees 5 x 12 = 60
- Tall Dec Shrubs 21 x 5 = 105
- Med Dec Shrubs 30 x 3 = 90
- Low Dec Shrubs 19 x 1 = 19
- Low EG Shrubs 7 x 3 = 21
- Total 490 points

Med / Low Trees = 165 points or 33% of total points  
 Shrubs = 235 points or 48% of total points

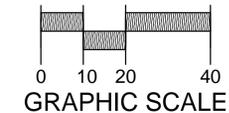
# PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CCF	1	White Fir	Abies concolor	7-8' HT	B&B	Semi-sheared, fully branched to ground
1 - CLIMAX TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PSG	5	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	2 1/2' CAL	B&B	Full, matching heads
3 - MEDIUM DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
FXE	7	Frontier Elm	Ulmus x 'Frontier'	2 1/2' CAL	B&B	Full, matching heads
4 - LOW DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
MJ	7	Emerald Spire Crabapple	Malus x 'Jelgreen'	6' HT	CONT.	
6 - LOW EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CJ	13	Canaert Juniper	Juniperus virginiana 'Canaertii'	6' HT	B&B	Semi-sheared, fully branched to ground
7 - TALL DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA	10	Dwarf Red Twig Dogwood	Cornus sericea 'Alleman's Compact'	3' HT	CONT.	
CGN	6	Center Glow Ninebark	Physocarpus opulifolius 'Center Glow'	3' HT	CONT.	
AV	5	Arrowwood Viburnum	Viburnum dentatum	3' HT	B&B	
8 - MEDIUM DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
BCB	38	Black Chokeberry	Aronia melanocarpa	24" HT	CONT.	
DKL	28	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	24" HT	CONT.	
9 - LOW DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
LPS	34	Little Princess Spirea	Spiraea x japonica 'Little Princess'	18" HT	CONT.	
91 - LOW EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	7	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT.	

TURF SEED - DURABLE, PREMIUM COMMERCIAL BLEND (TO BE SPECIFIED)  
 NOTE: ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.



THIS PLAN IS FOR MUNICIPAL REVIEW  
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 OR CONSTRUCTION PURPOSES



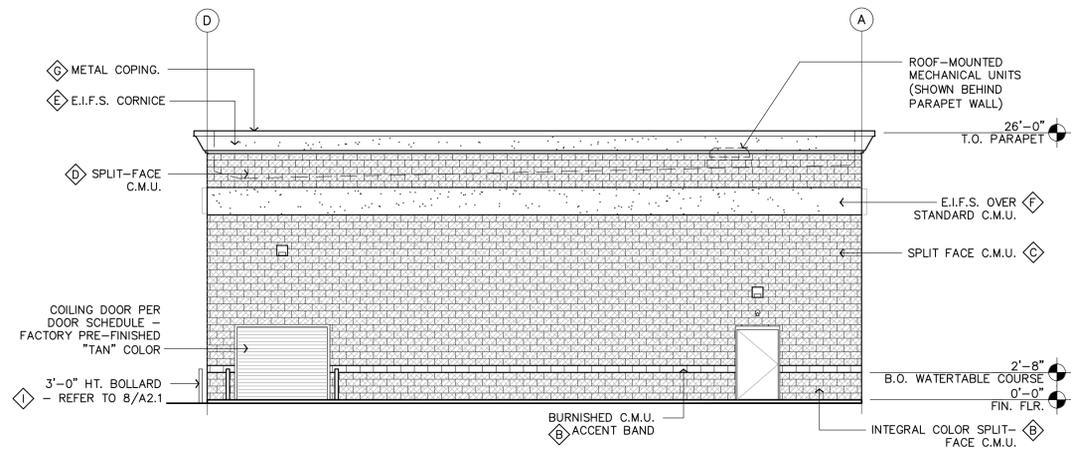
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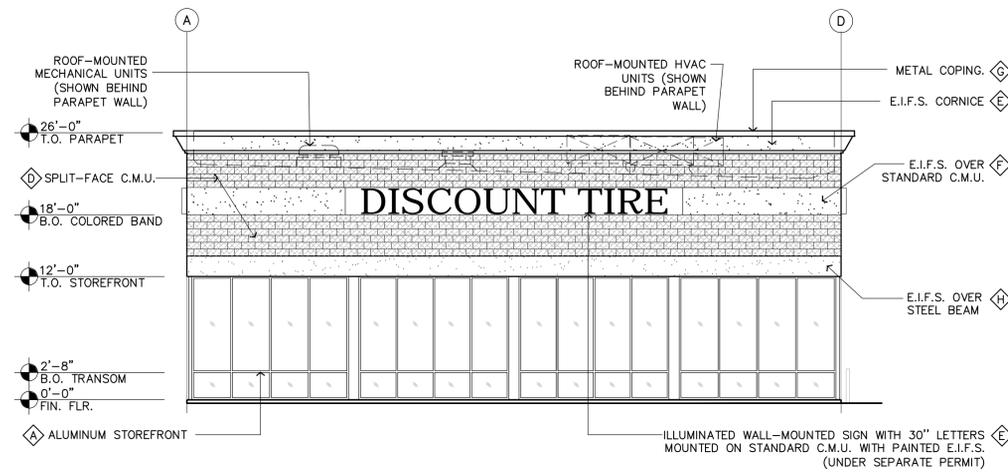
DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 <a href="http://rasmith.com">rasmith.com</a>	
CREATIVITY BEYOND ENGINEERING Brookfield, WI   Appleton, WI   Madison, WI   Cedarburg, WI   Mount Pleasant, WI Naperville, IL   Pittsburgh, PA   Irvine, CA	
DISCOUNT TIRE - W1W 16745	LANDSCAPE PLAN
RIB MOUNTAIN, WI	
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 07/06/18 SCALE: 1" = 20' JOB NO. 3180037 PROJECT MANAGER: ROBERT J. HARLEY, P.E. DESIGNED BY: ALS CHECKED BY: LJH SHEET NUMBER L100	





**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

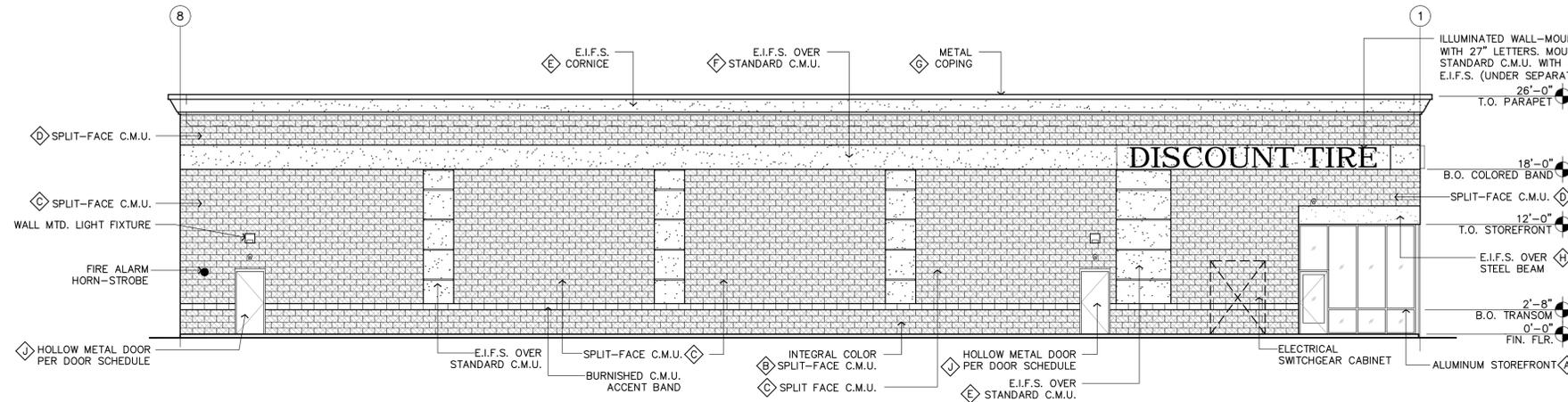


**WEST ELEVATION (Rib Mountain Dr)**

SCALE: 1/8" = 1'-0"

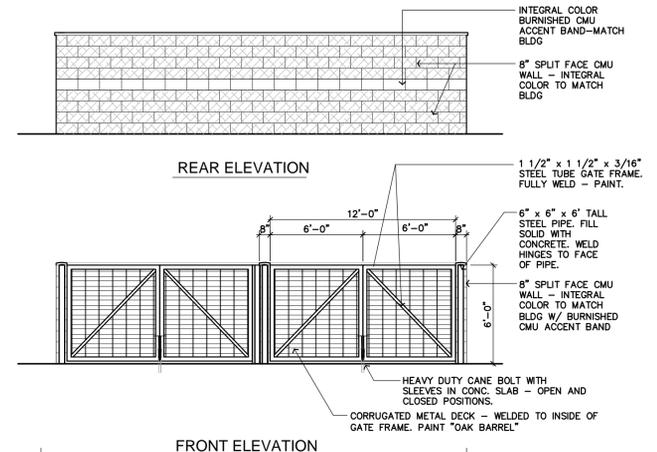
**FINISH LEGEND**

- Ⓐ ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
- Ⓑ INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) COLOR TO MATCH "OAK BARREL"
- Ⓒ GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS #7714 "OAK BARREL"
- Ⓓ GRAY SPLIT-FACE CMU - PAINT SHERWIN WILLIAMS "ANTIQUE WHITE"
- Ⓔ PAINT - SHERWIN WILLIAMS #6119 "ANTIQUE WHITE"
- Ⓕ E.I.F.S. BAND PAINT SHERWIN WILLIAMS SW#7585 "SUNDRIED TOMATO"
- Ⓖ METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH BERRIDGE "SIERRA TAN" COLOR
- Ⓗ EXPOSED STEEL / EIFS - PAINTED TO MATCH "OAK BARREL"
- Ⓘ STEEL BOLLARDS - PAINTED TO MATCH "OAK BARREL"
- Ⓝ HOLLOW METAL DOORS - PAINTED TO MATCH "OAK BARREL"
- Ⓚ ELECTRICAL SWITCHGEAR CABINET - PAINTED TO MATCH "OAK BARREL"



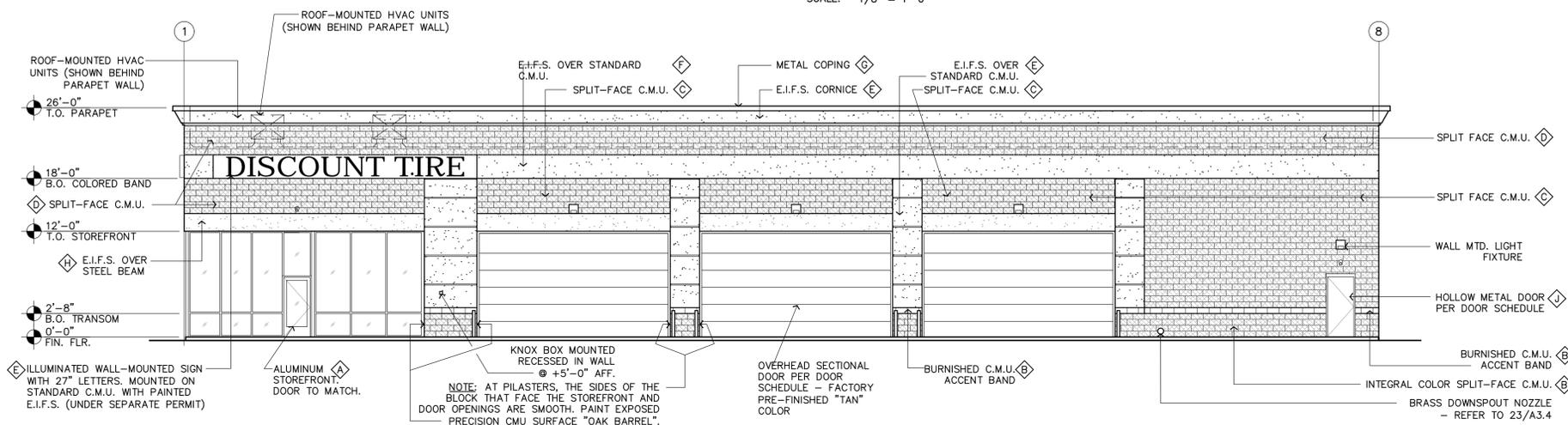
**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



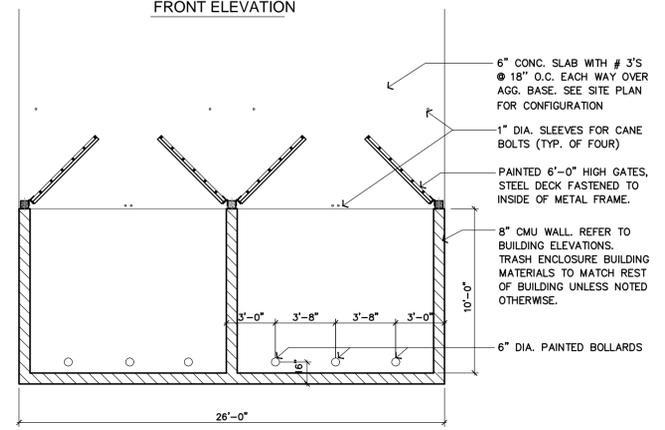
**REAR ELEVATION**

**FRONT ELEVATION**



**SOUTH ELEVATION (Rib Mountain Dr)**

SCALE: 1/8" = 1'-0"



**TRASH ENCLOSURE PLAN / ELEVATIONS**

1/8" = 1'-0"



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**CONCEPTUAL ELEVATIONS**

4201 Rib Mountain Dr.  
WAUSAU, WI 54401



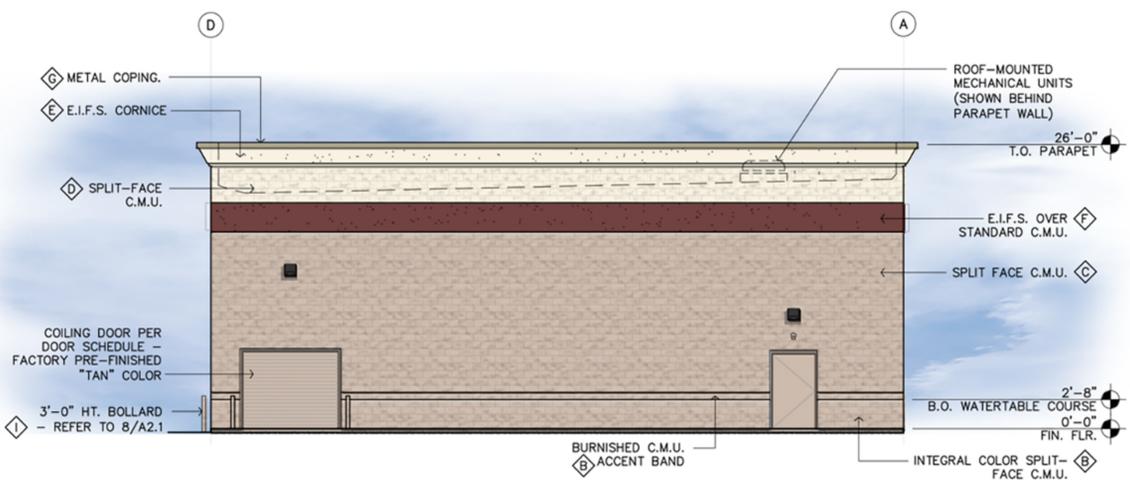
Ei Design Inc.  
1260 Corona Pointe,  
Suite 301  
Corona, CA 92879  
951-444-5642  
eidesigninc.com

BUILDING MODEL	ALT - 1L
REVISION	
DATE	06.25.18
SCALE	AS NOTED
PROJECT NUMBER	2018040042

Sheet No.

**A.2**

4a-15



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

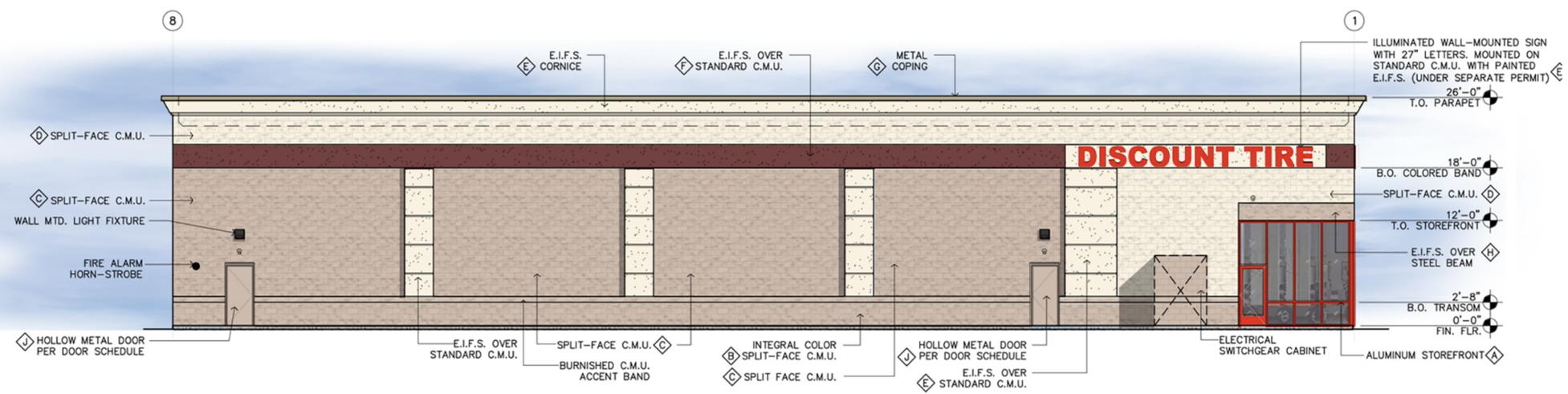


**WEST ELEVATION (Rib Mountain Dr)**

SCALE: 1/8" = 1'-0"

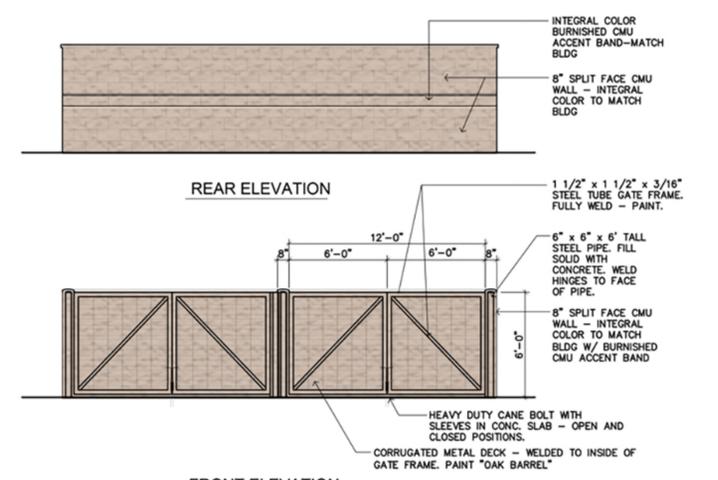
**FINISH LEGEND**

- Ⓐ ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
- Ⓑ INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) COLOR TO MATCH "OAK BARREL"
- Ⓒ GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS #7714 "OAK BARREL"
- Ⓓ GRAY SPLIT-FACE CMU - PAINT SHERWIN WILLIAMS "ANTIQUE WHITE"
- Ⓔ PAINT - SHERWIN WILLIAMS #6119 "ANTIQUE WHITE"
- Ⓕ E.I.F.S. BAND PAINT SHERWIN WILLIAMS SW#7585 "SUNDRIED TOMATO"
- Ⓖ METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH BERRIDGE "SIERRA TAN" COLOR
- Ⓗ EXPOSED STEEL / EIFS - PAINTED TO MATCH "OAK BARREL"
- Ⓘ STEEL BOLLARDS - PAINTED TO MATCH "OAK BARREL"
- Ⓙ HOLLOW METAL DOORS - PAINTED TO MATCH "OAK BARREL"
- Ⓚ ELECTRICAL SWITCHGEAR CABINET - PAINTED TO MATCH "OAK BARREL"



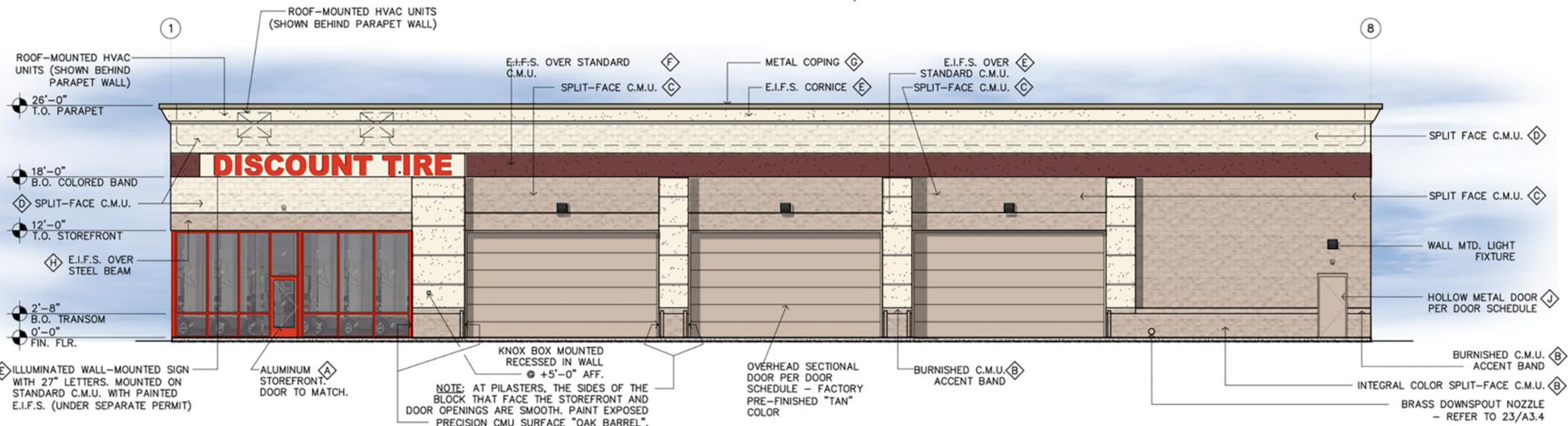
**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

**FRONT ELEVATION**



**SOUTH ELEVATION (Rib Mountain Dr)**

SCALE: 1/8" = 1'-0"

**TRASH ENCLOSURE PLAN / ELEVATIONS**

1/8" = 1'-0"



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**COLOR ELEVATIONS**

**4201 Rib Mountain Dr.  
WAUSAU, WI 54401**



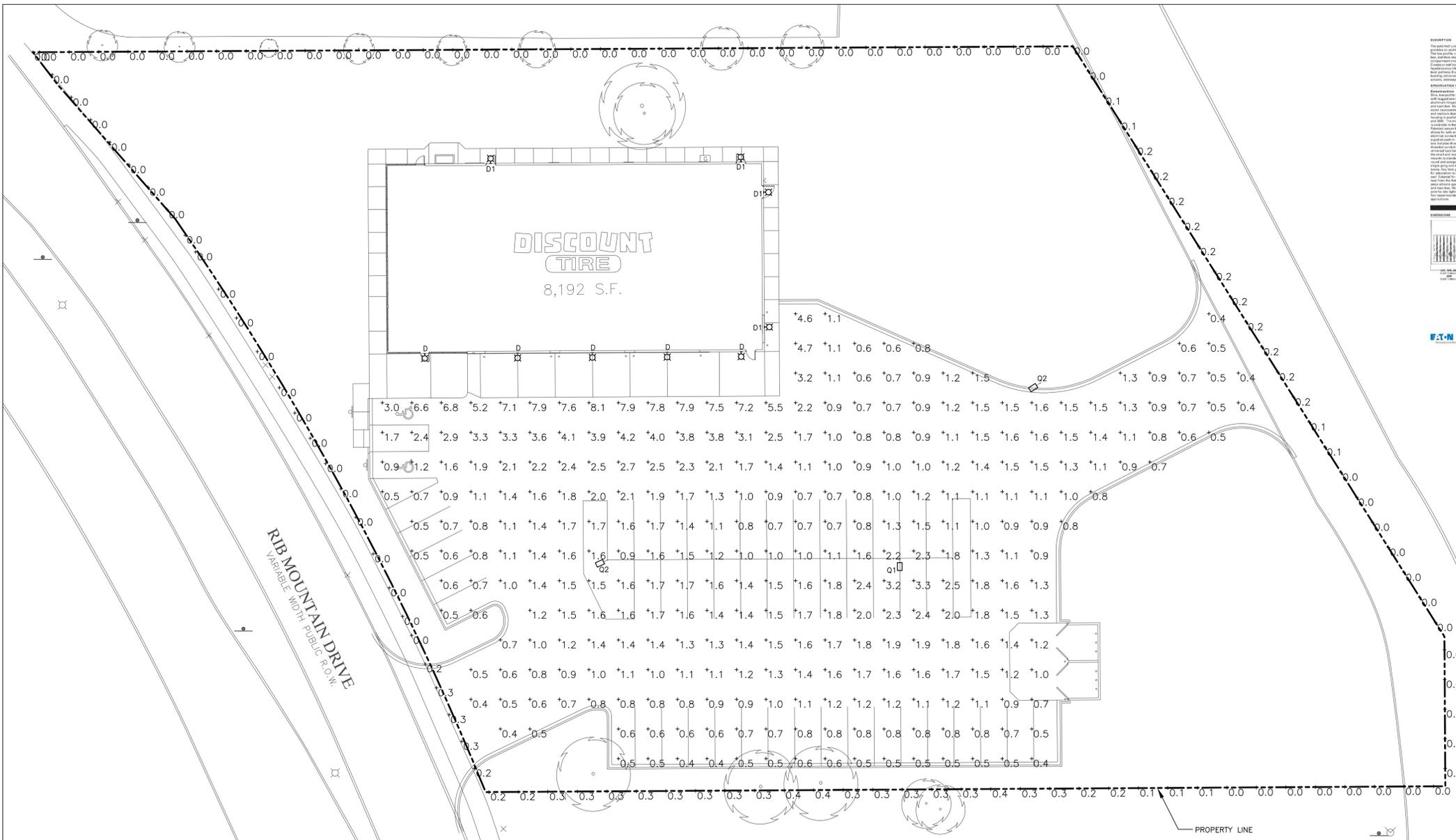
**Ei Design Inc.**  
1260 Corona Pointe,  
Suite 301  
Corona, CA 92879  
951-444-5642 (T)  
eidesigninc.com

BUILDING MODEL

<b>ALT - 1L</b>
REVISION
DATE 06.25.18
SCALE AS NOTED
PROJECT NUMBER 2018040042

Sheet No.

**A.3**



**Lumark**

**XTOR CROSSTOUR LED**

XTOR CROSSTOUR LED is a high performance LED wall pack luminaire. It features a die-cast aluminum housing and a clear polycarbonate lens. The luminaire is designed for use in parking lots, walkways, and other outdoor areas. It is available in 81W and 38W versions.

**Specifications:**

- Power: 81W / 38W
- Voltage: 120V
- Mounting: Surface Mounted on Wall
- Beam Spread: 120°
- Life Span: 50,000 hours

**Lumark**

**XTOR CROSSTOUR MAXX LED**

XTOR CROSSTOUR MAXX LED is a high performance LED wall pack luminaire. It features a die-cast aluminum housing and a clear polycarbonate lens. The luminaire is designed for use in parking lots, walkways, and other outdoor areas. It is available in 81W and 38W versions.

**Specifications:**

- Power: 81W / 38W
- Voltage: 120V
- Mounting: Surface Mounted on Wall
- Beam Spread: 120°
- Life Span: 50,000 hours

**Lithonia**

**KAD LED Area Luminaire**

KAD LED Area Luminaire is a high performance LED area luminaire. It features a die-cast aluminum housing and a clear polycarbonate lens. The luminaire is designed for use in parking lots, walkways, and other outdoor areas. It is available in 40K and 50K versions.

**Specifications:**

- Power: 40W / 50W
- Voltage: 208V
- Mounting: 22' Pole with 3' Base
- Beam Spread: 120°
- Life Span: 50,000 hours

**EXTERIOR LIGHT FIXTURE SCHEDULE**

FIXT. TAG	DESCRIPTION	MANUFACT.	CATALOG NUMBER	LAMP	BALLAST	VOLTAGE	WATTS	MOUNTING	LUMEN OUTPUT	NOTES
D	LED WALL PACK	LUMARK	XTOR8B	81W LED	INCLUDED	120	81	SURFACE MOUNTED ON WALL	7,192	
D1	LED WALL PACK	LITHONIA	XTOR4B	38W LED	INCLUDED	120	38	SURFACE MOUNTED ON WALL	4,270	
Q1	HID POLE LIGHT	LITHONIA	KAD LED 40C 1000 40K R4 208 LPI	40 LED'S TYPE 4 DISTRIBUTION	INCLUDED	208	141	22' POLE WITH 3' BASE	14,907	
Q2	HID POLE LIGHT	LITHONIA	KAD LED 40C 1000 40K R5 208 LPI	40 LED'S TYPE 5 DISTRIBUTION	INCLUDED	208	141	22' POLE WITH 3' BASE	15,821	

**CALCULATION SUMMARY**

CALCULATION ZONE	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN
PARKING LOT	1.6	8.1	0.4	20.3:1
PROPERTY LINE	0	0.4	0	N/A

ALL LEVELS ARE IN FOOTCANDLES

NO.	REVISION	DATE



**Ei DESIGN**  
1260 Corona Pointe, Ste 301  
Corona, CA 92879  
951-444-5642 (T)

STAMP

CONSULTANT



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**Discount Tire WIW 16745 RIB MOUNTAIN, WI**

STORE NUMBER:  
WIW 16745  
PROJECT MANAGER:  
DTC  
PREPARED BY:  
DIALECTIC, INC.  
PH: (816) 997-9601  
FAX: (816) 997-9602  
DRAWN BY:  
GLM

SHEET TITLE:  
SITE PHOTOMETRIC PLAN  
DATE: 02-08-17

SHEET NUMBER:  
**ES1.0**

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310 W 20th Street, Suite 200  
Kansas City, MO 64108  
Wisconsin Certificate of Authorization Number 2443-011  
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**NOT FOR CONSTRUCTION**

**REPORT TO PLAN COMMISSION**

**FROM:** Steve Kunst, Community Development Director  
**DATE:** July 5, 2018  
**SUBJECT:** General Development and Precise Implementation Plan Review

**APPLICANT:** SC Swiderski LLC, agent  
**PROPERTY OWNER:** Richard Austin

**PROPERTY ADDRESS(S):** 1701 Oriole Lane

**REQUEST:** General Development Plan (GDP) and Precise Implementation Plan (PIP) approval for development of five (5), four-unit multifamily structures.

**CURRENT ZONING:** Mixed Residential-4 (MR-4)  
**ADJACENT ZONING:** SR-3 (North & West); SC (South); UDD (East)  
**PROPOSED ZONING:** UDD

**FUTURE LAND USE DESIGNATION:** Multifamily Residential

**NARRATIVE:**

The applicant seeks Plan Commission recommendation on a GDP/PIP for the development of five (5) four-unit multifamily buildings on 4.32 vacant acres of land off Oriole Lane west of the Barnes and Noble / JoAnn Fabrics site. The property is currently zoned MR-4, allowing for single family or duplex style development at a density of four (4) units per acre (17 total units rounded up). The proposal calls for a density of 4.63 units per acre (20 total units), utilizing four-unit buildings.

The Plan Commission last discussed this concept at a pre-application conference on June 13<sup>th</sup>, 2018. Since that time, the applicant hosted another neighborhood meeting at the Quality Inn in Rib Mountain (June 28<sup>th</sup>). Since the original submittal in April, the applicant decreased overall site density by four (4) units by eliminating one structure, developed an alternative layout limiting access points onto Oriole Lane, added guest parking, increased setbacks to the west property line adjacent to existing residences, altered the layout of units so as to not have second floor unit balconies directly facing existing residences to the west, added a wet pond to the center of the development, and increased the plantings along the west property line.

**ZONING STANDARDS NOT MET BY THE PROPOSAL:**

The RMMC requires listing zoning standards not being met by a proposed UDD request for the purpose of helping the Plan Commission by providing information necessary to determine the relative merits of the project in regard to the private vs. public benefits. Below is a list of the staff identified code non-compliances when compared to the traditional zoning district of MR-4:

- Overall density exceeds MR-4 maximum of 4 units per acre (17 total). Proposal calls for 4.63 units per acre or a total of 20
- Proposal calls for fourplex structures rather than permitted duplexes
- Bufferyard along the west property line lacks a fence. Typical code requires 4' wooden fence.
  - Recommend 6' privacy fence with the additional proposed density

**ADDITIONAL CONSIDERATIONS:**

- Locating the mail shed near the end of the one-way access road may create some unwanted wrong way traffic.
- Pedestrian and bicycle improvements along south side of Oriole Lane
  - Sidewalk / Multiuse Path / Paved Shoulder

- Six (6) foot bufferyard fence recommended along the west property line
  - Set back from the overhead utilities
- Any approval should be conditioned upon an approved stormwater management plan
  - Plan was submitted and is currently under review.
- SAFER District recommends prohibiting parking along Oriole Lane for public safety vehicle access
  - The amended plan includes dedicated guest parking, along with a significant private access road that would handle additional parking. This may alleviate initial concerns regarding on street parking.
- Per recommendation of the Rib Mountain Sanitary District, a new fire hydrant should be installed on the south side of Oriole Lane as part of the development.

**PUBLIC BENEFITS OF THE PROPOSAL:**

- Could provide a natural transition from commercial uses to existing residential neighborhoods
- The proposed development would diversity the Town’s housing options and could represent a desirable option for those looking to age in place within the Town.
- Develops a long vacant site adjacent to one of the highest developed areas of the Town

**FINDINGS OF FACT**

Below are the six questions representing the Plan Commission’s finding of fact to be forwarded to the Town Board as found within the Rib Mountain Code of Ordinances, along with initial staff interpretation.

1. How is the proposed conditional use (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?  
**The Town’s Comprehensive Plan identifies goals and objectives of enhancing the quality of the Town’s residential living environment, identifying areas for small lot suburban housing, and managing density of residential development to minimize Town development related costs. Policies and strategies related to these goals include concentrating small lot residential development within the boundaries of the Sanitary District. Another objective within the Comprehensive Plan notes to direct more intensive future growth to areas contiguous to existing developed areas.**
  
2. How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?  
**The Comprehensive Plan Future Land Use map identifies the subject property for ‘Multifamily Residential.’ The property is also near some of the Town’s most developed commercial areas along the Rib Mountain Drive corridor and is bordered by commercial zoning on two sides (south and east). However, the proposal calls for a higher density level than the subject property’s current zoning classification (three additional units).**
  
3. Is it likely that the proposed conditional use, in its proposed location and as depicted on the required site plan (see (3)(d), above), will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Town or other governmental agency having jurisdiction to guide growth and development?  
**The proposed residential use is consistent with the surrounding neighborhood; however, the proposal does call for an increase in overall residential density as well as incorporating a new structure style**

**to the neighborhood. Traffic to and from the subject property, and likely throughout the existing neighborhood, will increase as the subject property is currently vacant and surrounding neighborhoods are primarily single-family residences.**

4. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

**The proposal is consistent with the Future Land Use Map's 'Multifamily Residential' classification; however, the proposed density is an increase from the current zoning allowance. The subject property is surrounded by single-family residential to the north and west and commercial uses to the south and east, creating a transitional land use area. Considerations should be made to limit impacts from an increase density to the existing single-family neighborhoods (e.g. privacy fence along west property line, pedestrian accommodations, etc.).**

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

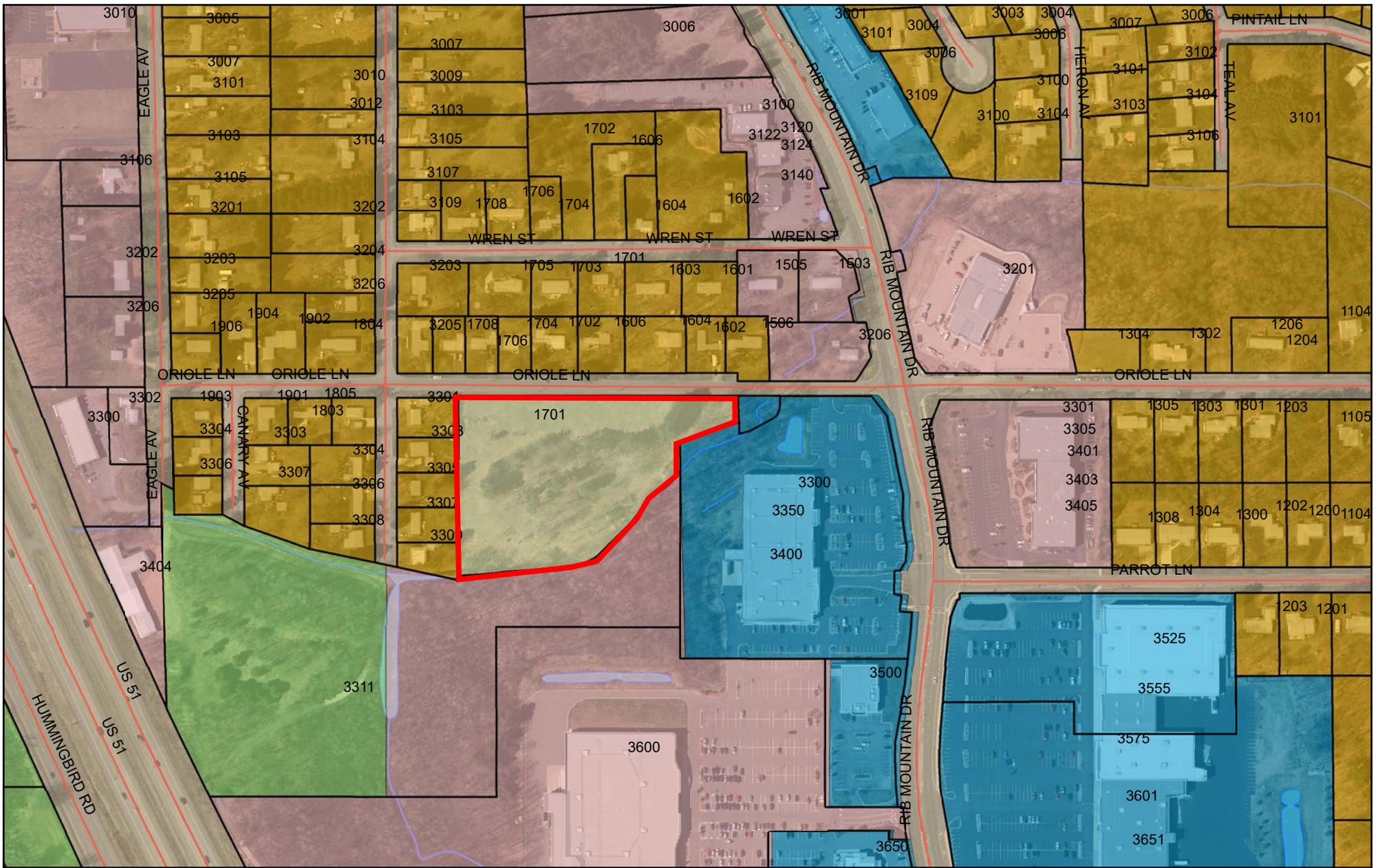
**The subject property is accessed via Town roads currently serving a single-family residential neighborhood and is served by municipal water and sewer. Oriole Lane is the primary ingress/egress point and lacks any bicycle or pedestrian improvements. Further, Oriole Lane is accessed via Rib Mountain Drive; however, this intersection is not controlled (i.e. no traffic lights). This section of Oriole Lane has older pavement and will see increased residential traffic with the proposal. The revised proposal calls for dedicated guest parking, along with substantial space along the private access drive. This revision should address initial concerns over parking along Oriole Lane.**

6. Do the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

**The proposal could accomplish a number goals and objectives of the Town's Comprehensive Plan related to residential development. It could also serve as a transition from existing commercial developments to single-family neighborhoods while providing a housing option not currently available in the Town. Potential adverse impacts of an increased residential density include additional automobile, bicycle, and pedestrian traffic throughout the neighborhood.**

#### **POSSIBLE ACTION:**

1. Recommend approval of the GDP/PIP for the property addressed 1701 Oriole Lane, as presented.
2. Recommend approval of the GDP/PIP for the property addressed 1701 Oriole Lane, with conditions / modifications.
3. Recommend denial of the GDP/PIP for the property addressed 1701 Oriole Lane.



4b-4

*Rib Mountain: "Where Nature, Family, and Sport Come Together"*

Prepared by: **MI-TECH**  
www.mi-tech.us

Map Printed: 4/19/2018

<ul style="list-style-type: none"> <li>▭ Parcel Outline</li> <li>▭ Parcel Address</li> <li><b>Zoning Districts</b></li> <li>▭ Unzoned</li> <li>▭ CR-5ac Countryside Residential</li> <li>▭ EO Estate Office Residential</li> <li>▭ ER-1 Estate Residential</li> <li>▭ MR-4 Mixed Residential</li> <li>▭ NC Neighborhood Commercial</li> <li>▭ OR Outdoor Recreation</li> <li>▭ RA-1 Rural Agricultural</li> <li>▭ RA-2 Rural Agricultural</li> <li>▭ ROW</li> <li>▭ RR Rural Residential</li> <li>▭ SC Suburban Commercial</li> <li>▭ SI Suburban Industrial</li> <li>▭ SO Suburban Office Residential</li> <li>▭ SR-2 Suburban Residential</li> <li>▭ SR-3 Suburban Residential</li> <li>▭ UC Urban Commercial</li> <li>▭ UDD Unified Development</li> <li>▭ UR-8 Urban Residential</li> <li>▭ Building Outline</li> <li>▭ Road Centerline</li> <li>▭ Water Feature</li> </ul>	<p>0 195 390 Feet</p> <p>N</p> <p>DISCLAIMER: The information and depictions contained herein are for informational purposes only; Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained. There is no Statement of Accuracy for any parcel data; the parcel layer is considered an Index Parcel Layer not a Cadastral Parcel Layer. For planning purposes only.</p>
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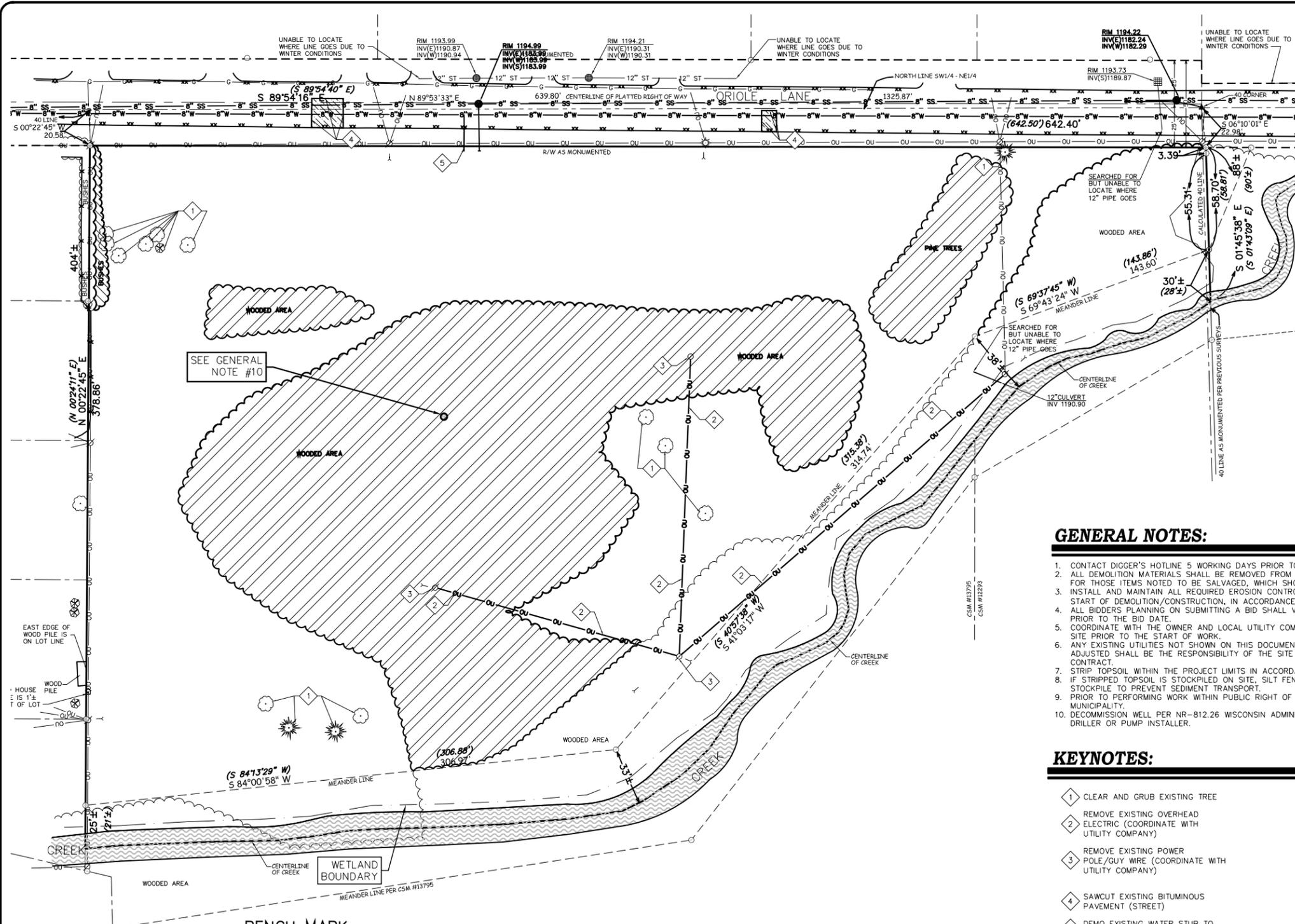


CHECKED: JLL  
DRAWN: MRP  
DATE: 6-29-2018  
PROJECT NO. 18.025

DEMOLITION PLAN

S.C. SWIDERSKI, LLC  
MULTI-FAMILY DEVELOPMENT  
TOWN OF RIB MOUNTAIN  
MARATHON COUNTY, WISCONSIN

Civil Engineering  
Land Surveying  
Landscape Architecture  
5709 Winday Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 (Ph) 715.344.9922 (F)



GENERAL NOTES:

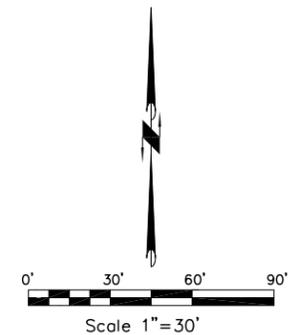
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
- PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
- DECOMMISSION WELL PER NR-812.26 WISCONSIN ADMINISTRATIVE CODE. WORK MUST BE DONE BY LICENSED DRILLER OR PUMP INSTALLER.

KEYNOTES:

- 1 CLEAR AND GRUB EXISTING TREE
- 2 REMOVE EXISTING OVERHEAD ELECTRIC (COORDINATE WITH UTILITY COMPANY)
- 3 REMOVE EXISTING POWER POLE/GUY WIRE (COORDINATE WITH UTILITY COMPANY)
- 4 SAWCUT EXISTING BITUMINOUS PAVEMENT (STREET)
- 5 DEMO EXISTING WATER STUB TO RIGHT OF WAY FOR INSTALLATION OF HYDRANT (SEE UTILITY PLAN)

DEMOLITION HATCH PATTERNS:

- CLEAR AND GRUB EXISTING BUSHES
- CLEAR AND GRUB EXISTING WOODED AREA
- BITUMINOUS REMOVAL



BENCH MARK

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1  
60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 200 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
ELEVATION = 1195.85

BENCHMARK #2  
60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 350 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
ELEVATION = 1195.84

BENCHMARK #3  
BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 150 FEET WEST OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.  
ELEVATION = 1198.57

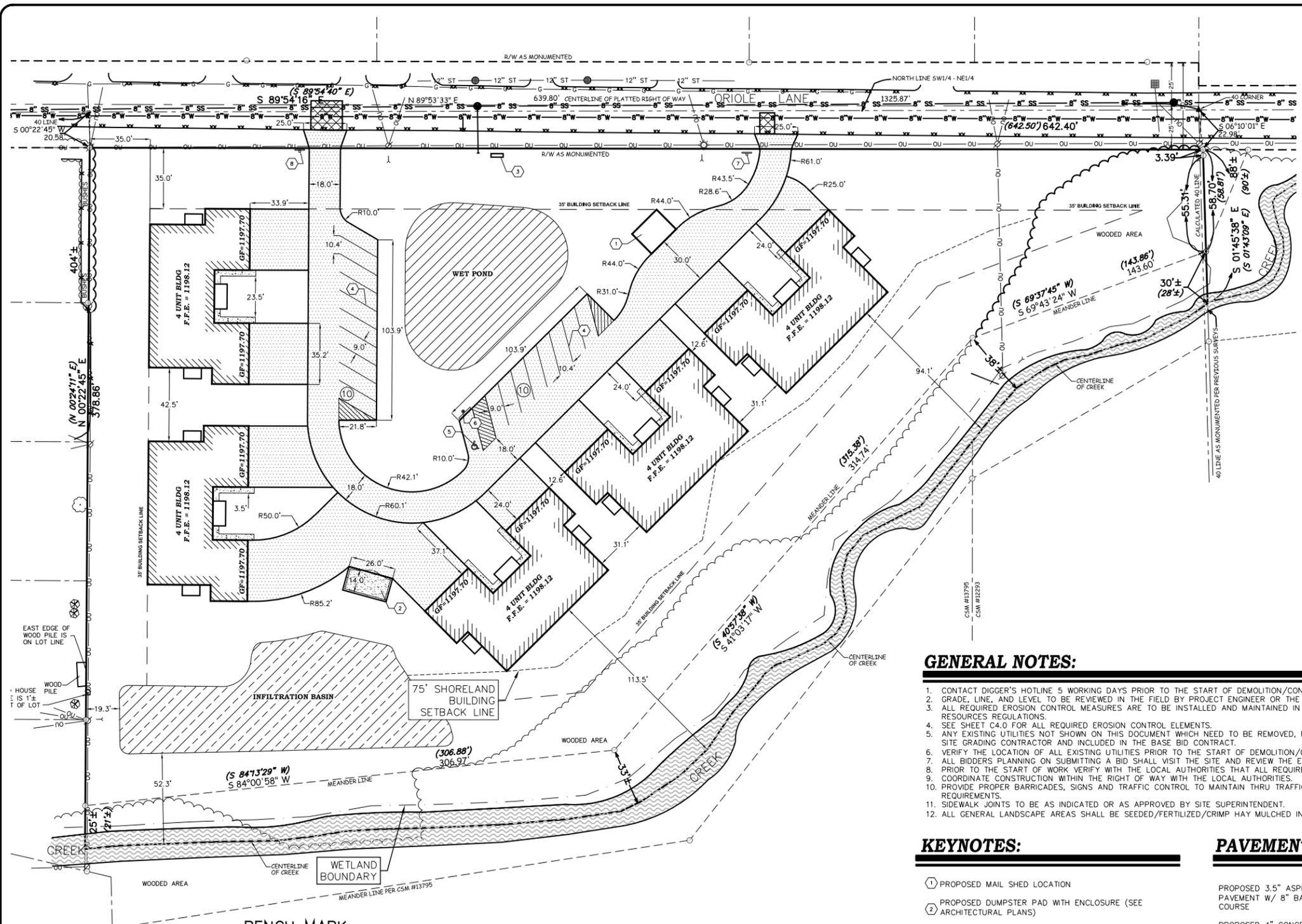
BENCHMARK #4  
60d SPIKE IN POWER POLE, LOCATED ON THE WEST LOT LINE OF THE SUBJECT PROPERTY AND BEING APPROXIMATELY 350 FEET SOUTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY. 60± NORTH OF CREEK.  
ELEVATION = 1193.01

DESCRIPTION

BEING LOT 1 OF CERTIFIED SURVEY MAP #12247, LOCATED IN THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 10, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.

SUBJECT TO (IF ANY) COVENANTS, CONDITIONS, RESTRICTIONS, RIGHT-OF-WAYS AND EASEMENTS OF RECORD.

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**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

**BENCHMARK #1**  
60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 200 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
ELEVATION = 1195.85

**BENCHMARK #2**  
60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 350 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
ELEVATION = 1195.84

**BENCHMARK #3**  
BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 150 FEET WEST OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.  
ELEVATION = 1198.57

**BENCHMARK #4**  
60d SPIKE IN POWER POLE, LOCATED ON THE WEST LOT LINE OF THE SUBJECT PROPERTY AND BEING APPROXIMATELY 350 FEET SOUTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY. 60± NORTH OF CREEK.  
ELEVATION = 1193.01

**DESCRIPTION**

BEING LOT 1 OF CERTIFIED SURVEY MAP #12247, LOCATED IN THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 10, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.

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**GENERAL NOTES:**

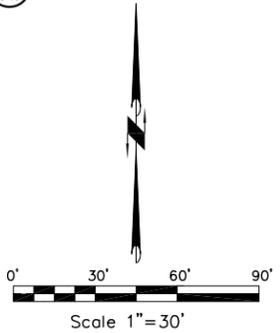
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY PROJECT ENGINEER OR THE SITE SUPERINTENDENT.
- ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION WITHIN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
- SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY SITE SUPERINTENDENT.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

**KEYNOTES:**

- ① PROPOSED MAIL SHED LOCATION
- ② PROPOSED DUMPSTER PAD WITH ENCLOSURE (SEE ARCHITECTURAL PLANS)
- ③ PROPOSED MONUMENT SIGN (SEE ARCHITECTURAL PLANS)
- ④ PROPOSED 60" PARKING STALLS
- ⑤ PROPOSED ADA PARKING STALL
- ⑥ ADA PARKING SIGN
- ⑦ "DO NOT ENTER" SIGN
- ⑧ "BEGIN ONE WAY" SIGN
- ⓧ NUMBER OF PROPOSED PARKING STALLS

**PAVEMENT HATCH PATTERNS:**

- PROPOSED 3.5" ASPHALTIC PAVEMENT W/ 8" BASE COURSE
- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED 6" REINFORCED CONCRETE PAVEMENT
- MATCH EXISTING STREET CROSS SECTION



REVISIONS


CHECKED: JJJ  
DRAWN: MRP  
DATE: 6-29-2018  
PROJECT NO.: 18.025

**LAYOUT PLAN**

**S.C. SWIDERSKI, LLC  
MULTI-FAMILY DEVELOPMENT  
TOWN OF RIB MOUNTAIN  
MARATHON COUNTY, WISCONSIN**

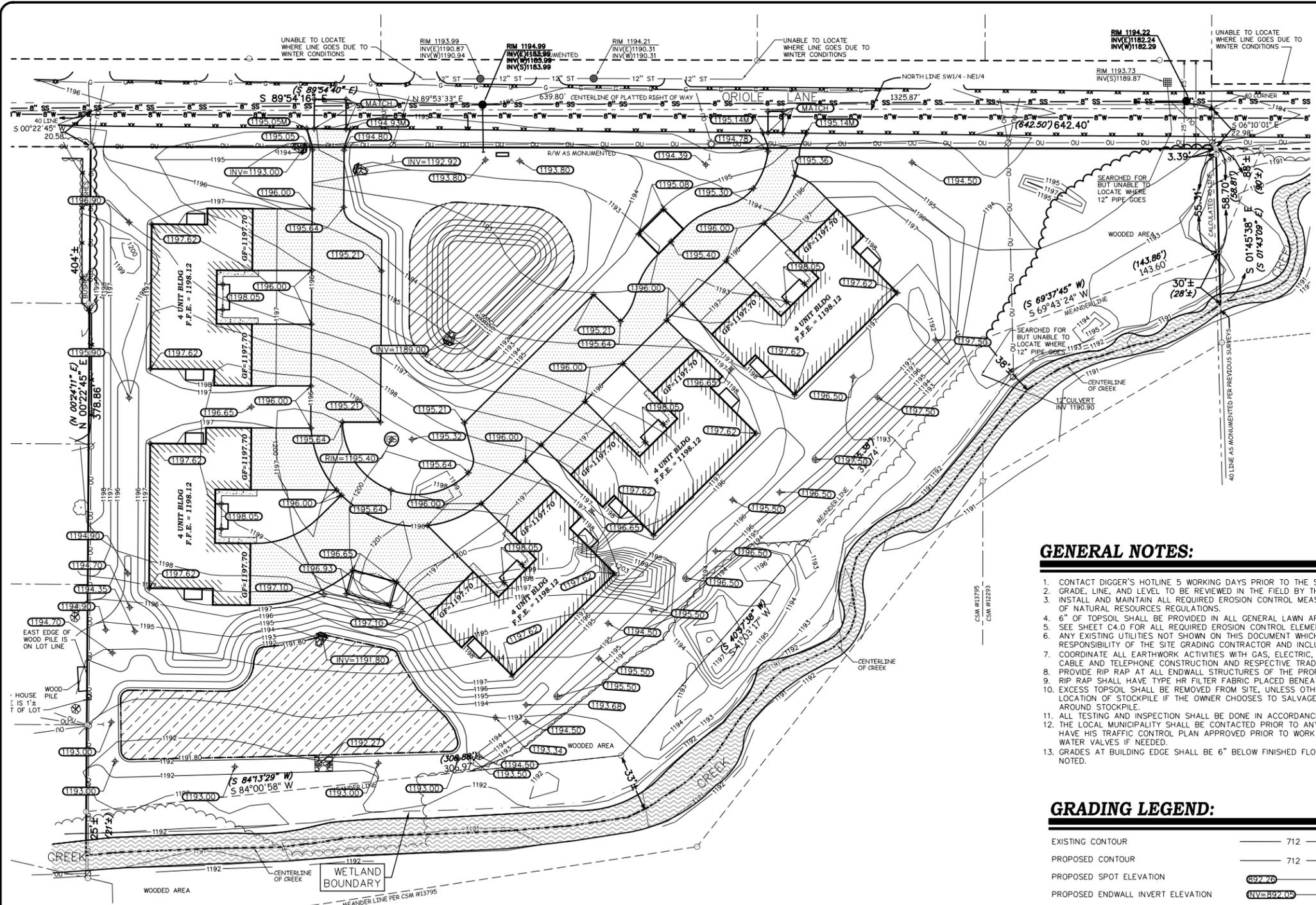
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**C2.0**

4b-7



**DESCRIPTION**  
 BEING LOT 1 OF CERTIFIED SURVEY MAP #12247, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 10, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.  
 SUBJECT TO (IF ANY) COVENANTS, CONDITIONS, RESTRICTIONS, RIGHT-OF-WAYS AND EASEMENTS OF RECORD.

**BENCH MARK**  
 ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.  
 BENCHMARK #1  
 60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 200 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
 ELEVATION = 1195.85  
 BENCHMARK #2  
 60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 350 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
 ELEVATION = 1195.84  
 BENCHMARK #3  
 BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 150 FEET WEST OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.  
 ELEVATION = 1198.57  
 BENCHMARK #4  
 60d SPIKE IN POWER POLE, LOCATED ON THE WEST LOT LINE OF THE SUBJECT PROPERTY AND BEING APPROXIMATELY 350 FEET SOUTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY. 60± NORTH OF CREEK.  
 ELEVATION = 1193.01

**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- PROVIDE RIP RAP AT ALL ENDWALL STRUCTURES OF THE PROPOSED CULVERTS TO PREVENT WASHOUT AND EROSION.
- RIP RAP SHALL HAVE TYPE HR FILTER FABRIC PLACED BENEATH PER WISDOT STANDARD 645.
- EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

**GRADING LEGEND:**

EXISTING CONTOUR	— 712 —
PROPOSED CONTOUR	— 712 —
PROPOSED SPOT ELEVATION	⊕ 1197.62
PROPOSED ENDWALL INVERT ELEVATION	⊕ INV=1192.00
PROPOSED RIM ELEVATION	⊕ RIM=1193.80
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	⊕ 1192.00M
PROPOSED ENDWALL STRUCTURE WITH RIP RAP	⊕ 12 / C7.0
PROPOSED STORM SEWER CONTROL STRUCTURE	⊕ 8 / C7.0
PROPOSED VALVE	⊕ 7 / C7.1
PROPOSED HYDRANT ASSEMBLY	⊕ 6 / C7.1
RIP RAP WEIR	⊕ 11 / C7.0
PROPOSED WET POND	⊕ 7 / C7.0
PROPOSED INFILTRATION BASIN	⊕ 10 / C7.0



REVISIONS


CHECKED: JLL  
 DRAWN: MRP  
 DATE: 6-29-2018  
 PROJECT NO.: 18.025

**GRADING PLAN**

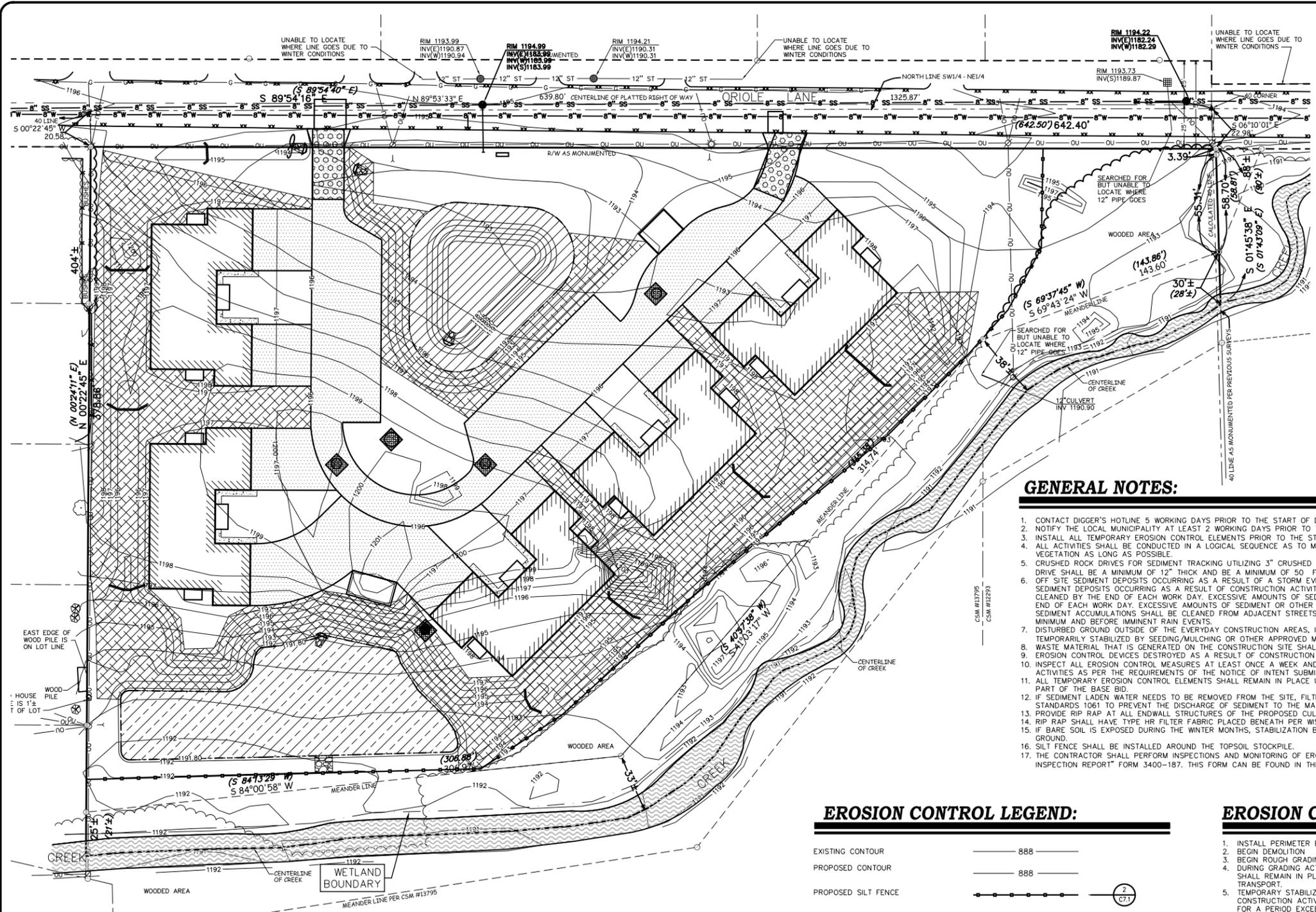
**S.C. SWIDERSKI, LLC**  
**MULTI-FAMILY DEVELOPMENT**  
**TOWN OF RIB MOUNTAIN**  
**MARATHON COUNTY, WISCONSIN**

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**Point of Beginning**

**C3.0**

4b-8



**GENERAL NOTES:**

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
3. INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
4. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
5. CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
6. OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
7. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
8. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
9. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
10. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
11. ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
12. IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH THE WI DNR TECHNICAL STANDARDS 1061 TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
13. PROVIDE RIP RAP AT ALL ENDWALL STRUCTURES OF THE PROPOSED CULVERTS TO PREVENT WASHOUT AND EROSION.
14. RIP RAP SHALL HAVE TYPE HR FILTER FABRIC PLACED BENEATH PER WISDOT STANDARD 645.
15. IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
16. SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
17. THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.

**EROSION CONTROL LEGEND:**

EXISTING CONTOUR	— 888 —	
PROPOSED CONTOUR	— 888 —	
PROPOSED SILT FENCE	— [Symbol] —	2 C7.1
EROSION CONTROL BLANKET	[Symbol]	3 C7.1
ROCK CONSTRUCTION ENTRANCE	[Symbol]	7 C7.1
TEMPORARY DITCH CHECK	[Symbol]	13 C7.0
RIP RAP WEIR	[Symbol]	11 C7.0
ROCK FILTER BAGS	[Symbol]	14 C7.0
PROPOSED INLET PROTECTION	[Symbol]	4 C7.1

**EROSION CONTROL SEQUENCING**

1. INSTALL PERIMETER EROSION CONTROL.
2. BEGIN DEMOLITION
3. BEGIN ROUGH GRADING AND UTILITY INSTALLATION
4. DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
5. TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
6. FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
7. IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.
8. ONCE THE CONTRIBUTORY DRAINAGE AREA IS STABILIZED, REMOVE ANY CONSTRUCTION SITE SEDIMENT BUILD UP.

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

**BENCHMARK #1**  
60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 200 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
ELEVATION = 1195.85

**BENCHMARK #2**  
60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 350 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
ELEVATION = 1195.84

**BENCHMARK #3**  
BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 150 FEET WEST OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.  
ELEVATION = 1198.57

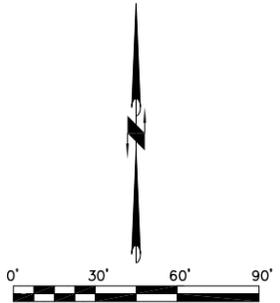
**BENCHMARK #4**  
60d SPIKE IN POWER POLE, LOCATED ON THE WEST LOT LINE OF THE SUBJECT PROPERTY AND BEING APPROXIMATELY 350 FEET SOUTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY. 60± NORTH OF CREEK.  
ELEVATION = 1193.01

**DESCRIPTION**

BEING LOT 1 OF CERTIFIED SURVEY MAP #12247, LOCATED IN THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 10, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.

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REVISIONS

CHECKED: JLL
DRAWN: MRP
DATE: 6-29-2018
PROJECT NO. 18.025

**EROSION CONTROL PLAN**

**S.C. SWIDERSKI, LLC**  
**MULTI-FAMILY DEVELOPMENT**  
**TOWN OF RIB MOUNTAIN**  
**MARATHON COUNTY, WISCONSIN**

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**Point of Beginning**

**C4.0**

4b-9

CHECKED: JLL  
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DATE: 6-29-2018  
PROJECT NO. 18.025

UTILITY PLAN

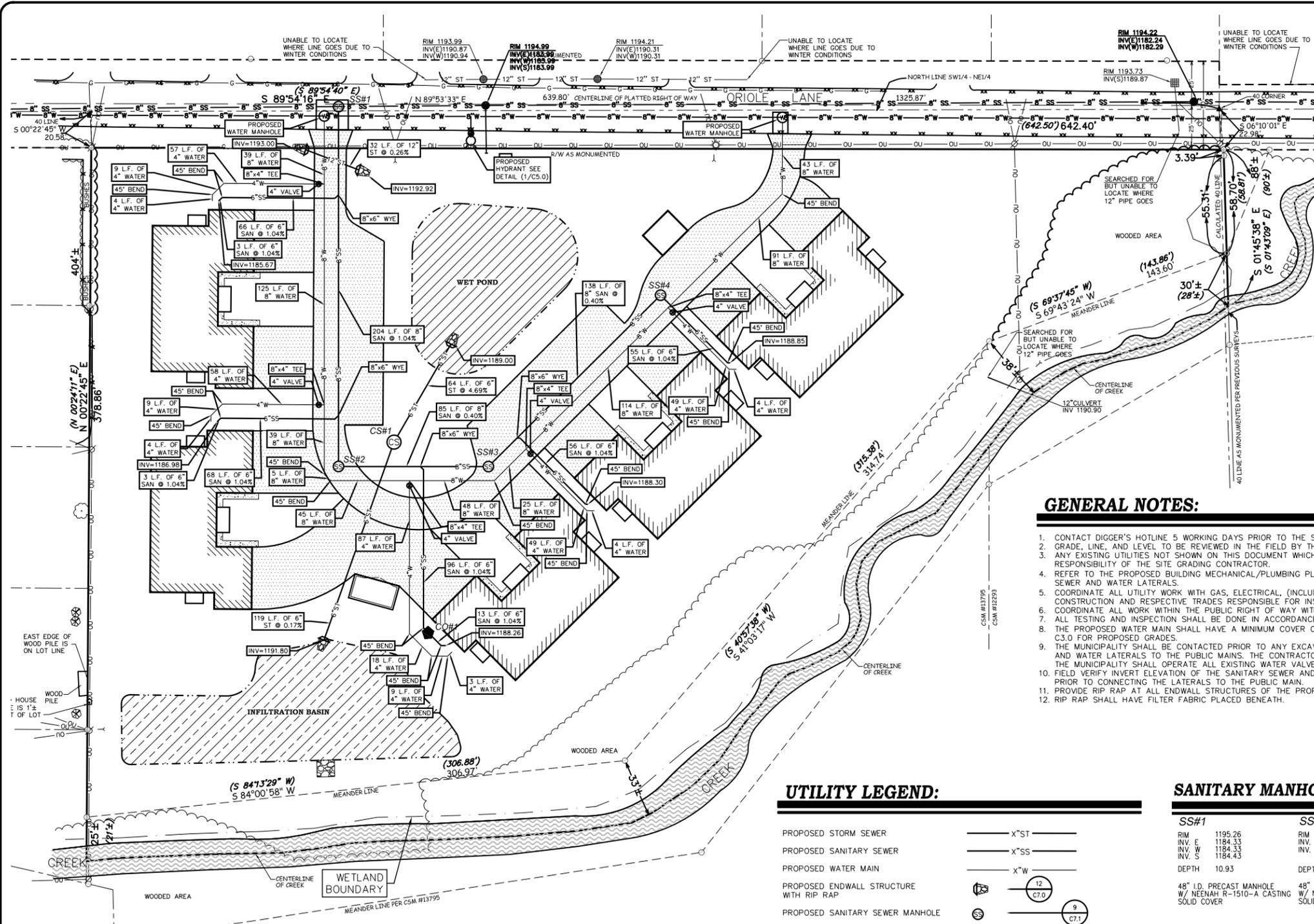
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C5.0

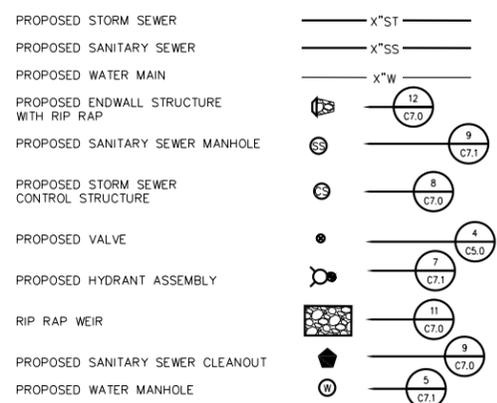
4b-10



GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION SUPERINTENDENT.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS TO VERIFY EXACT CONNECTION LOCATIONS AND SIZES OF PROPOSED SANITARY SEWER AND WATER LATERALS.
- COORDINATE ALL UTILITY WORK WITH GAS, ELECTRICAL, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-6" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES. SEE SHEET C3.0 FOR PROPOSED GRADES.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY, AND PRIOR TO CONNECTING SANITARY SEWER AND WATER LATERALS TO THE PUBLIC MAINS. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
- THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES, IF NEEDED.
- FIELD VERIFY INVERT ELEVATION OF THE SANITARY SEWER AND WATER PUBLIC MAIN, AT THE LOCATION OF THE SERVICE LATERAL CONNECTIONS, PRIOR TO CONNECTING THE LATERALS TO THE PUBLIC MAIN.
- PROVIDE RIP RAP AT ALL ENDWALL STRUCTURES OF THE PROPOSED CULVERTS TO PREVENT WASHOUT AND EROSION.
- RIP RAP SHALL HAVE FILTER FABRIC PLACED BENEATH.

UTILITY LEGEND:



SANITARY MANHOLE SCHEDULE:

SS#1	SS#2	SS#3	SS#4
RIM 1195.26	RIM 1195.85	RIM 1195.65	RIM 1195.70
INV. E 1184.53	INV. N 1186.55	INV. W 1187.53	INV. SW 1188.18
INV. W 1184.33	INV. E 1186.65	INV. NE 1187.63	INV. SE 1188.28
INV. S 1184.43			
DEPTH 10.93	DEPTH 9.30	DEPTH 8.12	DEPTH 7.52
48" I.D. PRECAST MANHOLE W/ NEENAH R-1510-A CASTING SOLID COVER	48" I.D. PRECAST MANHOLE W/ NEENAH R-1510-A CASTING SOLID COVER	48" I.D. PRECAST MANHOLE W/ NEENAH R-1510-A CASTING SOLID COVER	48" I.D. PRECAST MANHOLE W/ NEENAH R-1510-A CASTING SOLID COVER

CLEAN OUT SCHEDULE:

CO#1
RIM 1197.00
INV. 1188.13

STORM SCHEDULE:

CS#1
RIM 1195.40
INV. NE 1192.00
INV. SW 1192.00

DEPTH 3.40

48" I.D. PRECAST MANHOLE W/ NEENAH R-1553 CASTING W/ SOLID LID SEE DETAIL (4/C3.0)

BENCH MARK

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

**BENCHMARK #1**  
60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 200 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
ELEVATION = 1195.85

**BENCHMARK #2**  
60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 350 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
ELEVATION = 1195.84

**BENCHMARK #3**  
BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 150 FEET WEST OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.  
ELEVATION = 1198.57

**BENCHMARK #4**  
60d SPIKE IN POWER POLE, LOCATED ON THE WEST LOT LINE OF THE SUBJECT PROPERTY AND BEING APPROXIMATELY 350 FEET SOUTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY. 60± NORTH OF CREEK.  
ELEVATION = 1193.01

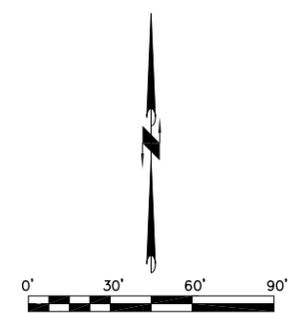
DESCRIPTION

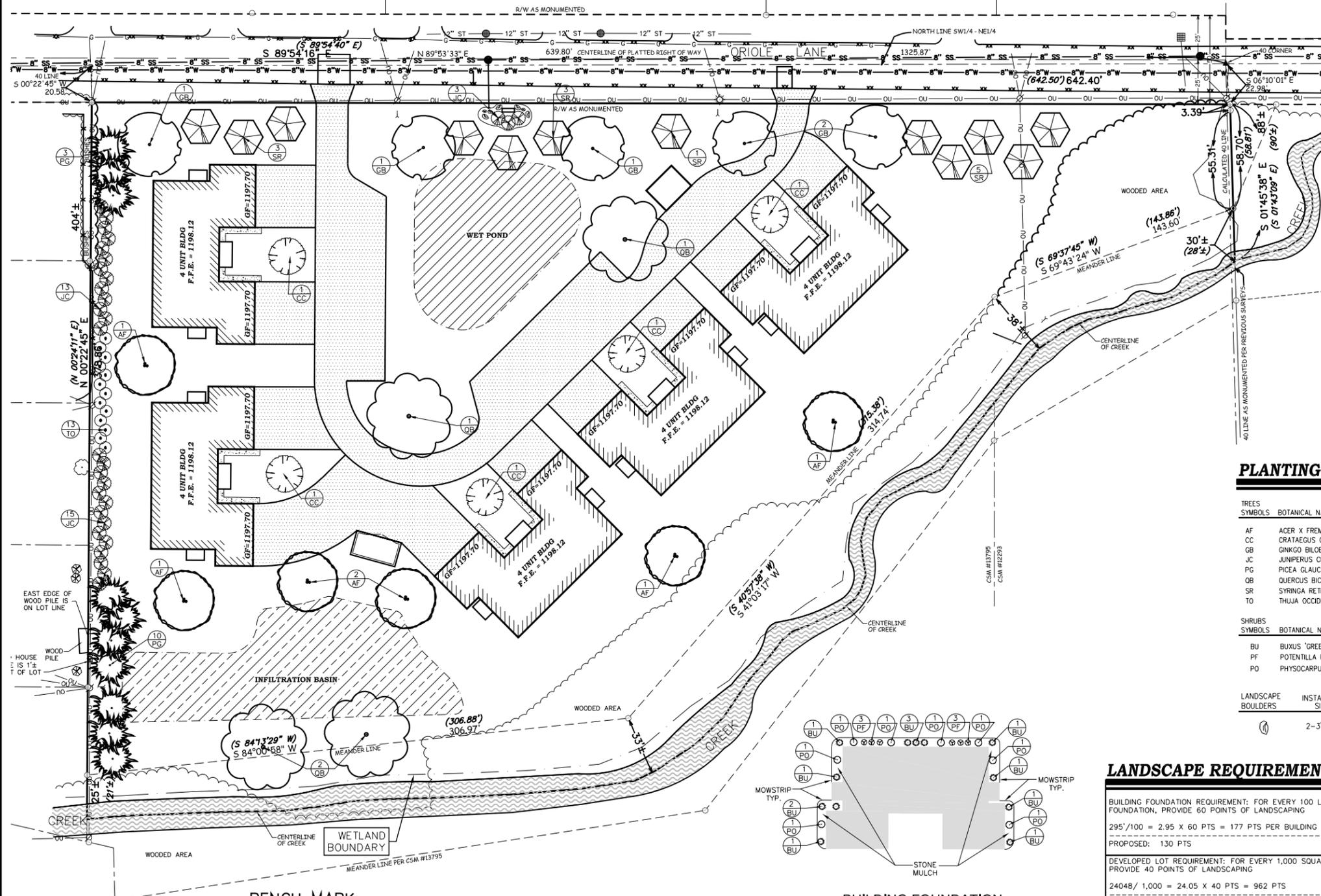
BEING LOT 1 OF CERTIFIED SURVEY MAP #12247, LOCATED IN THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 10, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.

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**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
- SEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION. LAWN SEED TO BE EARTH CARPET BRAND MADISON PARKS SEED MIX OR EQUAL.
- ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
- ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES AND SECURED WITH STRAPPING.
- ALL TREES IN THE TURF AREA SHALL HAVE A 3' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
- CONCRETE MOW STRIP SHALL BE PLACED AROUND ALL LANDSCAPE BEDS. SEE DETAIL 2/C6.0.
- 3" DEPTH OF DECORATIVE LANDSCAPE STONE SHALL BE PLACED IN ALL SHRUB PLANTING BEDS. SIZE AND STYLE OF STONE TO BE SELECTED BY OWNER.
- TYPAR WEED BARRIER OR APPROVED EQUAL SHALL BE PLACED BENEATH ALL LANDSCAPE STONE.
- IN-GROUND AUTOMATED IRRIGATION SHALL BE INSTALLED WITHIN THE PROJECT LIMITS. ALL TREES AND PLANTING BEDS ARE TO HAVE A DRIP IRRIGATION LINE INSTALLED. COORDINATE ALL PLANT INSTALLATION WITH THE IRRIGATION CONTRACTOR.
- COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- PROTECT EXISTING TREES/VEGETATION THAT IS TO REMAIN. COORDINATE ALL VEGETATION REMOVAL WITH PROJECT ENGINEER/SITE SUPERVISOR PRIOR TO THE START OF CONSTRUCTION/DEMOLITION.
- SEE DETAIL 1/C6.0 FOR TYPICAL BUILDING FOUNDATION PLANTING DETAILS.

CHECKED: JJJ  
 DRAWN: MRP  
 DATE: 6-29-2018  
 PROJECT NO: 18.025

**LANDSCAPE PLAN**

**PLANTING SCHEDULE:**

TREES SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
AF	ACER X FREMANII 'SIENNA GLEN'	SIENNA GLEN MAPLE	2" CAL.	60" T X 40" W	6
CC	CRATAEGUS CRUS-GALI VAR. INERMIS	COCKSPUR THORNLASS HAWTHORN	4" T.	20" T X 20" W	5
GB	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	2" CAL.	50" T X 50" W	5
JC	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	4"-5" T.	12" T X 8" W	31
PG	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	4"-5" T.	50" T X 25" W	13
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL.	60" T X 60" W	3
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	4" T.	25" T X 20" W	12
TO	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	4"-5" T.	20"-25" T X 5"-7" W	13

SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
BU	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	3 GAL.	3"-4" T X 4" W	60
PF	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	3 GAL.	3" T X 4" W	30
PO	PHYSOCARPUS OPULIFOLIUS 'SMPOTW'	TINY WINE NINEBARK	3 GAL.	3"-4" T X W	40

LANDSCAPE BOULDERS	INSTALLATION SIZE	QUANTITY
(Symbol)	2-3' W&T	7

**LANDSCAPE REQUIREMENTS:**

**BUILDING FOUNDATION REQUIREMENT:** FOR EVERY 100 LINEAL FEET OF BUILDING FOUNDATION, PROVIDE 60 POINTS OF LANDSCAPING  
 295'/100 = 2.95 X 60 PTS = 177 PTS PER BUILDING X 5 = 885 PTS REQUIRED  
 PROPOSED: 130 PTS

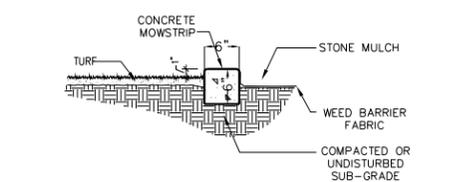
**DEVELOPED LOT REQUIREMENT:** FOR EVERY 1,000 SQUARE FEET OF GROSS FLOOR AREA, PROVIDE 40 POINTS OF LANDSCAPING  
 24048/1,000 = 24.05 X 40 PTS = 962 PTS  
 PROPOSED: 400 PTS OF PROPOSED LANDSCAPING PLUS MAINTAIN 569 PTS OF EXISTING VEGETATION = 969 PTS

**STREET FRONTAGE REQUIREMENT:** FOR EVERY 100 LINEAL FEET OF STREET FRONTAGE, PROVIDE 60 POINTS OF LANDSCAPING  
 643'/100 = 6.43 X 60 PTS = 386 PTS  
 PROPOSED: (2) EXISTING CLIMAX TREES = 70 PTS  
 (5) PROPOSED CLIMAX TREES = 175 PTS  
 (12) LOW DECIDUOUS TREES = 120 PTS  
 (3) EXISTING LOW DECIDUOUS TREES = 30 PTS  
 TOTAL = 395 PTS

**REQUIREMENT:** FOR EVERY 20 PARKING STALLS OR 10,000 S.F. OF PARKING AREA (WHICHEVER IS GREATER) PROVIDE 120 POINTS OF LANDSCAPING  
 40 PARKING SPACES/20 = 2 X 120 PTS = 240 PTS  
 OR  
 30,048 S.F. OF PARKING AREA/10,000 S.F. = 3.00 X 120 PTS = 360 PTS REQUIRED  
 PROPOSED: NO PARKING AREA LANDSCAPING PROPOSED

**BUFFERYARD REQUIREMENT:** PROVIDE OPACITY OF 0.10 OR A MINIMUM OF 91 LANDSCAPING POINTS EVERY 100 LINEAL FEET WITHIN A 10' BORDER.  
 379 L.F./100 = 3.79 X 91 = 345 PTS  
 PROPOSED: 792 PTS

**BUILDING FOUNDATION PLANTING PLAN (TYP.) N.T.S.**



- NOTES:
- MOWSTRIP TO BE CAST-IN-PLACE AND POURED USING TYPICAL WEIGHT STRUCTURAL CONCRETE.
  - CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND MOWSTRIPS-DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOWSTRIP.
  - MAXIMUM 1/2" WIDTH VARIATION.
  - PRECISELY FOLLOW LAYOUT AS SHOWN ON LANDSCAPE PLAN.

**CONCRETE MOWSTRIP N.T.S.**

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

**BENCHMARK #1**  
 60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 200 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
 ELEVATION = 1195.85

**BENCHMARK #2**  
 60d SPIKE IN POWER POLE, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 350 FEET WEST OF WHERE THE CREEK CROSSES ORIOLE LANE.  
 ELEVATION = 1195.84

**BENCHMARK #3**  
 BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF ORIOLE LANE AND BEING APPROXIMATELY 150 FEET WEST OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.  
 ELEVATION = 1198.57

**BENCHMARK #4**  
 60d SPIKE IN POWER POLE, LOCATED ON THE WEST LOT LINE OF THE SUBJECT PROPERTY AND BEING APPROXIMATELY 350 FEET SOUTH OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY. 60± NORTH OF CREEK.  
 ELEVATION = 1193.01

**DESCRIPTION**

BEING LOT 1 OF CERTIFIED SURVEY MAP #12247, LOCATED IN THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 10, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.

SUBJECT TO (IF ANY) COVENANTS, CONDITIONS, RESTRICTIONS, RIGHT-OF-WAYS AND EASEMENTS OF RECORD.

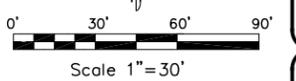
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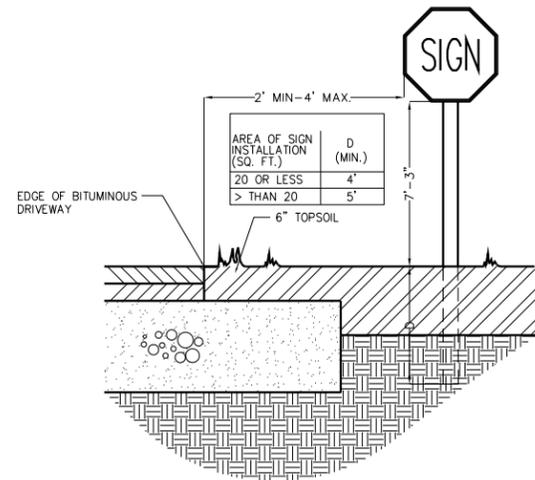
**S.C. SWIDERSKI, LLC**  
**MULTI-FAMILY DEVELOPMENT**  
**TOWN OF RIB MOUNTAIN**  
**MARATHON COUNTY, WISCONSIN**

Civil Engineering  
 Land Surveying  
 Landscape Architecture  
 5709 Winway Drive, Suite D  
 Stevens Point, WI 54482  
 715.344.9999 (Ph) 715.344.9922 (FAX)



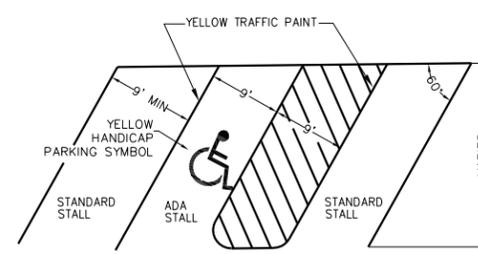
**C6.0**



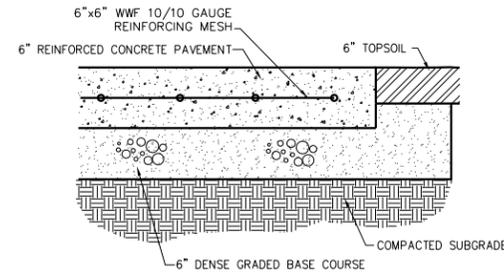


- \*\*NOTES\*\***
1. SIGNS WIDER THAN 4 FEET OR LARGER THAN 20 SQ. FT. SHALL BE MOUNTED ON MULTIPLE POSTS.
  2. DO NOT ENTER SIGN (R5-1): REFERENCE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SEC 2B.37.
  3. BEGIN ONE WAY SIGN (R6-6): REFERENCE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SEC 2B.40.

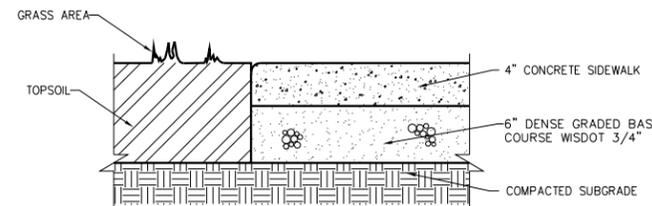
**SIGN INSTALLATION** (1) C7.0



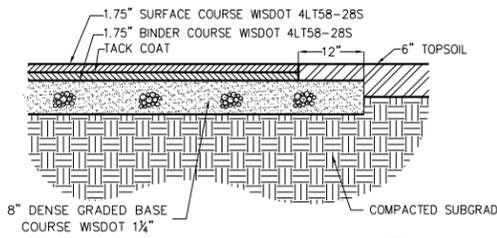
**PARKING LOT STRIPING** (2) C7.0



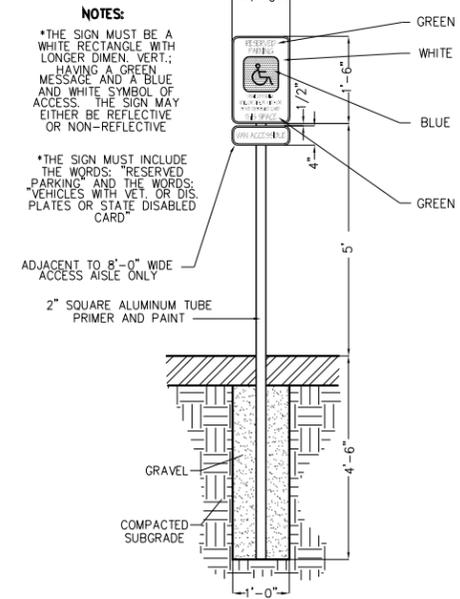
**6\"/>**



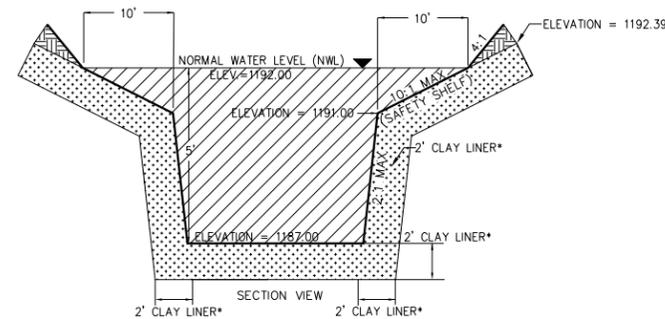
**4\"/>**



**3.5\"/>**

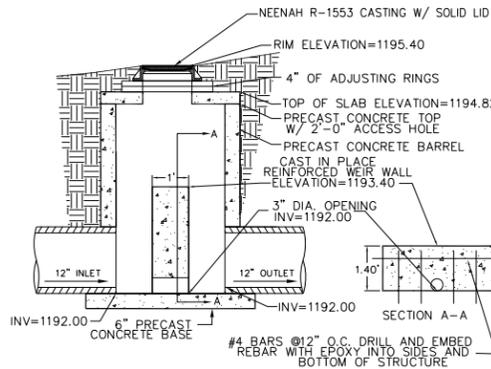


**ADA PARKING SIGN** (6) C7.0

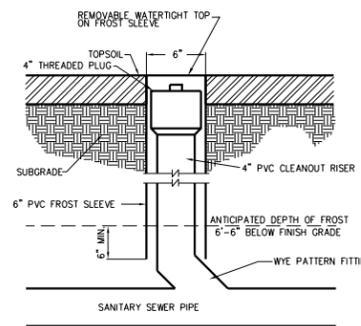


- \*NOTES:**
1. IF IN SITU SOILS DO NOT MEET THE REQUIREMENTS OF A TYPE B CLAY LINER IN APPENDIX D OF THE WQWR TECHNICAL STANDARD 1001, THE CONTRACTOR SHALL OVER EXCAVATE THE POND BY 2 FOOT, AND INSTALL A CLAY LINER THAT MEETS THE ABOVEMENTIONED SPECIFICATIONS.
  2. THE CONTRACTOR MAY USE OTHER LINER METHODS LISTED IN THE AFOREMENTIONED APPENDIX D, IF APPROVED BY THE CIVIL ENGINEER.
  3. CLAY LINER TO CONTINUE UP TO 1192.39.

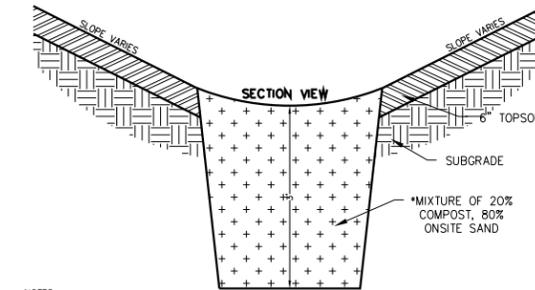
**WET POND** (7) C7.0



**CONTROL STRUCTURE** (8) C7.0

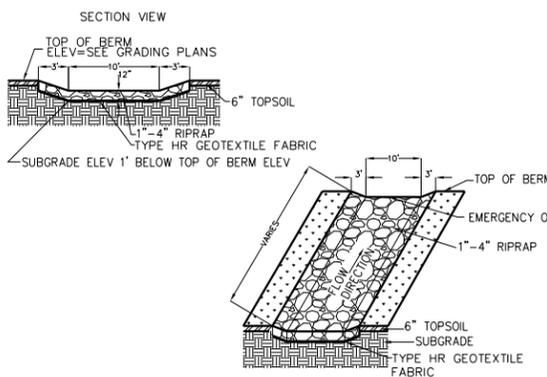


**SANITARY SEWER CLEANOUT** (9) C7.0

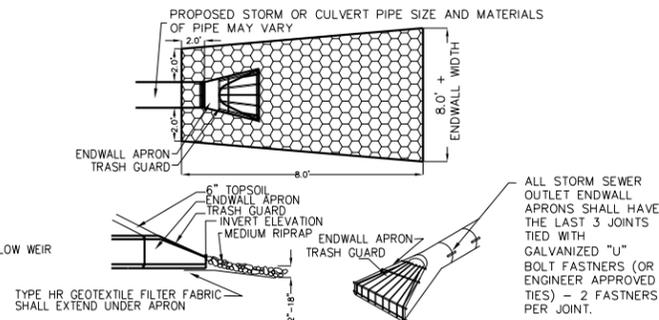


- NOTES:**
1. COMPOST SHALL MEET THE REQUIREMENTS OF S100 IN THE WISCONSIN DNR RUNOFF MANAGEMENT STORM WATER TECHNICAL STANDARDS.
  2. COMPOST SHALL BE FREE OF ROCKS, STUMPS, ROOTS, BRUSH, AND OTHER MATERIAL OVER 1 INCH IN DIAMETER.
  3. THE CONTRACTOR SHALL NOT COMPACT THE SOILS WITHIN THE 'INFILTRATION BASIN' AS THIS MAY IMPACT THE INFILTRATION PERFORMANCE OF THE SOILS. UPON COMPLETION OF GRADING THESE AREAS, A PROTECTIVE FENCE SHALL BE PLACED AROUND THE PERIMETER TO MINIMIZE CONSTRUCTION TRAFFIC.

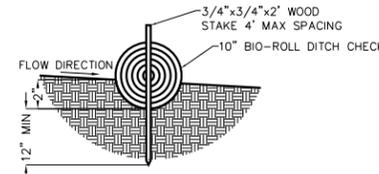
**INFILTRATION BASIN** (10) C7.0



**RIPRAP OVERFLOW WEIR** (11) C7.0

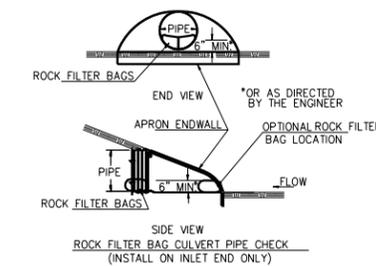


**ENDWALL STRUCTURE** (12) C7.0



- NOTES:**
1. USE ONLY DITCH CHECKS FOUND ON THE WISCONSIN DEPARTMENT OF TRANSPORTATION PRODUCT ACCEPTABILITY LIST (PAL).
  2. INSPECT DITCH CHECK FOR DEFICIENCIES PRIOR TO FORECASTED RAIN EVENTS, DAILY DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, AND AT 1-WEEK INTERVALS.
  3. TURN ENDS OF DITCH CHECK UPSLOPE TO PREVENT WATER FROM FLOWING AROUND END.
  4. REMOVE SEDIMENT BEHIND DITCH CHECK BEFORE SEDIMENT LEVEL REACHES THE HALF-WAY POINT BETWEEN THE GROUND SURFACE AND TOP OF THE DITCH CHECK.

**TEMPORARY DITCH CHECK** (13) C7.0



- GENERAL NOTES:**
- CONSTRUCTION DETAIL, MATERIALS, AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AND STATE GOVERNING AUTHORITIES. USE NO.2 COARSE AGGREGATE, RAILROAD BALLASTS, OR BREAKER RUN TO FILL THE BAGS. PLACE BAGS END TO END OR OVERLAPPING AT RIGHT ANGLES TO THE DIRECTION OF FLOW, AND FAR ENOUGH UP THE SIDES OF THE DITCH TO PREVENT ERODING AROUND ENDS.

**ROCK FILTER BAG CULVERT PIPE CHECK** (14) C7.0

REVISIONS

CHECKED: JJJ  
DRAWN: MRP  
DATE: 6-29-2018  
PROJECT NO. 18.025

**DETAILS**

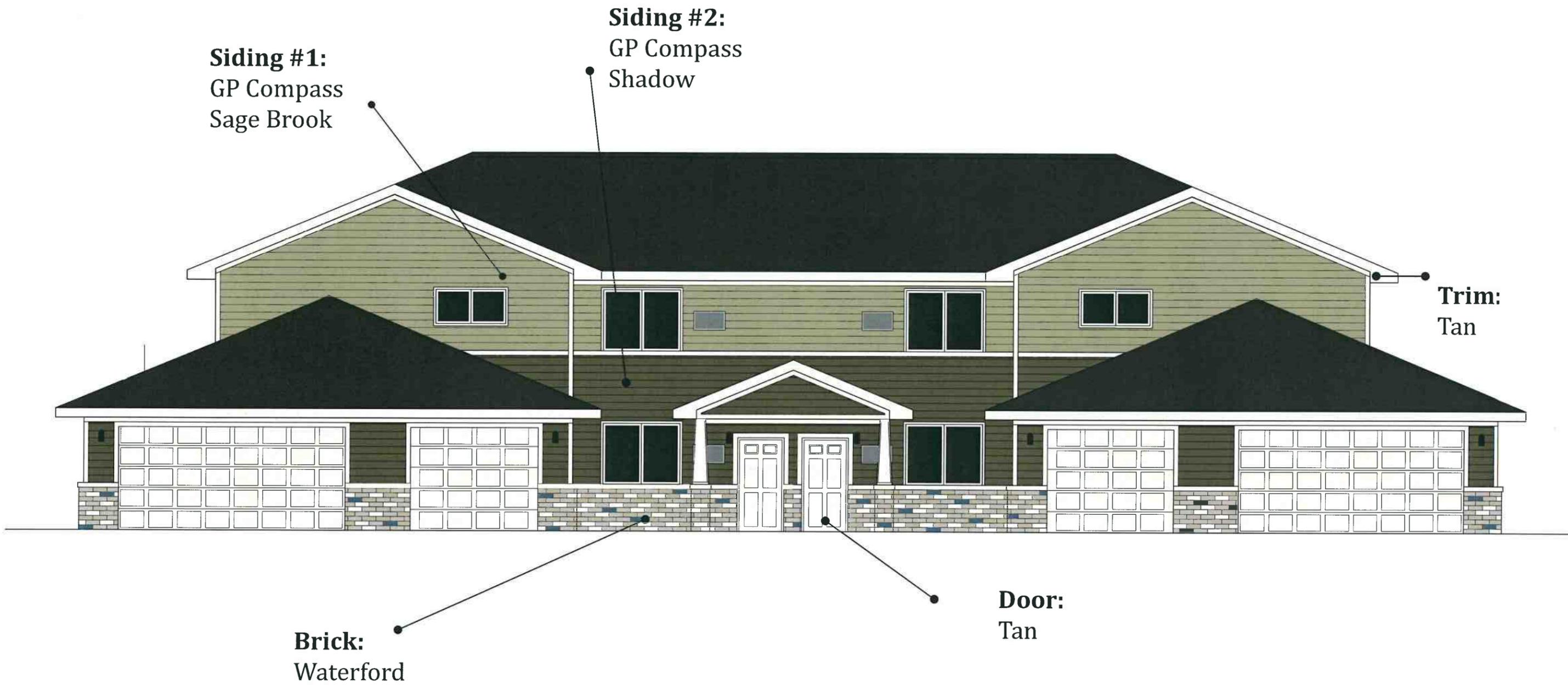
**S.C. SWIDERSKI, LLC**  
**MULTI-FAMILY DEVELOPMENT**  
**TOWN OF RIB MOUNTAIN**  
**MARATHON COUNTY, WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
5709 Winday Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 (Ph) 715.344.9922 (FAX)



C7.0





4b-14



401 Ranger Street, Mosinee, WI 54455 | [www.scswidierski.com](http://www.scswidierski.com) | 715-693-9522 | Fax: 715-693-9523

# Garbage Enclosure

Cedar enclosure



# Mail Shed

Vinyl siding to match building exteriors



# Sign

Permanent property sign will be a free standing at approximately 7.5' wide by 6' high. The sign will be made of a high grade plastic to withstand Wisconsin weather. The colors will be chosen to match the buildings exterior and will be softly lit with upward lighting.



THE DESIGN AND PLANS INDICATED ARE THE PROPERTY OF S.C. SWIDERSKI LLC. ALL RIGHTS ARE RESERVED. NO PART OF THIS DESIGN OR PLANS MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF S.C. SWIDERSKI LLC.  
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR DESIGN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE STATUTE OF WISCONSIN.  
 PAUL J. GARDNER, ARCHITECT  
 DATE: \_\_\_\_\_



1 FRONT ELEVATION  
 A-51 SCALE: 3/16" = 1'-0"



2 LEFT ELEVATION  
 A-51 SCALE: 3/16" = 1'-0"



3 RIGHT ELEVATION  
 A-51 SCALE: 3/16" = 1'-0"



4 REAR ELEVATION  
 A-51 SCALE: 3/16" = 1'-0"

BUILDING	4 UNIT - SCOUT
STYLE	THEORY 3
COLOR	COLLECTION 7

PROJECT  
**SCS RIB MOUNTAIN**  
 4 UNITS APARTMENT COMPLEX  
 ORIOLE LANE  
 RIB MOUNTAIN, WI

SHEET TITLE  
**COLOR ELEVATIONS**

REVISIONS

NO.	DATE	BY
1	06/29/2018	

PROJECT NO. \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 SHEET NUMBER  
**A-1.6**  
 06-29-2018  
 DATE  
 SEE SHEET  
 SCALE

**REPORT TO PLAN COMMISSION**

**FROM:** Steve Kunst, Community Development Director  
**DATE:** July 5, 2018  
**SUBJECT:** Certified Survey Map Review

**APPLICANT:** Halle Properties LLC, applicant  
**PROPERTY OWNER(S):** RBMTN LLC

**PROPERTY ADDRESS(S):** 4201 Rib Mountain Drive  
**PARCEL #:** #34.102807.016.007.00.00.

**REQUEST:** Certified Survey Map (CSM) approval to adjust lot lines of adjacent properties

**CURRENT ZONING:** Suburban Commercial (SC)  
**ADJACENT ZONING:** SC (North, South & East), UDD (West)  
**FUTURE LAND USE DESIGNATION:** Commercial

**NARRATIVE:**

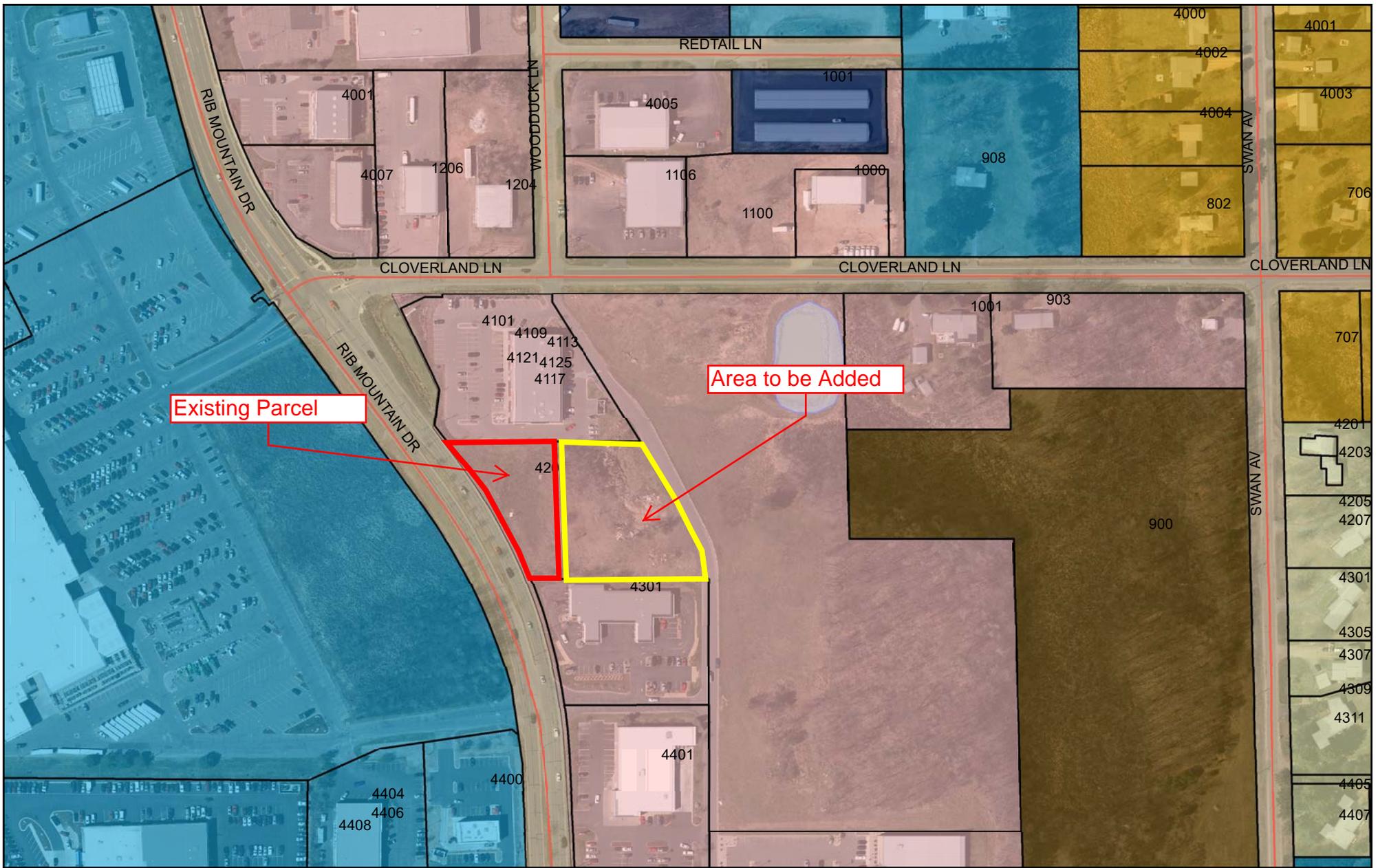
The applicant seeks Plan Commission recommendation of a CSM to adjust lot lines of adjacent parcels as part of the proposed Discount Tire development. The proposal calls for expanding a 0.67-acre parcel adjacent to Rib Mountain Drive to the east to the existing private access road (see attached). As proposed, the property to hold Discount Tire would be 1.96 acres. Both the proposed new Discount Tire lot and the remaining parcel would be legal lots, meeting all required zoning and subdivision regulations of the Town. As discussed during the Discount Tire conditional use review, delineated wetlands are present on the property. The applicant received a permit from the Wisconsin Department of Natural Resources to complete work within a portion of the wetlands.

**OTHER CONSIDERATIONS:**

- Recommend requiring delineated wetlands be shown on the face of the CSM

**POSSIBLE ACTION:**

1. Recommend approval of the Certified Survey Map for the property addressed 4201 Rib Mountain Drive, as presented.
2. Recommend approval of the Certified Survey Map for the property addressed 4201 Rib Mountain Drive, with conditions/modifications.
3. Recommend denial of the Certified Survey Map for the property addressed 4201 Rib Mountain Drive.



Existing Parcel

Area to be Added

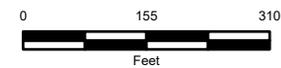
5a-2

Rib Mountain:  
"Where Nature, Family, and  
Sport Come Together"

Prepared by:  
**MI-TECH**  
www.mi-tech.us

Map Printed: 4/19/2018

- |                                |                                |                         |                        |                           |                        |
|--------------------------------|--------------------------------|-------------------------|------------------------|---------------------------|------------------------|
| Parcel Outline                 | EO Estate Office               | OR Outdoor Recreation   | RR Rural Residential   | SR-2 Suburban Residential | UR-8 Urban Residential |
| Parcel Address                 | ER-1 Estate Residential        | RA-1 Rural Agricultural | SC Suburban Commercial | SR-3 Suburban Residential | Building Outline       |
| <b>Zoning Districts</b>        | MR-4 Mixed Residential         | RA-2 Rural Agricultural | SI Suburban Industrial | UC Urban Commercial       | Road Centerline        |
| Unzoned                        | CR-5ac Countryside Residential | RA-2 Rural Agricultural | SO Suburban Office     | UDD Unified Development   | Water Feature          |
| CR-5ac Countryside Residential | NC Neighborhood Commercial     | ROW                     |                        |                           |                        |



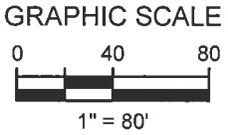
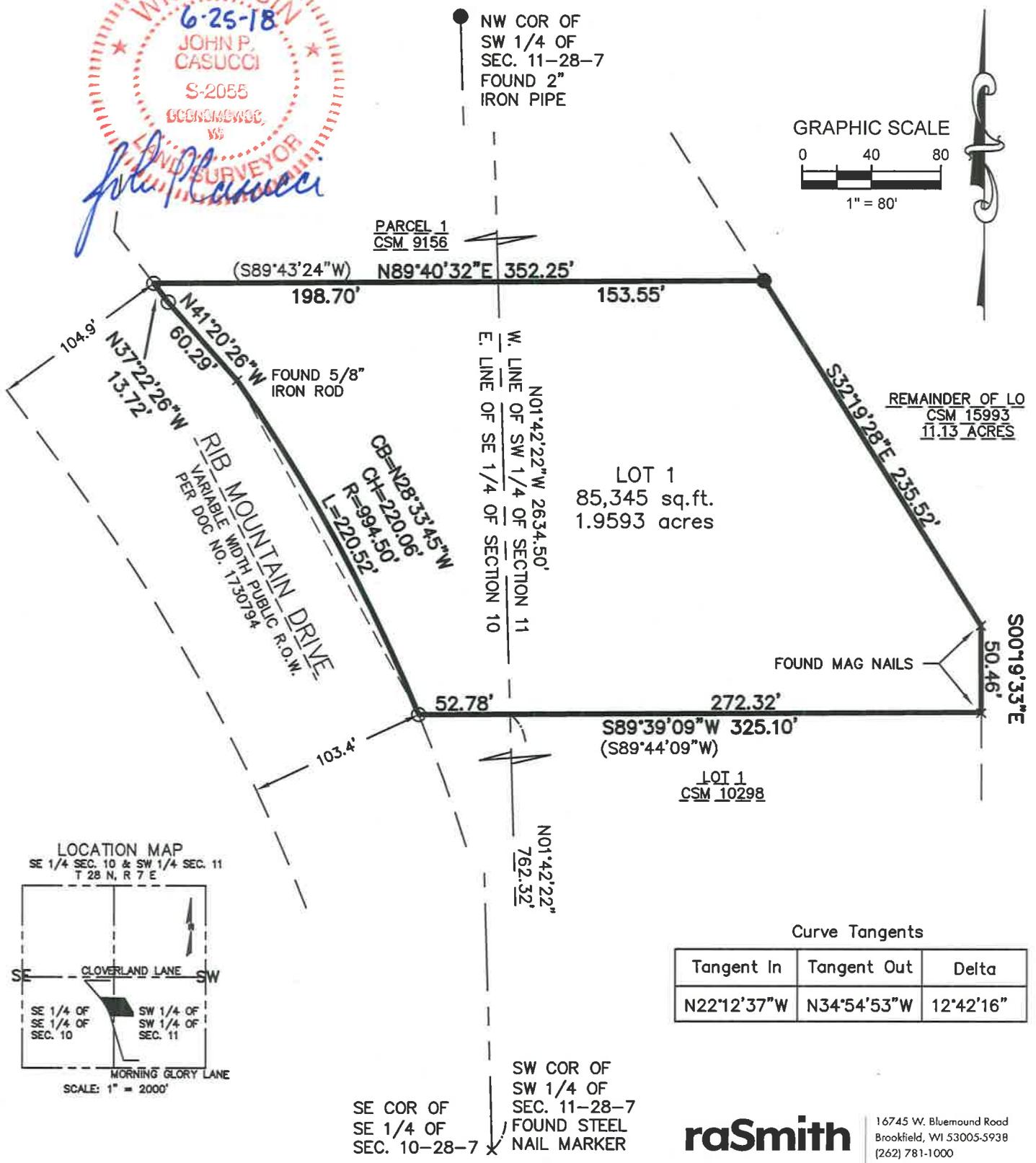
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# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Part of Lot 1 of Certified Survey Map No. 15993 and lands, being a part of the Southeast 1/4 of the Southeast 1/4 of Section 10 and the Southwest 1/4 of the Southwest 1/4 of Section 11, all in Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.

- INDICATES 1" IRON PIPE (FOUND), UNLESS NOTED
- INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT.
- (\_) INDICATES RECORDED DIMENSION

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.  
ALL BEARINGS ARE REFERENCED TO THE WEST LINE OF THE SW 1/4 OF SECTION 11, T 28 N, R 7 E, WHICH BEARS N01°42'22"W.



REMAINDER OF LOT  
CSM 15993  
11.13 ACRES

LOT 1  
85,345 sq. ft.  
1.9593 acres

LOT 1  
CSM 10298



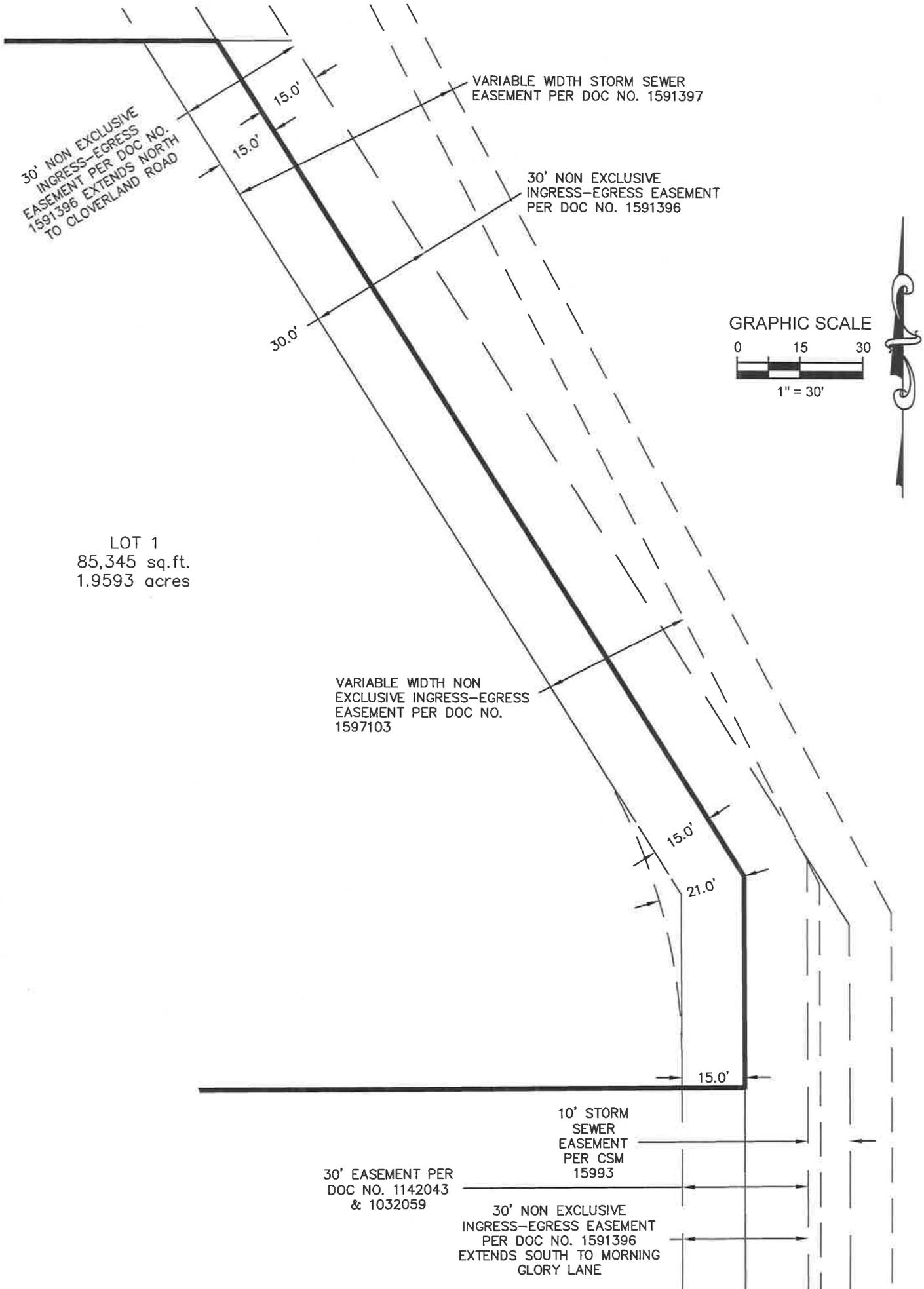
Curve Tangents		
Tangent In	Tangent Out	Delta
N22°12'37"W	N34°54'53"W	12°42'16"

SE COR OF SE 1/4 OF SEC. 10-28-7  
SW COR OF SW 1/4 OF SEC. 11-28-7  
FOUND STEEL NAIL MARKER

**raSmith**  
CREATIVITY BEYOND ENGINEERING  
16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Part of Lot 1 of Certified Survey Map No. 15993 and lands, being a part of the Southeast 1/4 of the Southeast 1/4 of Section 10 and the Southwest 1/4 of the Southwest 1/4 of Section 11, all in Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Part of Lot 1 of Certified Survey Map No. 15993 and lands, being a part of the Southeast 1/4 of the Southeast 1/4 of Section 10 and the Southwest 1/4 of the Southwest 1/4 of Section 11, all in Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN        }  
  :SS  
WAUKESHA COUNTY }

I, JOHN . CASUCCI, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a division of part of Lot 1 of Certified Survey Map No. 15993 and lands, being a part of the Southeast 1/4 of the Southeast 1/4 of Section 10 and the Southwest 1/4 of the Southwest 1/4 of Section 11, all in Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin, bounded and described as follows:

COMMENCING at the Southeast corner of said Southeast 1/4 of Section 10; thence North 01°42'22" West along the East line of said 1/4 Section a distance of 762.32 feet to a point in the North line of Lot 1 of Certified Survey Map No. 10298 and the point of beginning of lands to be described; thence South 89°39'09" West along said North line 52.78 feet to a point in the East line of Rib Mountain Drive; thence Northeasterly 220.52 feet along said East line and an arc of a curve whose center lies to the Southwest, whose radius is 944.50 feet and whose chord bears North 28°33'45" West 220.06 feet to a point; thence North 41°20'26" West along said East line 60.29 feet to a point; thence North 37°22'26" West along said East line 13.72 feet to a point in the South line of Lot 1 of Certified Survey Map No. 9156; thence North 89°40'32" East along said South line 352.25 feet to a point; thence South 32°19'28" East 235.52 feet to a point; thence South 00°19'33" East 50.46 feet to the Northeast corner of Lot 1 of Certified Survey Map No. 10298; thence South 89°39'09" West along the North line of said Lot 272.32 feet to the point of beginning.

Containing 85,345 square feet or 1.9593 acres.

THAT I have made such survey, land division and map by the direction of RBMTN, LLC, owner.

THAT such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Town of Rib Mountainin surveying, dividing and mapping said lands.

\_\_\_\_\_  
DATE

\_\_\_\_\_  
(SEAL)  
JOHN P. CASUCCI,  
PROFESSIONAL LAND SURVEYOR S-2055

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Part of Lot 1 of Certified Survey Map No. 15993 and lands, being a part of the Southeast 1/4 of the Southeast 1/4 of Section 10 and the Southwest 1/4 of the Southwest 1/4 of Section 11, all in Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

RBMTN, LLC., a company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certify that said corporation caused the land described on this map to the surveyed, divided and mapped as represented on this map in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Ordinances of the Town of Rib Mountain.

RBMTN, LLC., does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: Town of Rib Mountain

WITNESS the hand and seal of RBMTN, LLC., has caused these presents to be signed by

\_\_\_\_\_, its \_\_\_\_\_, this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

RBMTN, LLC  
\_\_\_\_\_

STATE OF WISCONSIN     }  
  :SS  
\_\_\_\_\_ COUNTY     }

PERSONALLY came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018,  
the above named \_\_\_\_\_, to me known to be the person who  
executed the foregoing instrument, and to me known to be such \_\_\_\_\_ of said  
corporation and acknowledged that he executed the foregoing instrument as such officer, by its  
authority.

\_\_\_\_\_(SEAL)  
Notary Public, State of Wisconsin  
My commission expires \_\_\_\_\_

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Part of Lot 1 of Certified Survey Map No. 15993 and lands, being a part of the Southeast 1/4 of the Southeast 1/4 of Section 10 and the Southwest 1/4 of the Southwest 1/4 of Section 11, all in Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.

TOWN OF RIB MOUNTAIN APPROVAL CERTIFICATE

I, \_\_\_\_\_, being duly appointed by the Town of Rib Mountain Board do hereby certify the attached Certified Survey Map has been reviewed and there are no objections to recording the Certified Survey Map in the Register of Deeds Office.

This instrument shall be recorded by \_\_\_\_\_, or the Town's approval thereof shall terminate.

\_\_\_\_\_  
Date

CITY OF WAUSAU APPROVAL CERTIFICATE (EXTRATERRITORIAL)

I, \_\_\_\_\_, Zoning Administrator, being duly appointed by the Common Council, do hereby certify the attached Certified Survey Map has been reviewed and there are no objections to recording this Certified Survey Map in the Register of Deeds Office.

\_\_\_\_\_  
Zoning Administrator Date

MARATHON COUNTY APPROVAL CERTIFICATE

APPROVED FOR RECORDING UNDER THE TERMS OF THE Marathon County Land Division Regulation.

\_\_\_\_\_  
Marathon County Conservation, Planning And Zoning Department Date

**REPORT TO PLAN COMMISSION**

**FROM:** Steve Kunst, Community Development Director  
**DATE:** July 5, 2018  
**SUBJECT:** Certified Survey Map Review

**APPLICANT:** BPW Development LLC, owner

**PROPERTY ADDRESS(S):** 2804 South Mountain Road  
**PARCEL #:** #34.762.000.032.00.00.

**REQUEST:** Certified Survey Map (CSM) approval to split four (4) lots from Royal View Estates Lot 32

**CURRENT ZONING:** Mixed Residential - 4 (MR-4)  
**ADJACENT ZONING:** SR-2 (North), RA-1 (West), ER-1 (South), SR-3 (East)  
**FUTURE LAND USE DESIGNATION:** Residential

**NARRATIVE:**

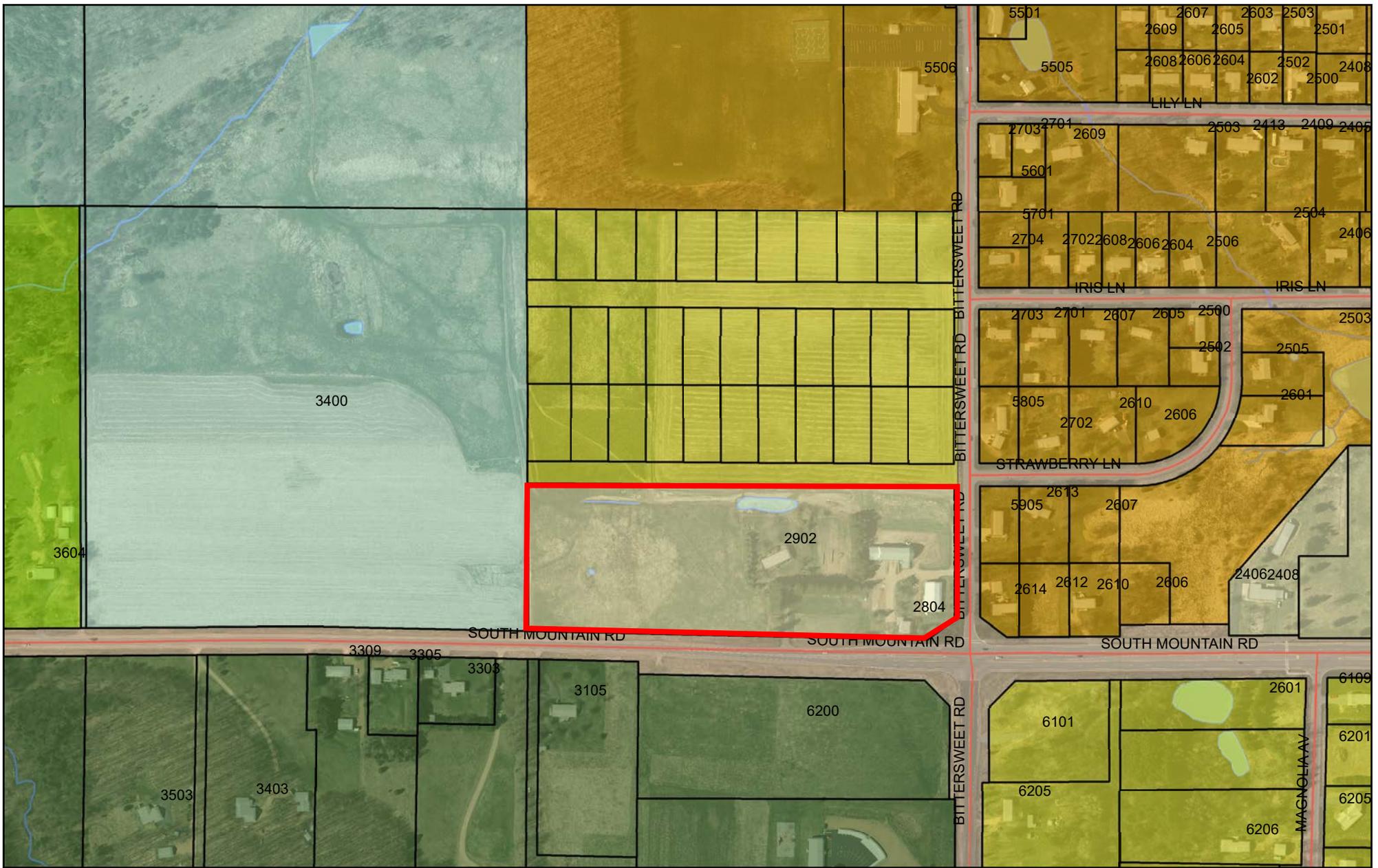
The applicant seeks Plan Commission recommendation of a CSM to split four (4) lots from Lot 32 of Royal View Estates on the south side of the newly platted Strawberry Lane (see attached survey). Each lot is proposed to be 112 feet in width and 230 feet in length, resulting in just over 0.5 acres of area and meeting all minimum zoning and subdivision dimensional standards.

**OTHER CONSIDERATIONS:**

- Consideration should be made for the remaining development potential of Lot 32
  - As proposed, land to the immediate south of the proposed four lots is challenging to develop using traditional single family / duplex development. Access is restricted to South Mountain Road and construction of a new road along the south line of the new lots would create two sets of lots with double public street frontage. The Town’s Subdivision Ordinance identifies a goal of avoiding such situations.
  - This area represents one of the most realistic areas for residential growth within the Town. As part of Royal View Estates development, the Town approved expanding the Sanitary District Boundary to encompass the subject property with a vision of complete buildout. Considerations for future development potential are critical to ensure decisions today do not negatively impact future use.
- Any approval should be conditioned upon an approved stormwater management plan by the Town Street and Park Superintendent.
- A simple developers agreement may be necessary to cover public improvements.
- If approved, any further subdivision of Lot 32 requires going through the platting process.

**POSSIBLE ACTION:**

1. Recommend approval of the Certified Survey Map for the property addressed 2804 South Mountain Road, as presented.
2. Recommend approval of the Certified Survey Map for the property addressed 2804 South Mountain Road, with conditions/modifications.
3. Recommend denial of the Certified Survey Map for the property addressed 2804 South Mountain Road.



5b-2

*Rib Mountain: "Where Nature, Family, and Sport Come Together"*

Prepared by:  
 www.mi-tech.us

Map Printed: 7/5/2018

Parcel Outline	EO Estate Office Residential	OR Outdoor Recreation	RR Rural Residential	SR-2 Suburban Residential	UR-8 Urban Residential
Parcel Address	ER-1 Estate Residential	RA-1 Rural Agricultural	SC Suburban Commercial	SR-3 Suburban Residential	Building Outline
<b>Zoning Districts</b>	MR-4 Mixed Residential	RA-2 Rural Agricultural	SI Suburban Industrial	UC Urban Commercial	Road Centerline
Unzoned	CR-5ac Countryside Residential	RA-2 Rural Agricultural	SO Suburban Office	UDD Unified Development	Water Feature
Residential	NC Neighborhood Commercial	ROW			

0 250 500  
Feet

N

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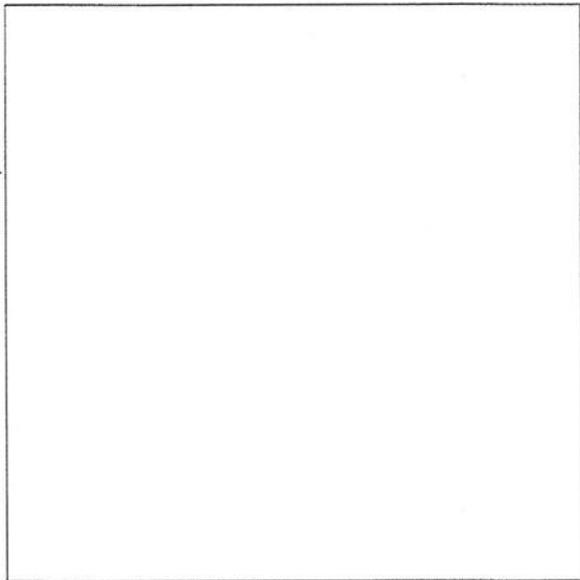
# MARATHON COUNTY CERTIFIED SURVEY MAP

MAP NO. \_\_\_\_\_ VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_

PREPARED FOR: BPW DEVELOPMENT LLC.

LANDOWNER: BPW DEVELOPMENT LLC.

PART OF LOT 32 OF ROYAL VIEW ESTATES, RECORDED IN PLAT CABINET 3, ON PAGE 560B, AS DOCUMENT NUMBER 1742162, FILED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; BEING PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 16, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.



RESERVED FOR REGISTER OF DEEDS

## SURVEYOR'S CERTIFICATE

I, JOSHUA W. PRENTICE, WISCONSIN PROFESSIONAL LAND SURVEYOR S-2852, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF: THAT I HAVE SURVEYED, MAPPED AND DIVIDED PART OF LOT 32 OF ROYAL VIEW ESTATES, RECORDED IN PLAT CABINET 3, ON PAGE 560B, AS DOCUMENT NUMBER 1742162, FILED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; BEING PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 16, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 16; THENCE SOUTH 89°00'28" EAST, COINCIDENT WITH THE SOUTH LINE OF SAID SOUTHEAST 1/4, 1319.24 FEET TO THE SOUTHWEST CORNER OF SAID SOUTHEAST 1/4 OF THE SOUTHEAST 1/4; THENCE NORTH 00°11'22" WEST, COINCIDENT WITH THE WEST LINE OF SAID SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AND THE WEST LINE OF SAID LOT 32, 481.14 FEET TO THE NORTHWEST CORNER OF SAID LOT 32 AND THE SOUTH RIGHT-OF-WAY LINE OF STRAWBERRY LANE; THENCE SOUTH 89°34'55" EAST, COINCIDENT WITH SAID SOUTH RIGHT-OF-WAY LINE, 60.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89°34'55" EAST, COINCIDENT WITH SAID SOUTH RIGHT-OF-WAY LINE, 448.00 FEET; THENCE SOUTH 00°11'22" EAST, 230.00 FEET; THENCE NORTH 89°34'55" WEST, 448.00 FEET; THENCE NORTH 00°11'22" WEST, 230.00 FEET TO SAID SOUTH RIGHT-OF-WAY LINE OF STRAWBERRY LANE AND THE POINT OF BEGINNING.

THAT THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 103,034 SQUARE FEET OR 2.364 ACRES, MORE OR LESS.

THAT I HAVE MADE THIS SURVEY, DIVISION AND MAP THEREOF AT THE DIRECTION OF BPW DEVELOPMENT LLC., OWNER OF SAID PARCEL.

THAT SAID PARCEL IS SUBJECT TO EASEMENTS, RESTRICTIONS, AND RIGHT-OF-WAYS OF RECORD.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES, WISCONSIN ADMINISTRATIVE CODE A-E7 AND THE SUBDIVISION REGULATIONS OF THE TOWN OF RIB MOUNTAIN, CITY OF WAUSAU, AND MARATHON COUNTY.

THAT THIS MAP IS A CORRECT AND ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF SAID PARCEL, AND OF THE DIVISION THEREOF MADE.

DATED THIS 26<sup>TH</sup> DAY OF JUNE 2018

REI  
JOSHUA W. PRENTICE  
WI P.L.S. S-2852





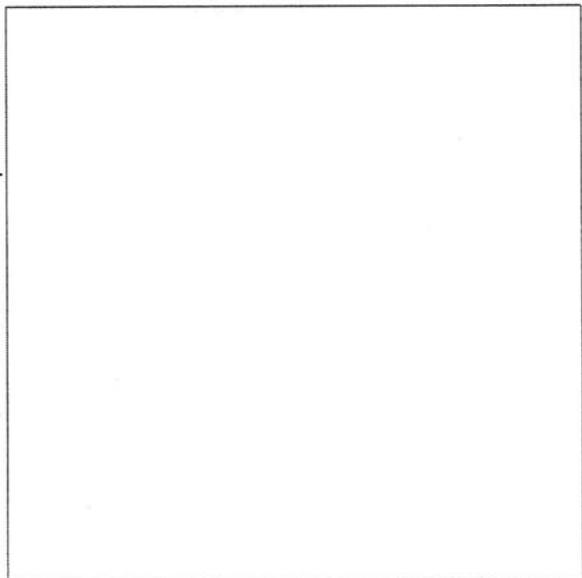
# MARATHON COUNTY CERTIFIED SURVEY MAP

MAP NO. \_\_\_\_\_ VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_

PREPARED FOR: BPW DEVELOPMENT LLC.

LANDOWNER: BPW DEVELOPMENT LLC.

PART OF LOT 32 OF ROYAL VIEW ESTATES, RECORDED IN PLAT CABINET 3, ON PAGE 560B, AS DOCUMENT NUMBER 1742162, FILED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; BEING PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 16, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.



RESERVED FOR REGISTER OF DEEDS

CITY OF WAUSAU EXTRATERRITORIAL APPROVAL CERTIFICATE  
RESOLVED, THAT THIS CERTIFIED SURVEY MAP IS WITHIN THE EXTRATERRITORIAL AREA OF THE CITY OF WAUSAU AND IS HEREBY APPROVED.

DATE \_\_\_\_\_ APPROVED \_\_\_\_\_

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

### TOWN OF RIB MOUNTAIN APPROVAL CERTIFICATE

I, \_\_\_\_\_ BEING DULY APPOINTED BY THE TOWN BOARD DO HEREBY CERTIFY THE ATTACHED CERTIFIED SURVEY MAP HAS BEEN REVIEWED AND THERE ARE NO OBJECTIONS TO RECORDING THE CERTIFIED SURVEY IN THE REGISTER OF DEEDS OFFICE. THIS INSTRUMENT SHALL BE RECORDED

BY \_\_\_\_\_ OR THE TOWN'S APPROVAL THEREOF SHALL TERMINATE.

DATE \_\_\_\_\_ APPROVED \_\_\_\_\_

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

APPROVED FOR RECORDING UNDER THE TERMS OF THE MARATHON CO. LAND DIVISION REGULATIONS.

BY \_\_\_\_\_

DATE \_\_\_\_\_

MARATHON CO. CONSERVATION,  
PLANNING AND ZONING DEPT.  
CPZ TRACKING# \_\_\_\_\_



### CONSENT OF MORTGAGEE

I, NICOLET NATIONAL BANK, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DO HEREBY CONSENT TO THE SURVEYING, DIVIDING, AND MAPPING OF THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP, AND I DO HEREBY CONSENT TO THE ABOVE CERTIFICATE OF BPW DEVELOPMENT LLC, OWNER.

WITNESS THE HAND AND SEAL

OF \_\_\_\_\_, MORTGAGEE,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

IN THE PRESENCE OF:

\_\_\_\_\_  
MORTGAGEE

\_\_\_\_\_

**REPORT TO PLANNING COMMISSION**

**FROM:** Steve Kunst, Community Development Director

**DATE:** July 5, 2018

**SUBJECT:** Preliminary Plat Review – Stone Horizon

**APPLICANT:** Paul Hackel, applicant

**OWNER:** Scott & Lori Geurink

**PROPERTY ADDRESS:** 6200 South Mountain Road

**PARCEL #:** 34.182807.006.002.00.00 & #34.182807.013.000.00.00

**REQUEST:** Preliminary Plat Approval for Stone Horizon

**ZONING:** Estate Residential -1 (ER-1)

**ADJACENT ZONING:** RA-2 (South), ER-1 (East), RR (West), RA-1 (North)

**PROPOSED LAND USE:** Single Family Residential

**NARRATIVE:**

The applicant requests Preliminary Plat approval for development of eight (8) new single-family residential lots on the north side of South Mountain Road, between Red Bud and Thornapple roads. The subject property was rezoned to Estate Residential – 1 earlier this year as part of this development project. The site contains an existing residence to be split off as an 8.84-acre lot. Proposed lot sizes range from two acres to 30 acres (Lot 3). Each proposed lot meets the minimum dimensional standards of the Town’s Zoning and Subdivision ordinances.

The proposal does call for a cul-de-sac length greater than the Town standard of 500 feet; however, the Town’s fire protection agency approved the layout. Further, the layout does not inhibit future ability to extend the proposed road to Thornapple Road, as recommended by the Town’s Future Road Map. The only staff recommended change to the proposal is requiring the cul-de-sac to extend to the current north property line of the 20-acre parcel adjacent to South Mountain Road. This is also a provision identified below as part of the Town’s Subdivision Ordinance.

**APPLICABLE SUBDIVISION DESIGN STANDARDS**

**STREETS AND ALLEYS.**

General Considerations: Streets shall be designed and located in relation to existing and planned streets; topographical conditions and natural terrain features, such as streams and existing tree growth; public convenience and safety; and in appropriate relation to the proposed uses of land to be served by such streets.

(a) Arrangement

1. All streets shall be properly integrated with any existing and proposed system of thoroughfares and dedicated rights-of-way.

**The proposal represents a new north/south road along the South Mountain Road corridor. The intersection with South Mountain Road was approved by the County Highway Commissioner.**

2. All thoroughfares shall be properly related to special traffic generators, such as industries, business districts, schools, churches and shopping centers; to population densities; and to the pattern of existing and proposed land uses.

**The proposed street does not represent a thoroughfare, rather a residential or minor street as defined within the Rib Mountain Subdivision Ordinance. This residential street will serve to connect residences with South Mountain Road (CTH N), representing a collector street.**

3. Minor streets shall be laid out to conform as much as possible to the topography to discourage use by through traffic, permit efficient drainage and sewer systems and to require the minimum amount of streets necessary to provide convenient and safe access to property.

**The proposed street layout meets the minimum Town standards of right-of-way (60') and does not encourage any through traffic in existing neighborhoods. Specifics related to drainage and stormwater management are handled as part of the final plat process. At that time, a specific stormwater management plan will need to be completed and approved by the Town engineer. The proposed subdivision lies well outside the boundaries of the Rib Mountain Sanitary District and will be served by private sewer and water systems.**

4. The rigid rectangular gridiron street pattern need not necessarily be adhered to and the use of curvilinear streets, cul-de-sacs or U-shaped streets shall be encouraged where such use will result in a more desirable layout.

**The proposal does not utilize a rigid, rectangular grid pattern. The presence of wetlands and altering topography help create a unique subdivision layout. The proposed layout includes a dead-end cul-de-sac exceeding the typical Town maximum of 500 feet.**

5. Proposed streets shall be extended to the boundary lines of the tract to be subdivided unless prevented by topography or other physical conditions or unless, in the opinion of the Town planning agency, such extension is not necessary or desirable for the coordination of the layout of the subdivision with the existing layout or the most advantageous future development of adjacent tracts.

**The proposed layout does not include the street extending to the boundary line; however, Street and Park Superintendent Turner recommends this change. Any approval should consider this alteration as a condition. Doing so makes development of adjacent lands more realistic. Further, the Town Future Road Map identifies a future road extending from the end of the proposed street over to Thornapple Road.**

(b) Width of Streets: Right-of-way and paving widths of all streets shall be as indicated below:

	<b>Paved Width</b>	<b>ROW</b>
<b>Residential or Minor Street</b>	<b>28'-32'</b>	<b>60'</b>
Marginal Access Street	28'-32'	60'
Collector Street (e.g. County HWY)	40'	80'
Arterial	48'	100'

(c) Cul-de-sacs or Dead-End Streets:

1. The use of cul-de-sacs in street layouts shall be limited to portions of developments which due to unusual shape, size, location or topography may better be served by cul-de-sacs than by continuous streets. A layout making unrestricted use of cul-de-sacs or courts will not be acceptable.

**The proposal calls for a single street with cul-de-sac at its terminus. Staff does not view the proposed cul-de-sac as an issue, provided it is extended to the northern property line. Doing so makes it possible the cul-de-sac can be temporary, with a future extension matching that of the Town's Future Road Plan.**

2. A cul-de-sac shall not be longer than 500' measured on its centerline unless, by reason of topography or other circumstances beyond the control of the developer the Town planning agency, upon the recommendation of the Town Engineer, finds a greater length to be justifiable.

**The proposed cul-de-sac is greater than 500 feet in length. Staff does not see the length as an issue, as the potential for an extension is not inhibited. Staff does not recommend additional lots be created without another street extending to either South Mountain Road or Thornapple Road. Representatives from SAFER noted no issues with the proposed layout.**

3. The diameter of a cul-de-sac turn around, measured as the outside right-of-way, shall not be less than 100'.

**The proposed cul-de-sac is 120 feet in diameter.**

(d) Residential Blocks:

1. Blocks shall have sufficient width to provide for 2 tiers of lots of appropriate depths. Exceptions to this prescribed block width shall be permitted in blocks adjacent to major streets, railroads or waterways.

**The proposal does not incorporate typical residential blocks. This provision is not applicable.**

2. The lengths, widths and shapes of blocks shall be such as are appropriate for the locality and the type of development contemplated, but block lengths in residential areas shall not exceed 1,800' nor be less than 400' in length. Wherever practicable, blocks along major arterials and collector streets shall be not less than 1,000' in length.

**The proposal does not incorporate typical residential blocks. This provision is not applicable.**

LOTS.

(a) In general, the size, shape and orientation of lots shall be appropriate for the location of the subdivision and for the type of development and use contemplated. Lot dimensions shall conform to the requirements of [Ch. 17](#) of this General Code.

**The proposed lots meet the standards for overall size, shape and orientation of the Estate Residential – 1 zoning district. The proposed lot sizes are also consistent with large lot, estate style development outside of the Sanitary District.**

(b) All plats shall indicate building setback lines or yards equivalent to those required in [Ch. 17](#) of this General Code.

**The preliminary plat identifies setback lines; however, they will need to be amended on the final plat to match the Estate Residential – 1 provisions.**

(c) Residential lots to be served by private or individual sewerage disposal facilities shall comply with the rules of the State Board of Health.

**Marathon County is the review authority for private sewer systems within the Town. The County also has plat review authority.**

(d) Depth and width of properties reserved or laid out for business, commercial or industrial purposes shall be adequate to provide for the off-street parking and loading facilities required for the type and use and development contemplated as established in [Ch. 17](#) of this General Code.

**Not Applicable.**

(e) Corner lots for residential use shall have extra width to permit full building setback as required in [Ch. 17](#) of this General Code.

**All corner lots in the proposal include additional width to accommodate larger setback requirements (Lots 1, 9, & 7). Further, Lot 4 is large enough to accommodate required setbacks from the temporary cul-de-sac.**

(f) Every lot shall front on or abut a public street. Lots with access only to private drives or streets shall be permitted only with the approval of the Town planning agency.

**This requirement is met.**

(g) Lots shall be laid out so as to provide positive drainage away from all buildings and individual lot drainage shall be coordinated with the general storm drainage pattern for the area. Drainage shall be designed so as to avoid concentration of storm drainage water from each lot to adjacent lots.

**As mentioned above, a complete stormwater management plan is required as part of any final plat review.**

(h) Lots at right angles to each other shall be avoided wherever possible, especially in residential areas.  
**This requirement is met.**

(i) In case a tract is subdivided into parcels containing one or more acres, such parcels shall be arranged to allow the re-subdivision of any parcels into smaller lots in accordance with the provisions of this chapter.

**With the proposed subdivision falling well outside the Sanitary District Boundary, the abundance of wetlands, and the sites varying topography, staff does not recommend further dividing of any of the proposed lots.**

(j) Lot lines shall follow Town boundary lines, whenever practicable, rather than cross them.  
**This requirement is met.**

(k) Double frontage and reversed frontage lots shall be avoided, except where necessary to provide separation of residential development from traffic arteries or to overcome specific disadvantages of topography and orientation.

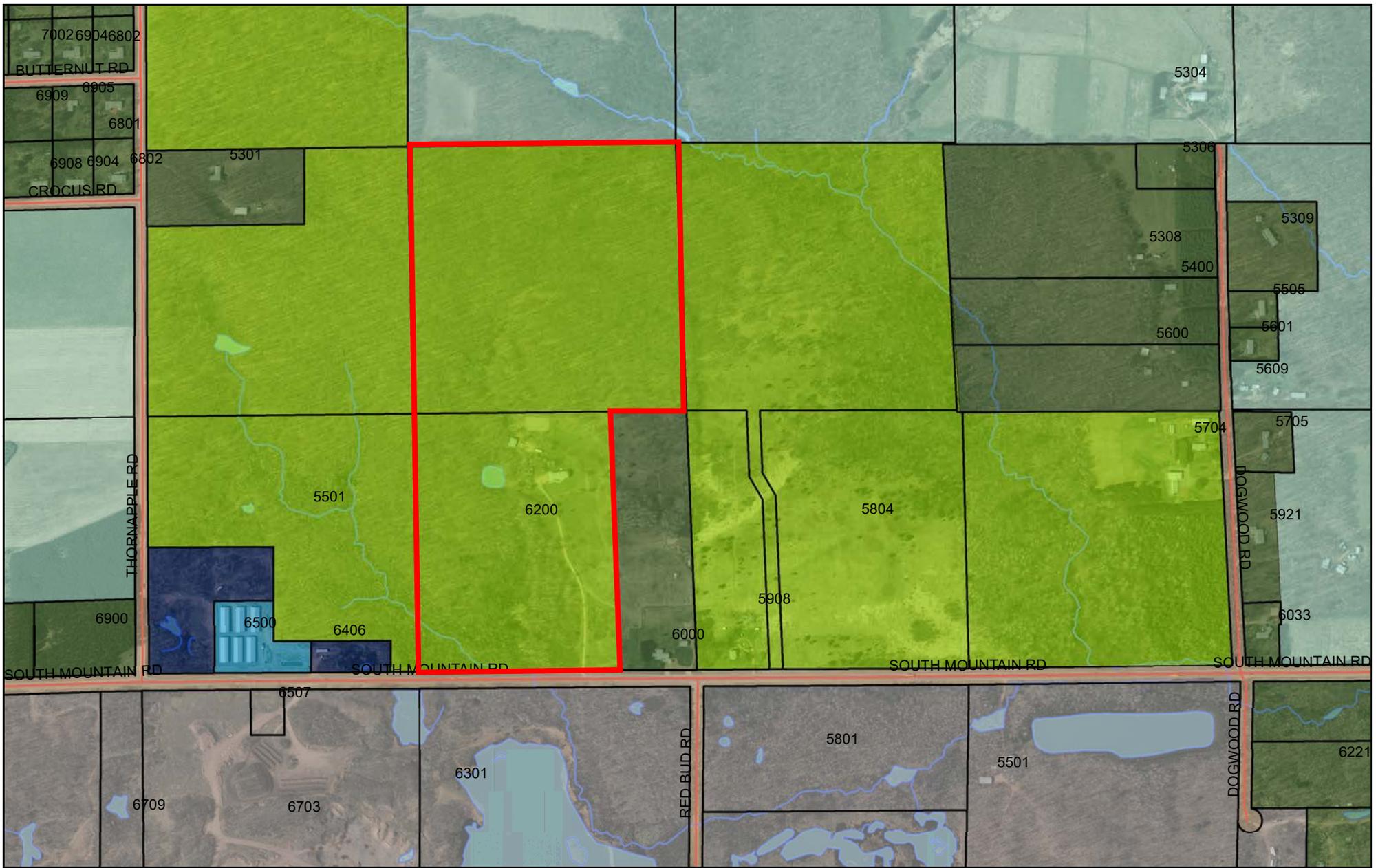
**The only true double frontage lot (pubic right-of-way on both front and rear yards) is Lot 6. However, this lot is nearly five (5) acres in size with the southern most portion along South Mountain Road being a delineated wetland with mature trees and vegetation. Staff does not view this double frontage lot as an issue.**

**ITEMS FOR POTENTIAL FINAL PLAT:**

- Submittal of the wetland delineation report.
- Action from the Town Board and Marathon County Land Conservation Committee on the Preliminary Plat
- Town Engineer approved stormwater management plan
- A developer's agreement covering all public improvements (street, utilities, etc.)
- Copy of any subdivision covenants and primary contact person(s)

**POSSIBLE ACTION:**

1. Recommend approval of the Preliminary Plat for Stone Horizon, as presented
2. Recommend approval of the Preliminary Plat for Stone Horizon, with conditions/modifications.
3. Recommend denial of the preliminary plat for Stone Horizon.



6a-5

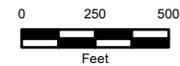
*Rib Mountain:  
"Where Nature, Family, and  
Sport Come Together"*

Prepared by:  
**MI-TECH**  
www.mi-tech.us

Map Printed: 4/5/2018

- Parcel Outline
- Parcel Address
- Zoning Districts**
- Unzoned
- CR-5ac Countryside Residential
- EO Estate Office Residential
- ER-1 Estate Residential
- MR-4 Mixed Residential
- NC Neighborhood Commercial
- OR Outdoor Recreation
- RA-1 Rural Agricultural
- RA-2 Rural Agricultural
- ROW

- RR Rural Residential
- SC Suburban Commercial
- SI Suburban Industrial
- SO Suburban Office Residential
- SR-2 Suburban Residential
- SR-3 Suburban Residential
- UC Urban Commercial
- UDD Unified Development
- UR-8 Urban Residential
- Building Outline
- Road Centerline
- Water Feature



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# PRELIMINARY PLAT OF STONE HORIZON

Located in part of the Southeast 1/4 of the Southeast 1/4 and the Northeast 1/4 of the Southeast 1/4 of Section 18, Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.

MATCH LINE SHEET 2 SHEET 1

SHEET 2 MATCH LINE SHEET 1

LEGEND	
●	- FOUND 3/4" REBAR
●	- FOUND 1-1/4" O.D. IRON PIPE
○	- FOUND 5/8" REBAR
( )	- RECORDED BEARING/LENGTH
⊕	- STORM WATER SOIL PIT LOCATIONS BY ZOROMSKI SOIL CONSULTING, LLC
⊕	- EXISTING UTILITY POLE
○	- GUY WIRE
⊕	- MAILBOX
○	- WELL - WELL
○	- SEPTIC TANK COVER
—E—	- EXISTING UNDERGROUND ELECTRIC
—T—	- EXISTING UNDERGROUND TELEPHONE
—FO—	- EXISTING UNDERGROUND FIBER OPTIC
—OH—	- EXISTING OVERHEAD UTILITIES
1288	- CONTOUR 2' INTERVAL
1290	- CONTOUR 10' INTERVAL

CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD DISTANCE
C1	190.75'	167.00'	65°26'34"	S33°08'53"E	180.55'
C2	43.44'	167.00'	14°54'13"	S73°19'17"E	43.32'
C3	44.02'	183.00'	13°46'49"	S73°52'57"E	43.91'
C4	123.91'	183.00'	38°47'36"	S47°35'41"E	121.55'
C5	86.12'	183.00'	26°57'47"	S14°42'59"E	85.33'
C6	162.42'	117.00'	79°32'18"	N41°00'14"W	149.69'
C7	60.61'	233.00'	14°54'13"	N73°19'17"W	60.44'
C8	266.13'	233.00'	65°26'34"	N33°08'53"W	251.90'

UNPLATTED LANDS OWNED BY NANCY JEAN HOERTER ZONED RR

**OWNERS:**  
SCOTT & LORI GEURINK  
6200 SOUTH MOUNTAIN RD.  
WAUSAU, WI 54401

**SUBDIVIDER:**  
PAUL HACKEL  
6880 MOUNTAINBERRY CT.  
WAUSAU, WI 54401

**SURVEYOR:**  
RIVERSIDE LAND SURVEYING LLC  
NATHAN WINCENTSEN  
6304 KELLY PLACE  
WESTON, WI 54476  
(715) 241-7500

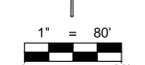
**ENGINEER:**  
MARATHON TECHNICAL SERVICES  
MARK W. THOMPSON, PE  
404 FRANKLIN STREET  
WAUSAU, WI 54403  
(715) 843-7292

**PROPOSED ROAD**  
CENTERLINE LENGTH 1402'  
AREA- 92,531 SQ. FT. 2.124 ACRES

LOT 2  
C.S.M. 10434  
VOL. 43, PGS. 66  
OWNED BY OWEST  
COMMUNICATIONS CORP.  
ZONED SI

LOT 1  
C.S.M. 12751  
VOL. 55, PG. 69  
OWNED BY TIMOTHY & SHEILA KOSTROSKI  
ZONED ER-1

NORTH



BEARINGS ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, MARATHON COUNTY NAD 83 (2011) AND REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 28 NORTH, RANGE 7 EAST, MEASURED TO BEAR NORTH 89°34'47" EAST.

- NOTES:**
1. BASE MAPPING INFORMATION PROVIDED FROM A TOPOGRAPHIC SURVEY COMPLETED ON JUNE 5, 2018. ELEVATIONS ARE REFERENCED TO NAVD 88.
  2. TOTAL AREA OF PLAT IS 3,031,150 SQUARE FEET OR 69.586 ACRES, MORE OR LESS.
  3. THE PLAT SHOWN HEREON FALLS WITHIN ZONE X ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NUMBER 55073C0390F. CURRENT ZONING IS ER-1 - ESTATE RESIDENTIAL DISTRICT. THE COMPREHENSIVE PLAN FUTURE LAND USE MAP DESIGNATION FOR THIS PROPERTY IS RESIDENTIAL.
  4. THERE ARE 7 PROPOSED SINGLE FAMILY LOTS AND ONE OUTLOT WITHIN THIS SUBDIVISION.
  5. THE 12' WIDE UTILITY EASEMENT AS SHOWN IS FOR ELECTRIC AND COMMUNICATION FACILITIES.
  6. WATER ELEVATION 1297.37' FOR EXISTING POND LOCATED ON MAY 17, 2018.
  7. WETLANDS OUTSIDE OF PLAT AREA WERE SCALED PER WISCONSIN DNR WETLAND INVENTORY MAP.
  8. WETLANDS SHOWN WITHIN THE PLAT AREA ACROSS LOTS 6, 7, 8 AND 9 WERE LOCATED BY LAND MANAGEMENT SOLUTIONS, LLC ON MAY 22, 2018.
  9. 2' ELEVATION CONTOURS ON SHEET 2 WERE PROVIDED BY MARATHON COUNTY CONSERVATION, PLANNING AND ZONING DEPARTMENT.
  10. OUTLOT 1 IS TO BE USED FOR STORM WATER PURPOSES.
  11. ALL LOTS WILL BE SERVED BY PRIVATE SEWER AND WATER.
  12. ALL LOTS HAVE BEEN APPROVED FOR MOUND SYSTEMS BY TIM ZOROMSKI OF ZOROMSKI SOIL CONSULTING, LLC.
  13. UNNAMED CREEK AND BLACK CREEK WERE SCALED FROM MARATHON COUNTY GIS.

ER-1 SETBACKS  
FRONT=35'  
SIDE=25'  
REAR=35'

SOUTHEAST CORNER  
SEC. 18, T28N, R7E,  
SET SMP NAIL FROM RECORD TIES

6a-6

