



TOWN OF RIB MOUNTAIN

Where Nature, Family & Sport Come Together

www.townofribmountain.org

3700 North Mountain Road
Wausau, Wisconsin 54401

(715) 842-0983

Fax(715) 848-0186

PLAN COMMISSION

OFFICIAL NOTICE & AGENDA

A meeting of the Town of Rib Mountain Plan Commission will be held on **Wednesday, March 27th, 2019; 6:00 P.M. at the Town of Rib Mountain Municipal Center, 3700 North Mountain Road.** The Town Board may attend for purposes of gathering information. Subject matter for consideration and possible action follows:

- 1.) Call to Order
- 2.) Roll Call
- 3.) Minutes
 - a. **Approval of minutes from the 3-13-2019 Plan Commission meeting.**
- 4.) New Business:
 - a. **Tim Vreeland, applicant, requests Preliminary Plat approval for a seven-lot subdivision at the property addressed 1701 Oriole Lane. Parcel #34.102807.003.012.00.00. Docket #2019-06.**
 - b. **REI Engineering, agent, requests Conditional Use approval for a new Indoor Entertainment Use, In-Vehicle Sales and Service Use, commercial parcel less than one acre, and a pylon sign exceeding 10 feet in height at the property addressed 2800 Martin Avenue. Parcel #34.032807.011.021.00.00. Docket #2019-08.**
 - c. **NSG Development LLC, applicant, requests Certified Survey Map approval for a land division at the property addressed 2800 Martin Avenue. Parcel #34.032807.011.021.00.00. Docket #2019-09.**
 - d. **Mi-Tech Services, agent, requests a Pre-Application Conference for a potential conditional use application. Docket #2019-10.**
- 5.) Correspondence/ Questions/ Town Board Update:
- 6.) Public Comment
- 7.) Adjourn

TOWN OF RIB MOUNTAIN
PLANNING COMMISSION MEETING
March 13, 2019

Chairperson Harlan Hebbe called the meeting of the Plan Commission to order at 6:00 pm. Other Plan Commission members present included Jim Hampton, Jay Wittman, Tom Steele, and Ryan Burnett. Also present were Community Development Director, Steve Kunst and Building Inspector / Assistant Zoning Administrator, Paul Kufahl.

MINUTES:

Motion by Tom Steele, second by Jim Hampton to approve the minutes of the February 27, 2019 Plan Commission meeting. Motion carried 5-0.

NEW BUSINESS:

- a. *Tim Vreeland, applicant, requests Preliminary Plat approval for a seven-lot subdivision at the property addressed 1701 Oriole Lane. Parcel #34.102807.003.012.00.00. Docket #2019-06.*

Applicant was not present. The Plan Commission decided to postpone the discussion and potential action to a future meeting.

- b. *Joe Schira, owner, requests a Pre-Application Conference for a potential conditional use application. Docket #2019-07.*

Community Development Director, Steve Kunst, stated the applicant is seeking Plan Commission feedback related to the potential keeping of animals, mainly horses and cows, on his property located near the end of Red Bud Rd.

Joe Schira, applicant, indicated his family had previously farmed the property and would like to get back into raising animals. He indicated it would not be a large operation and would be accepting of the low-density husbandry standards. Commissioners asked the applicant how many acres he currently owns, where he plans to contain the animals, what the current vegetative cover consists of, if he plans to board other animals, and what potential structures would be involved.

Schira noted there are 93 acres in common ownership and he would like to utilize his entire property if possible. He then gave a brief history of the property, noting it has been used for agriculture, ginseng, cultivation and timber harvests, and emphasized his property resembles a park with a mix of tree types, ponds and tillable field areas. He also noted he would consider building a horse barn type structure in the vicinity of his house to utilize existing water and electrical services, but has no intention of boarding other animals. Schira also indicated he is aware that husbandry or farming operations can create a negative

impact on neighbors, however, he felt there would be minimal, if any impacts, from his proposal, given the intentional secluded nature of his home and property location.

Commissioners indicated they were generally accepting of the use and would prefer to see the request as a conditional use versus a rezoning of the property. They then directed the applicant to work with staff to define a plan finalizing the quantity of animals, building needs, containment areas, and waste disposal. Some Commissioners noted they would be accepting of this use in other similar areas of Town and asked staff to consider establishing an animal density parameter for future requests.

OLD BUSINESS:

a. Discussion on updates to the Town of Rib Mountain Comprehensive Plan. Docket #2017-05.

Kunst noted Chapter 8 of the Comprehensive Plan focuses on Intergovernmental Cooperation. He indicated the addition of shared services with South Area Fire and Emergency Response and the interaction with a number of other municipalities. Kunst also highlighted the addition of partnerships with the Central Wisconsin Visitors Bureau, the Marathon County Economic Development Corporation, the Central Wisconsin Economic Development Fund, and the Marathon County Solid Waste Department to the chapter's cooperative practices section.

Jay Wittman asked if there has been any additional Intergovernmental Cooperation at the Town Board level. Kunst indicated The Town previously had interactions with the Village of Rothschild to potentially develop a park at the Domtar land on Sunrise Dr, as well as, continued interaction with the Marathon County Sheriff's Department to provide additional law enforcement coverage as part of a formal contract agreement. Kunst also noted the Public Works Department has agreements with other municipalities to share equipment.

Ryan Burnett asked if there is any additional cooperation with Marathon County related to the floodplain concerns of residents on North Lakeshore Dr. Kunst stated the Town continues to work with Marathon County to ensure emergency response coverage for those residents and they have considered options to create dry land access by raising the road elevation.

Kunst then indicated Chapter 9 addresses Implementation of the Plan and addresses the procedures required for application and plan amendments.

Jim Hampton noted he was concerned about the application and enforcement of restrictive covenants in some neighborhoods and asked if there was a mechanism by which the Town could aid that enforcement. He inquired about the potential for a separate commission or council that would hear individual cases and make rulings based on the established covenants.

CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

Future Meetings – Kunst noted the Plan Commission would be seeing a development proposal and Certified Survey Map for the Town owned "Tanglewood" property and a pre-application conference with TDS MetroCom at the next meeting.

Countywide Addressing – Kunst indicated the Town has not received any news from the Court regarding the addressing project.

Road Budget – Commissioners asked about the status of the Town’s Road Budget given the numerous snow falls and current flooding issues. Kunst indicated overtime was obviously high, but salt reserves have been adequate.

Municipal Center Garage – Kunst indicated the Town is working in cooperation with the Rib Mountain Lion’s Club to plan for a 1,500 square foot shared garage and neighborhood park at the Town Municipal Center.

PUBLIC COMMENT: None Received

ADJOURN:

Motion by Tom Steele, second by Jim Hampton to adjourn the Plan Commission Meeting. Motion carried 5-0. Meeting adjourned at 7:00 pm.

Respectfully Submitted,

Paul Kufahl, Building Inspector / Assistant Zoning Administrator

REPORT TO PLANNING COMMISSION

FROM: Steve Kunst, Community Development Director

DATE: March 7, 2019

SUBJECT: Preliminary Plat Review – Oriole Heights

APPLICANT: Tim Vreeland, applicant

OWNER: Richard Austin

PROPERTY ADDRESS: 1701 Oriole Lane

PARCEL #: 34.102807.003.012.00.00

REQUEST: Preliminary Plat Approval for Stone Horizon

ZONING: Mixed Residential -4 (MR-4)

ADJACENT ZONING: SR-3 (North & West), SC (South), UDD (East)

PROPOSED LAND USE: Single Family Residential

NARRATIVE:

The applicant requests Preliminary Plat approval for creation of seven (7) new single-family residential lots on Oriole Lane, between Cardinal Avenue and Rib Mountain Drive. The subject property is currently over 4 acres zoned MR-4, which permits either single family or duplex style development at a density of four (4) dwelling units per acre. Proposed lot sizes range from 17,700 square feet to 30,500 square feet and represent a density of 1.6 dwelling units per acre. Each proposed lot meets minimum dimensional standards of the Town’s Zoning and Subdivision ordinances. The Plan Commission reviewed a multi-family development proposal for this site in 2018.

APPLICABLE SUBDIVISION DESIGN STANDARDS

LOTS.

(a) In general, the size, shape and orientation of lots shall be appropriate for the location of the subdivision and for the type of development and use contemplated. Lot dimensions shall conform to the requirements of [Ch. 17](#) of this General Code.

The proposed lots meet the standards for overall size, shape and orientation of the Mixed Residential-4 zoning district. The proposed lot sizes are also consistent with the surrounding neighborhood where properties range from 10,000 ft.² to over 18,000 ft.² in overall size.

(b) All plats shall indicate building setback lines or yards equivalent to those required in [Ch. 17](#) of this General Code.

At the time this report was drafted, the Preliminary Plat did not include identify setback lines. Setbacks for the MR-4 zoning district include a 35 foot front yard, 10/12 foot side yard (one vs two stories residences), and 25 foot rear yard.

(c) Residential lots to be served by private or individual sewerage disposal facilities shall comply with the rules of the State Board of Health.

Not applicable. All proposed lots are to be served by public sewer and water.

(d) Depth and width of properties reserved or laid out for business, commercial or industrial purposes shall be adequate to provide for the off-street parking and loading facilities required for the type and use and development contemplated as established in [Ch. 17](#) of this General Code.

Not applicable.

(e) Corner lots for residential use shall have extra width to permit full building setback as required in [Ch. 17](#) of this General Code.

Not applicable.

(f) Every lot shall front on or abut a public street. Lots with access only to private drives or streets shall be permitted only with the approval of the Town planning agency.

All proposed lots front Oriole Lane. This requirement is met.

(g) Lots shall be laid out so as to provide positive drainage away from all buildings and individual lot drainage shall be coordinated with the general storm drainage pattern for the area. Drainage shall be designed so as to avoid concentration of storm drainage water from each lot to adjacent lots.

This item is addressed as part of both the overall development's stormwater management plan as well as individual building permits.

(h) Lots at right angles to each other shall be avoided wherever possible, especially in residential areas.

This requirement is met.

(i) In case a tract is subdivided into parcels containing one or more acres, such parcels shall be arranged to allow the re-subdivision of any parcels into smaller lots in accordance with the provisions of this chapter.

Not applicable.

(j) Lot lines shall follow Town boundary lines, whenever practicable, rather than cross them.

This requirement is met.

(k) Double frontage and reversed frontage lots shall be avoided, except where necessary to provide separation of residential development from traffic arteries or to overcome specific disadvantages of topography and orientation.

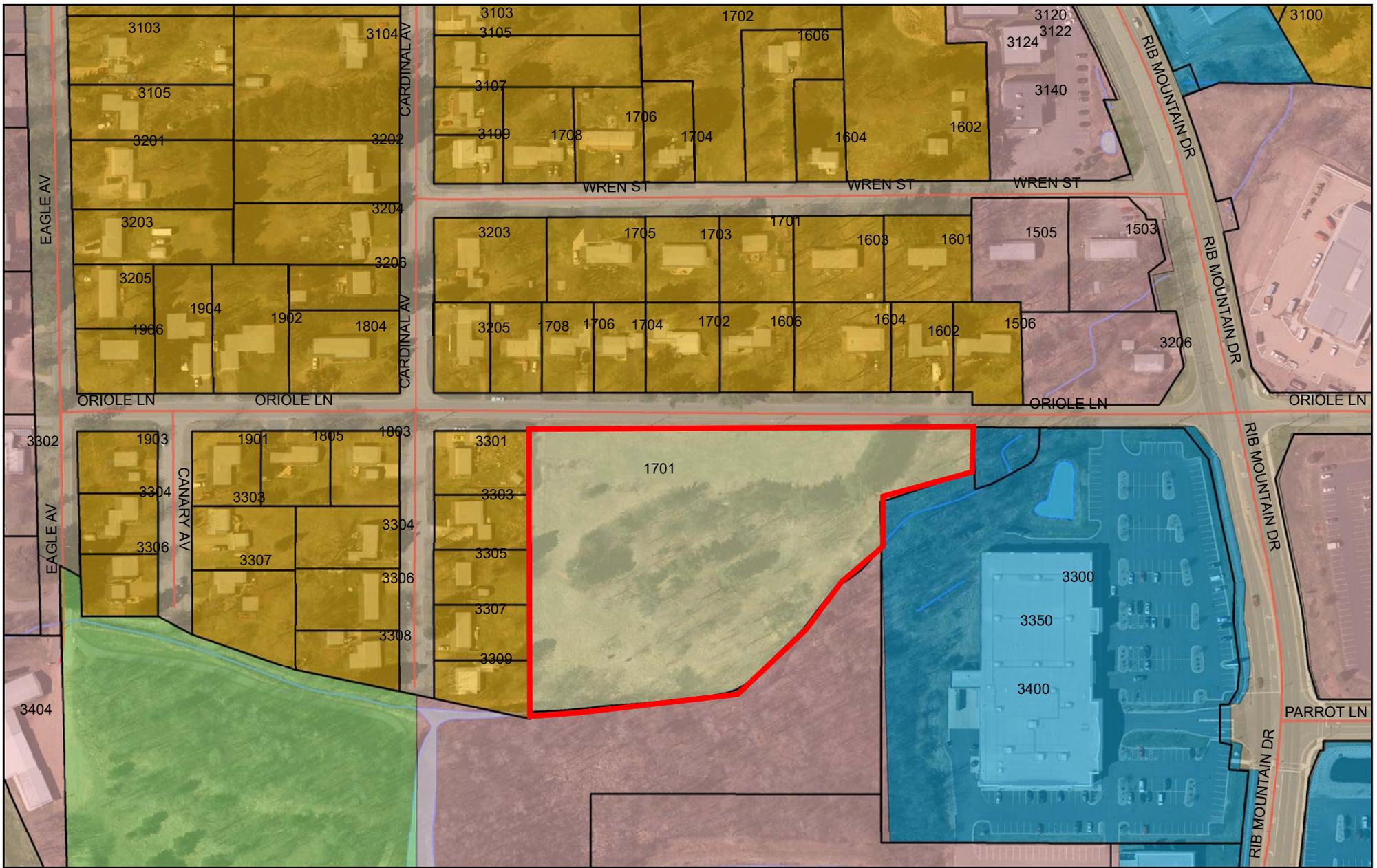
Not applicable.

ITEMS FOR POTENTIAL FINAL PLAT:

- Action from the Town Board and Marathon County Land Conservation Committee on the Preliminary Plat
- Town Engineer approved stormwater management plan
- A developer agreement covering all public improvements (street, utilities, etc.), if necessary
- Copy of any subdivision covenants and primary contact person(s)
- Setback lines identified on all buildable lots

POSSIBLE ACTION:

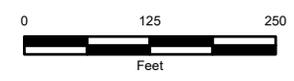
1. Recommend approval of the Preliminary Plat for Oriole Heights, as presented
2. Recommend approval of the Preliminary Plat for Oriole Heights, with conditions/modifications.
3. Recommend denial of the Preliminary Plat for Oriole Heights.



Rib Mountain:
 "Where Nature, Family, and
 Sport Come Together"

Prepared by:
MI-TECH
 www.mi-tech.us

- ▭ Parcel Outline
- ▭ Parcel Address
- Zoning Districts**
- ▭ Unzoned
- ▭ CR-5ac Countryside Residential
- ▭ EO Estate Office Residential
- ▭ ER-1 Estate Residential
- ▭ MR-4 Mixed Residential
- ▭ NC Neighborhood Commercial
- ▭ OR Outdoor Recreation
- ▭ RA-1 Rural Agricultural
- ▭ RA-2 Rural Agricultural
- ▭ ROW
- ▭ RR Rural Residential
- ▭ SC Suburban Commercial
- ▭ SI Suburban Industrial
- ▭ SO Suburban Office Residential
- ▭ SR-2 Suburban Residential
- ▭ SR-3 Suburban Residential
- ▭ UC Urban Commercial
- ▭ UDD Unified Development
- ▭ UR-8 Urban Residential
- ▭ Building Outline
- ▭ Road Centerline
- ▭ Water Feature



DISCLAIMER: The information and depictions contained herein are for informational purposes only; Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained. There is no Statement of Accuracy for any parcel data; the parcel layer is considered an Index Parcel Layer not a Cadastral Parcel Layer. For planning purposes only.

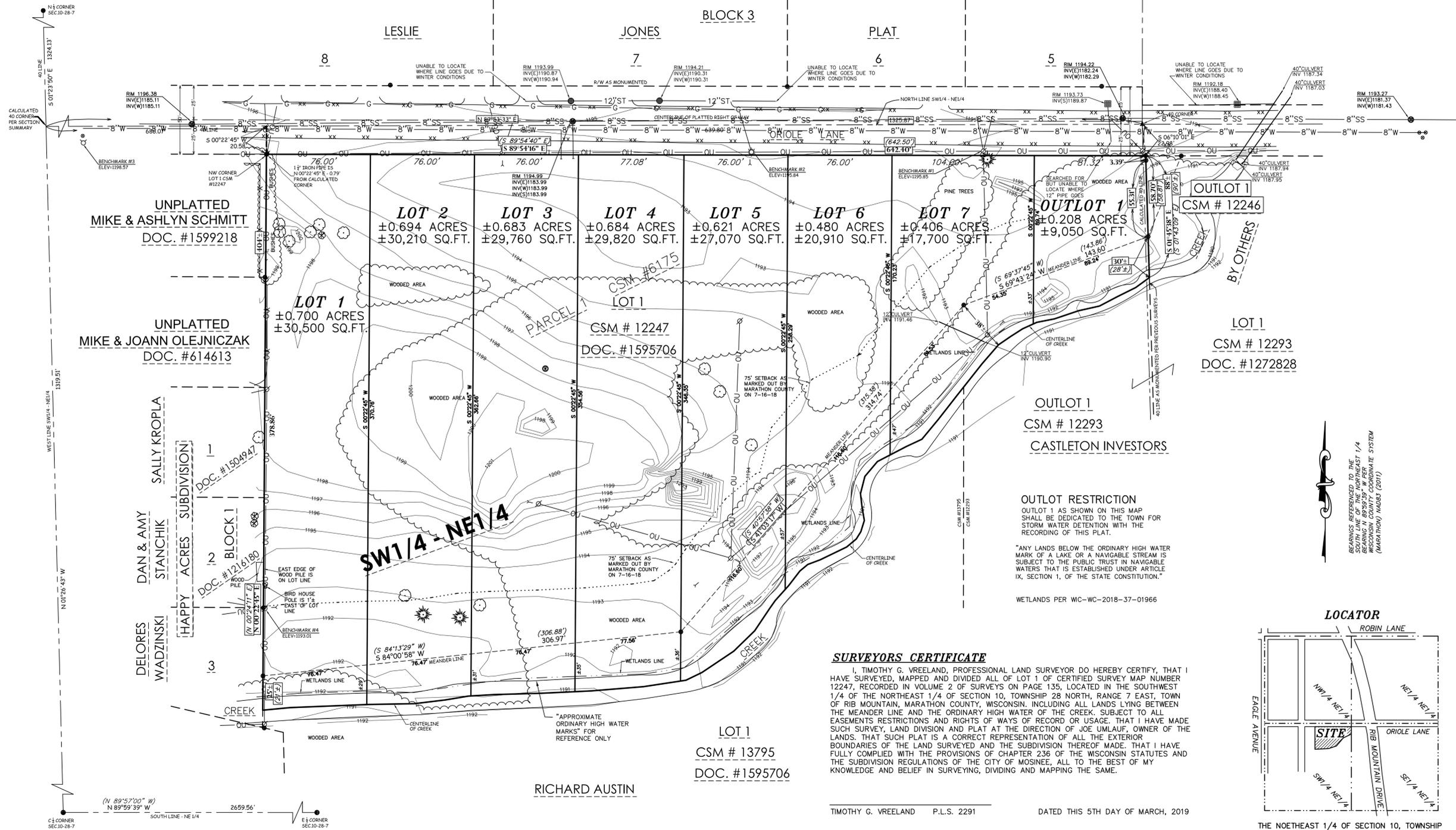
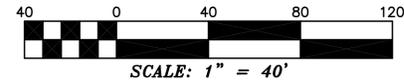
Map Printed: 3/7/2019

4a-3

VREELAND ASSOCIATES, INC.
 6103 DAWN STREET WESTON, WI. 54476
 PH (715) 241-0947 OR TOLL FREE (866) 693-3979
 FAX (715) 241-9826 tim@vreelandassociates.us
 PREPARED FOR: **JOE UMLAUF**
 FILE #: U-21-19 UMLAUF
 DRAFTED AND DRAWN BY: TIMOTHY G. VREELAND

PRELIMINARY PLAT ORIOLE HEIGHTS

LOT 1 OF CERTIFIED SURVEY MAP NUMBER 12247-52-135, LOCATED IN THE
 SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 10, TOWNSHIP 28 NORTH,
 RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.
 CONTAINING ±4.478 ACRES



SURVEYORS CERTIFICATE
 I, TIMOTHY G. VREELAND, PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY, THAT I HAVE SURVEYED, MAPPED AND DIVIDED ALL OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 12247, RECORDED IN VOLUME 2 OF SURVEYS ON PAGE 135, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 10, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN, INCLUDING ALL LANDS LYING BETWEEN THE MEANDER LINE AND THE ORDINARY HIGH WATER OF THE CREEK, SUBJECT TO ALL EASEMENTS RESTRICTIONS AND RIGHTS OF WAYS OF RECORD OR USAGE. THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND PLAT AT THE DIRECTION OF JOE UMLAUF, OWNER OF THE LANDS. THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF MOSINEE, ALL TO THE BEST OF MY KNOWLEDGE AND BELIEF IN SURVEYING, DIVIDING AND MAPPING THE SAME.

TIMOTHY G. VREELAND P.L.S. 2291 DATED THIS 5TH DAY OF MARCH, 2019

RICHARD AUSTIN

LOT 1
CSM # 13795
DOC. #1595706

BEARINGS REFERENCED TO THE SOUTH LINE OF THE NORTHEAST 1/4 OF SECTION 10, TOWNSHIP 28 NORTH, MARATHON COUNTY COORDINATE SYSTEM (MARATHON) MADE (2011)

LOT
 SO
 RA

4a-4

REPORT TO: PLAN COMMISSION

FROM: Steve Kunst, Community Development Director

DATE: March 20, 2019

SUBJECT: Glass Nickel Pizza Conditional Use Review

APPLICANT: REI Engineering, agent

PROPERTY OWNER: Town of Rib Mountain

PROPERTY ADDRESS: 2800 Martin Avenue

PARCEL #: 34.032807.011.021.00.00

REQUEST: Conditional Use approval for an Indoor Entertainment Use, In-Vehicle Sales and Service Use, Suburban Commercial zoned lot less than one acre, and a freestanding sign greater than 10 feet in height as part of construction of a new restaurant.

ZONING: Suburban Commercial (SC)

ADJACENT ZONING: Right-of-Way (North, South, East, & West)

FUTURE LAND USE MAP DESIGNATION: Commercial

NARRATIVE:

The applicant seeks Plan Commission recommendation on a conditional use request for a new restaurant, Glass Nickel Pizza, at the former Tanglewood Lanes bowling alley site. The Town of Rib Mountain has owned property since 2014 and recently agreed to a purchase agreement with the proposed developer. In addition to the restaurant, the developer plans to divide the property to create two additional development sites. The Suburban Commercial zoning district allows for parcels down to 20,000 square feet with conditional use approval. The corresponding CSM follows this item on the agenda.

The proposal includes a number of items falling under conditional use review; including the Indoor Entertainment Use associated with all restaurants, the In-Vehicle Sales and Service associated with the drive-up window, the creation of three (3) development sites within the Suburban Commercial zoning district less than one acre, and installation of a pylon sign greater than 10 feet in height within the Town's Highway Corridor Overlay District. A breakdown of applicable zoning standards associated with each use are found below.

INDOOR COMMERCIAL ENTERTAINMENT STANDARDS:

Indoor Commercial Entertainment: Indoor commercial entertainment land uses include all land uses which provide entertainment services entirely within an enclosed building. Such activities often have operating hours which extend significantly later than most other commercial land uses. Examples of such land uses include restaurants, taverns, theaters, health or fitness centers, all forms of training studios (dance, art, martial arts, etc.) bowling alleys, arcades, roller rinks, and pool halls.:

1. Permitted by Right Not Applicable
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations: {EO, SO, NC, SC, UC, CC, SI}
 - a. If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 100 feet of a residentially zoned property.

Not applicable. Subject property does not abut a residentially zoned property.

- b. Facility shall provide a bufferyard with a minimum opacity of .60 along all borders of the property abutting residentially zoned property (see Section 17.150).

Not applicable. Subject property does not abut residentially zoned property.

4. Parking Regulations: One space per every 3 patron seats, or one space per 3 persons at maximum capacity of the establishment (whichever is greater).

IN-VEHICLE SALES AND SERVICE STANDARDS:

In-Vehicle Sales or Service: In-vehicle sales and service land uses include all land uses which perform sales and/or services to persons in vehicles, or to vehicles which may be occupied at the time of such activity. Such land uses often have traffic volumes which exhibit their highest levels concurrent with peak traffic flows on adjacent roads. Examples of such land uses include drive-in, drive-up, and drive-through facilities, vehicular fuel stations, and all forms of car washes.

1. Permitted by Right Not Applicable
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations: {EO, SO, NC, SC, UC, CC}
 - a. Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access to the facility adjacent to the drive-through lane(s).

The primary customer access is not directly adjacent to the drive-up lane; however, it may be of benefit to stripe a pedestrian walkway across the main drive aisle and in front (west end) of the drive-up lane as most of the parking lot requires customers to walk in across the drive-up lane.
 - b. The drive-through facility shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.

As proposed, the drive-up lane does not appear to impede or impair vehicular or pedestrian movement throughout the site.
 - c. In no instance shall a drive-through facility be permitted to operate which endangers the public safety, even if such land use has been permitted under the provisions of this Section.

As proposed, the drive-up lane does not appear endanger public safety.
 - d. The setback of any overhead canopy or similar structure shall be a minimum of 10 feet from all street rights-of-way lines, a minimum of 20 feet from all residentially-zoned property lines, and shall be a minimum of 5 feet from all other property lines. The total height of any overhead canopy of similar structure shall not exceed 20 feet as measured to the highest part of the structure.

Not applicable. The proposal does not call for an overhead canopy as part of the drive-up facility.
 - e. All vehicular areas of the facility shall provide a surface paved with concrete or bituminous material which is designed to meet the requirements of a minimum 4-ton axle load.

This requirement is met.
 - f. Facility shall provide a bufferyard with a minimum opacity of .60 along all borders of the property abutting residentially zoned property (see Section 17.150).

Not applicable. Subject property does not abut residentially zoned property.
 - g. Interior curbs shall be used to separate driving areas from exterior fixtures such as fuel pumps, vacuums, menu boards, canopy supports and landscaped islands. Said curbs shall be a minimum of 6 inches high and be of a non-mountable design. No curb protecting an exterior fixture shall be located closer than 25 feet to all property lines.

This requirement is met as landscape islands are separated by curb. Per the Town Landscaping standards, curb needs to be added to the perimeter of the parking lot.

STANDARDS FOR PYLON SIGN EXCEEDING 10 FEET IN HEIGHT:

Pylon & Monument Signs: Freestanding signs resting on or supported by means of poles, pylons, standards, or any other type of base on the ground. The base or support(s) of any and all pylon and monument signs shall be securely anchored to a concrete base or footing. The height of pylon and monument signs shall be measured from the ground grade adjacent to the sign to the top of the sign, and shall not exceed 10 feet in height.

1. Exceptions:

- a. Pylon and monument sign height may exceed the permitted maximum height through a conditional use approval, if located within the areas described in (e)1. c. of this section.

The subject property falls within the designated corridor allowing a conditional use application.

- b. Findings of Fact. As part of the conditional use review process of the proposed pylon or monument sign exceeding 10 feet in height, the Plan Commission shall make explicit findings specifically in regards to one or more of the following:

1. The proposed sign is needed for highway visibility due to topography variations created by the I-39/USH-51 highway;

This condition is met. The subject property actually originated the Town discussion to create this exception/overlay district.

2. The proposed sign is needed for highway visibility due to line-of-site obstructions from adjacent properties;

3. The proposed sign is needed for highway visibility due to on-site specific conditions that obstruct or create difficulty for highway visibility.

- d. No more than one pylon or monument sign over the permitted maximum height of 10 feet may be approved for any single parcel.

This condition is met.

- e. Sign height shall not exceed 35 feet from ground level.

This condition is met. The proposal calls for a sign 25 feet above ground level.

- f. Any portion of the pylon or monument sign shall be set back from all property lines a minimum of 10 feet. and must be set back from a property line abutting a residentially zoned property a minimum of 35 feet.

Specific sign location was not identified at the time this report was generated. The location must meet this condition.

- h. Shall not obstruct vision triangles for street and/or driveway intersections, or impede visibility for safe pedestrian and/or vehicular circulation

Considering the proposed sign configuration includes a monopole structure, it does not appear the sign would impede or obstruct vision within the standard vision triangles. However, this condition cannot be confirmed until submittal of final plans.

- i. Maximum pylon or monument signage area sizes shall be reviewed on a case-by-case basis in regards to demonstrated on-site specific needs, and shall count against the maximum allowed signage area on any parcel.

The proposed sign is 96 square feet and will count against the property's total allowable signage.

- j. Shall not be located within a residentially zoned district.

This condition is met.

APPLICABLE SITE PLAN CRITERIA:

Current Land Use: Vacant, previously Indoor Commercial Entertainment (Bowling Alley)

Proposed Land Use: Indoor Commercial Entertainment & In-Vehicle Sales and Service

Proposed Site Visitors (Daily):

- 1) Employees: 12-25
- 2) Daily Customers: 100 - 400

Hours of Operation*: *Not identified. Menasha Location Hours are Sunday – Saturday 10:30 am – 1:00 pm

Ingress/Egress Access:

- o Access to the restaurant comes from Martin Avenue. Additional access to the proposed joint parking lot is proposed to come off Bluebird Lane.

Parking (1 space per 3 patron seats + 1 space per employee at largest shift):

- 1) Parking Required = 41-54 spaces, depending on largest employee shift
- 2) Parking Provided = 30 spaces on restaurant parcel, 89 total parking spaces

Landscaping

- 1) Landscape Surface Ratio
 - o Required - 0.25
 - o Proposed - 0.42
- 2) Landscape Points – **Entire Site**
 - o Building Foundation
 - Required – 240
 - Provided – 263
 - o Developed Lots
 - Required – 1,200
 - Provided – 1,552
 - o Street Frontage
 - Required – 928
 - Provided – 1,065
 - o Paved Areas or Parking Stalls
 - Required – 1,440
 - Provided – 1,490
 - o Total
 - Required – 3,808
 - Provided – 4,370

ADDITIONAL CONSIDERATION(S):

- o Approval should be conditioned upon a finalized stormwater management plan approved by the Street and Park Superintendent
- o Approval should be conditioned on approval of a stormwater management maintenance agreement approved by the Street and Park Superintendent
- o Parking requirements can be met with the proposed joint/shared parking; however, overall parking may limit types of end users for remaining lots.
 - o Applicant shall supply the Town with a document legally providing joint parking to other proposed development sites. This document shall be recorded with the Marathon County Register of Deeds.
- o Per RMMC Section 17.147(3), the perimeter of the parking lot requires a minimum four (4) inch tall curb separating the paved area from the landscaped area.
- o Approval should be conditioned upon submittal of a landscape plan / breakdown for solely the restaurant site. The submitted plan covers the entire existing lot; however, it is unlikely landscaping would go in for the remaining sites until the buildings are constructed.

- Setback identified for Hummingbird Road needs to be amended to code minimum of 45 feet, as the right-of-way for Hummingbird is greater than 100 feet in width.
- Approval should be conditioned upon applicant specifying pylon sign location. Per code, it must be set back a minimum of 10 feet from any property line.
- Approval should be conditioned upon receiving specifications for screening of the refuse/recycling containers. Plans identify location, but no architectural detail was provided.
- Approval should be conditioned on receiving photometric plan meeting the performance standards of the Zoning Ordinance.

ACTIONS TO BE TAKEN:

1. Recommend approval of the conditional use request for the property addressed 2800 Martin Avenue, as presented.
2. Recommend approval of the conditional use for the property addressed 2800 Martin Avenue, with conditions/modifications.
3. Recommend denial of the conditional use for the property addressed 2800 Martin Avenue.

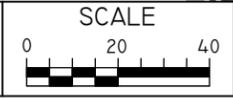
SURVEY NOTES:

- 1 FIELDWORK PERFORMED BY REI ON 03/05/2019.
- 2 TITLE WORK FOR THE PROJECT SITE WAS NOT PROVIDED TO REI FOR REVIEW, THEREFORE REI WAS UNABLE TO VERIFY THE EXISTENCE OF EASEMENTS OR OTHER ENCUMBRANCES OUTSIDE OF WHAT WAS FOUND DURING TOPOGRAPHIC SURVEY AND BOUNDARY MAPPING.
- 3 PUBLIC UTILITIES - THE SOURCE INFORMATION FROM PLANS AND MARKINGS PROVIDED BY OTHERS WAS COMBINED WITH OBSERVED SURFACE EVIDENCE OF UTILITIES TO DEVELOP THE APPROXIMATED LOCATION OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY OR RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR PARTIALLY RESPONDED TO. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. DIGGERS TICKET # 20190802000.
- 4 PRIVATE UTILITIES WERE NOT MARKED OR MAPPED AS A PART OF THIS SURVEY. LOCATED PRIVATE UTILITIES WERE MARKED AND MAPPED AS A PART OF THIS SURVEY. NON-METALLIC UTILITIES OR UTILITIES WITHOUT TRACER WIRE MAY EXIST BUT WOULD NOT BE IDENTIFIED.
- 5 REI DID NOT VERIFY THE PRESENCE OF WETLANDS OUTSIDE OF WDNR SURFACE WATER VIEWER. NO AREAS OF CONCERN WERE IDENTIFIED WITHIN THE PROJECT AREA.
- 6 ELEVATIONS AS SHOWN ON THE MAP ARE BASED ON THE NAVD 88 DATUM AND ESTABLISHED BY THE WISCORS NETWORK.
- 7 BEARINGS ARE BASED ON THE MARATHON COUNTY COORDINATE SYSTEM, NAD 83(2011) DATUM AND REFERENCED TO THE SOUTH RIGHT-OF-WAY LINE OF BLUEBIRD LANE MEASURED TO BEAR S86°29'57"E.
- 8 SURVEY FIELD WORK WAS PERFORMED DURING SNOW COVER CONDITIONS AND MAY IMPACT THE SURVEY ACCURACY AND THE ABILITY TO LOCATE CERTAIN FEATURES.



DRAWING FILE: P:\85500-8599\8597 - NSG DEVELOPMENT - GLASS NICKEL PIZZA - RIB MNT - MARTIN LANE.DWG\LAN\8597-010-EXISTING.DWG LAYOUT: 010
 PLOTTED: MAR 13, 2019 - 1:28PM PLOTTED BY: NATHANP

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



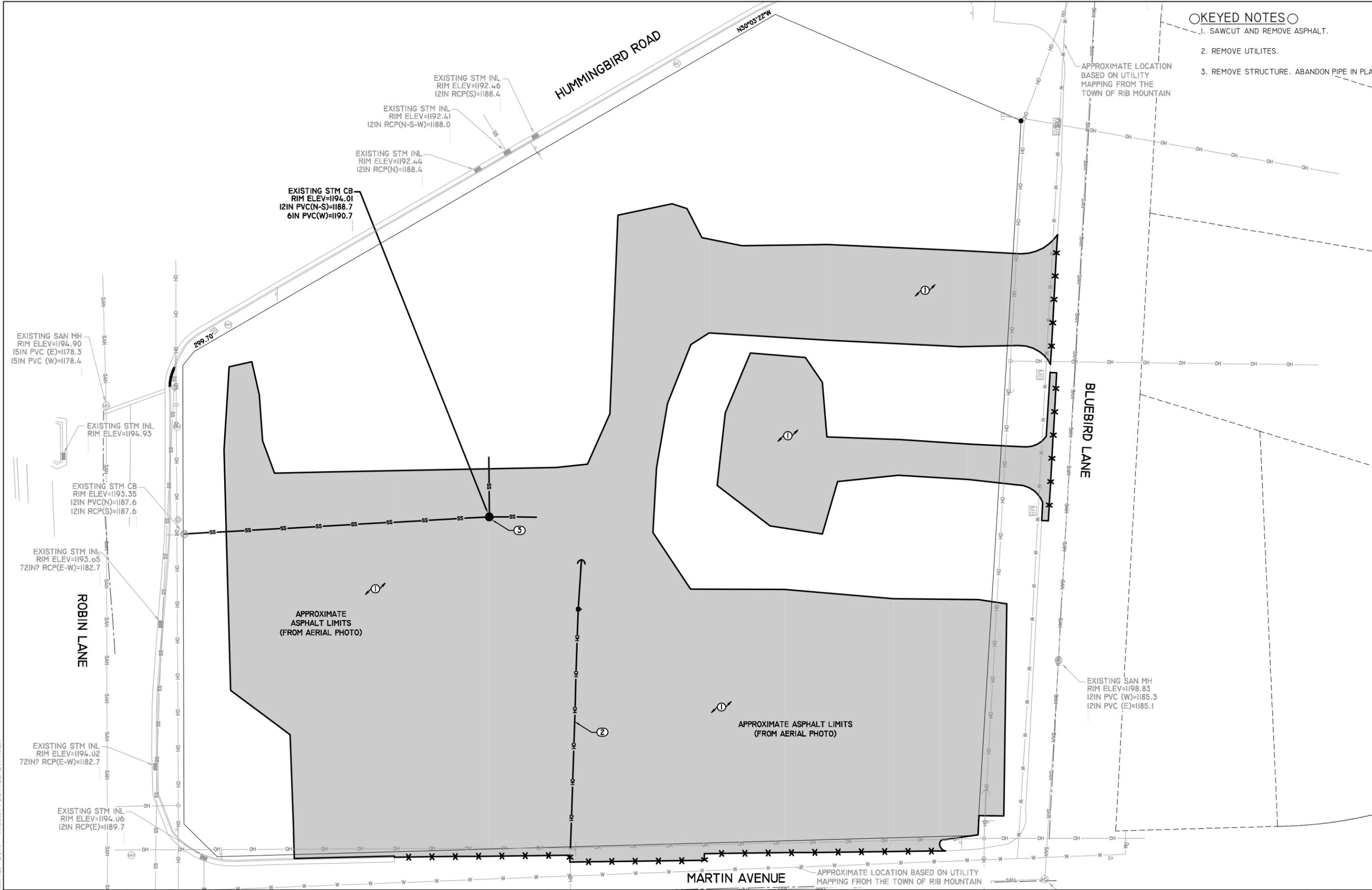
DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: TAE
				SURVEYED BY: AJB, BDE	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 03/13/19

EXISTING SITE CONDITIONS
 NSG DEVELOPMENT, LLC.
 2800 MARTIN LANE
 WAUSAU, WISCONSIN 54401

REI
 REI No. 8597
 SHEET 010

DRAWING FILE: P:\8500-8599\8597 - NSG DEVELOPMENT - GLASS NICKEL PIZZA - RIB MNT - MARTIN LANE\DWG\PLANS\8597-020-DEMO.DWG LAYOUT: 020
 PLOTTED: MAR 13, 2019 - 11:44AM PLOTTED BY: MIKEM

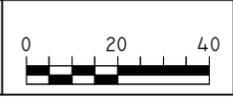
- KEYED NOTES**
1. SAWCUT AND REMOVE ASPHALT.
 2. REMOVE UTILITIES.
 3. REMOVE STRUCTURE. ABANDON PIPE IN PLACE.



REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



REI CIVIL & ENVIRONMENTAL
 ENGINEERING, SURVEYING



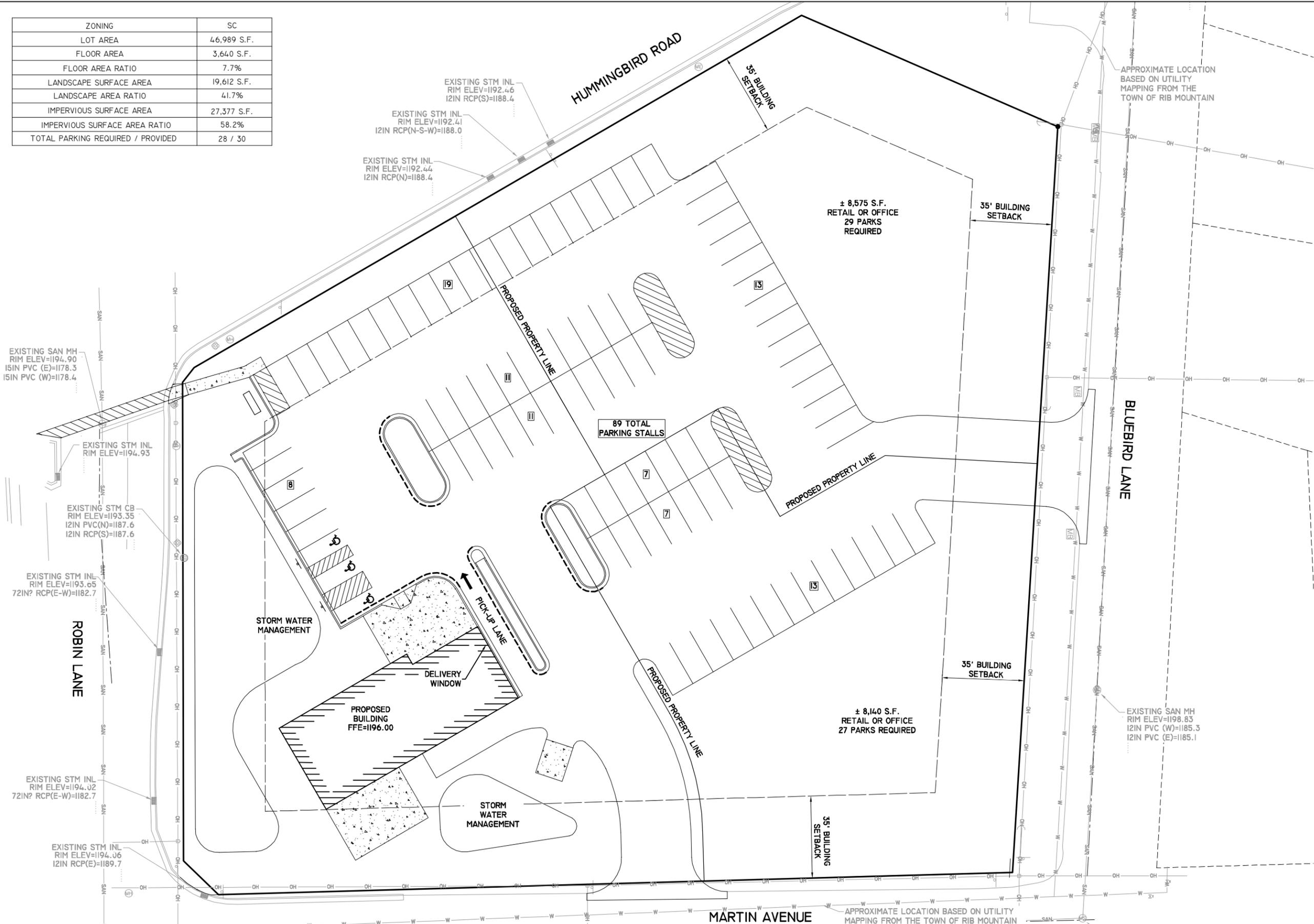
DATE	REVISION	BY	CHK'D
	4b-9		

DESIGNED BY: MEM	CHECKED BY: TAE
SURVEYED BY: AJB, BDE	APPROVED BY: MEM
DRAWN BY: NAP	DATE: 03/13/19

DEMO PLAN
 NSG DEVELOPMENT, LLC.
 2800 MARTIN LANE
 WAUSAU, WISCONSIN 54401

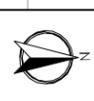
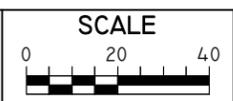
REI
 REI No. 8597
 SHEET 020

ZONING	SC
LOT AREA	46,989 S.F.
FLOOR AREA	3,640 S.F.
FLOOR AREA RATIO	7.7%
LANDSCAPE SURFACE AREA	19,612 S.F.
LANDSCAPE AREA RATIO	41.7%
IMPERVIOUS SURFACE AREA	27,377 S.F.
IMPERVIOUS SURFACE AREA RATIO	58.2%
TOTAL PARKING REQUIRED / PROVIDED	28 / 30



DRAWING FILE: P:\8500-8599\8597 - NSG DEVELOPMENT - GLASS NICKEL PIZZA - RIB MNT - MARTIN LANE\DWG\PLANS\8597-100-SITE-DWG LAYOUT: 100
 PLOTTED: MAR 13, 2019 - 4:04PM PLOTTED BY: MIKEM

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: TAE
				SURVEYED BY: AJB, BDE	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 03/13/19

OVERALL SITE PLAN
 NSG DEVELOPMENT, LLC.
 2800 MARTIN LANE
 WAUSAU, WISCONSIN 54401

REI
 REI No. 8597
 SHEET 100

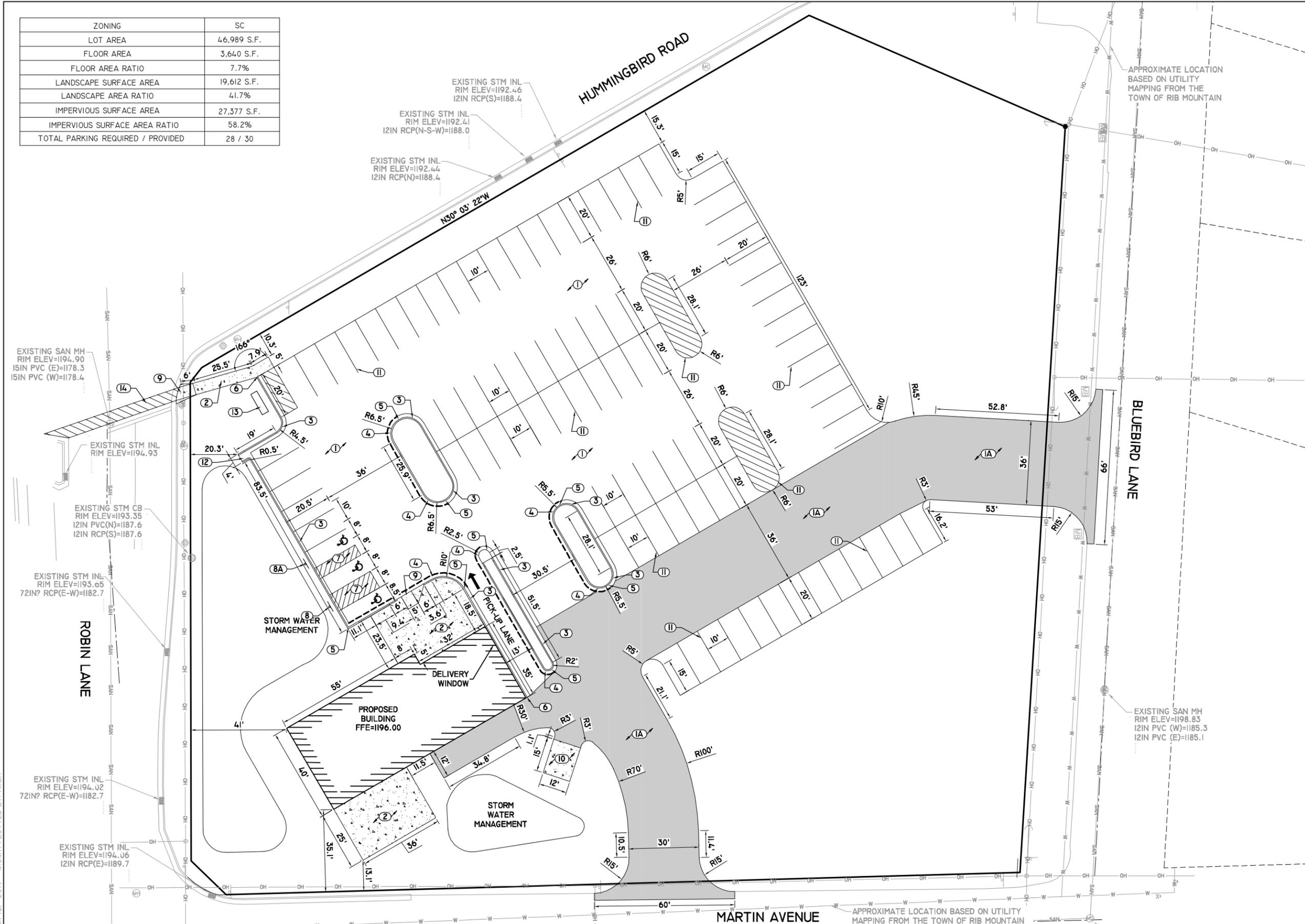
ZONING	SC
LOT AREA	46,989 S.F.
FLOOR AREA	3,640 S.F.
FLOOR AREA RATIO	7.7%
LANDSCAPE SURFACE AREA	19,612 S.F.
LANDSCAPE AREA RATIO	41.7%
IMPERVIOUS SURFACE AREA	27,377 S.F.
IMPERVIOUS SURFACE AREA RATIO	58.2%
TOTAL PARKING REQUIRED / PROVIDED	28 / 30

KEYED NOTES

1. ASPHALT PAVEMENT. SEE DETAIL A/800.
- 1A. HEAVY DUTY ASPHALT. SEE DETAIL A/800.
2. 4" CONCRETE SIDEWALK. SEE DETAIL B/800.
3. 24" CURB AND GUTTER. SEE DETAIL C/800.
4. 24" REJECT CURB AND GUTTER. SEE DETAIL C/800.
5. TRANSITION CURB & GUTTER. SEE DETAIL F/800.
6. STANDARD CURB & GUTTER TERMINATION. SEE DETAIL G/800.
7. HANDICAP PARKING SPACES & STRIPING. SEE DETAIL H/800.
8. VAN ACCESSIBLE HANDICAP SIGN WITH DOUBLE ARROW. SEE DETAIL I/800.
- 8A. HANDICAP SIGN. *THIS SPACE ONLY.* SEE DETAIL I/800.
9. TYPE 4 HANDICAP RAMP. SEE DETAIL J/800.
10. 15'X12' REFUSE AREA- 6" CONCRETE PAD WITH 6"X6" WELDED WIRE MESH. REFER TO ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
11. PAINTED STRIPING, YELLOW. (TYPICAL)
12. CONCRETE FLUME. SEE DETAIL K/800.
13. MONUMENT SIGN.
14. WHITE CROSSWALK STRIPING.

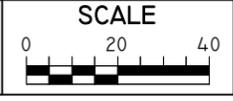
NOTES:

- (A) BUILDINGS AND PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO PROPERTY LINE LABELED, N30°03'22"W, AS TAKEN FROM THE SURVEY.
- (B) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (C) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.



DRAWING FILE: P:\8500-8599\8597 - NSG DEVELOPMENT - GLASS NICKEL PIZZA - Rib Mnt - Martin Lane\DWG\PLANS\8597-100-SITE-SITE-DWG LAYOUT: 101
 PLOTTED: MAR 13, 2019 - 4:04PM PLOTTED BY: MIKEM

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM

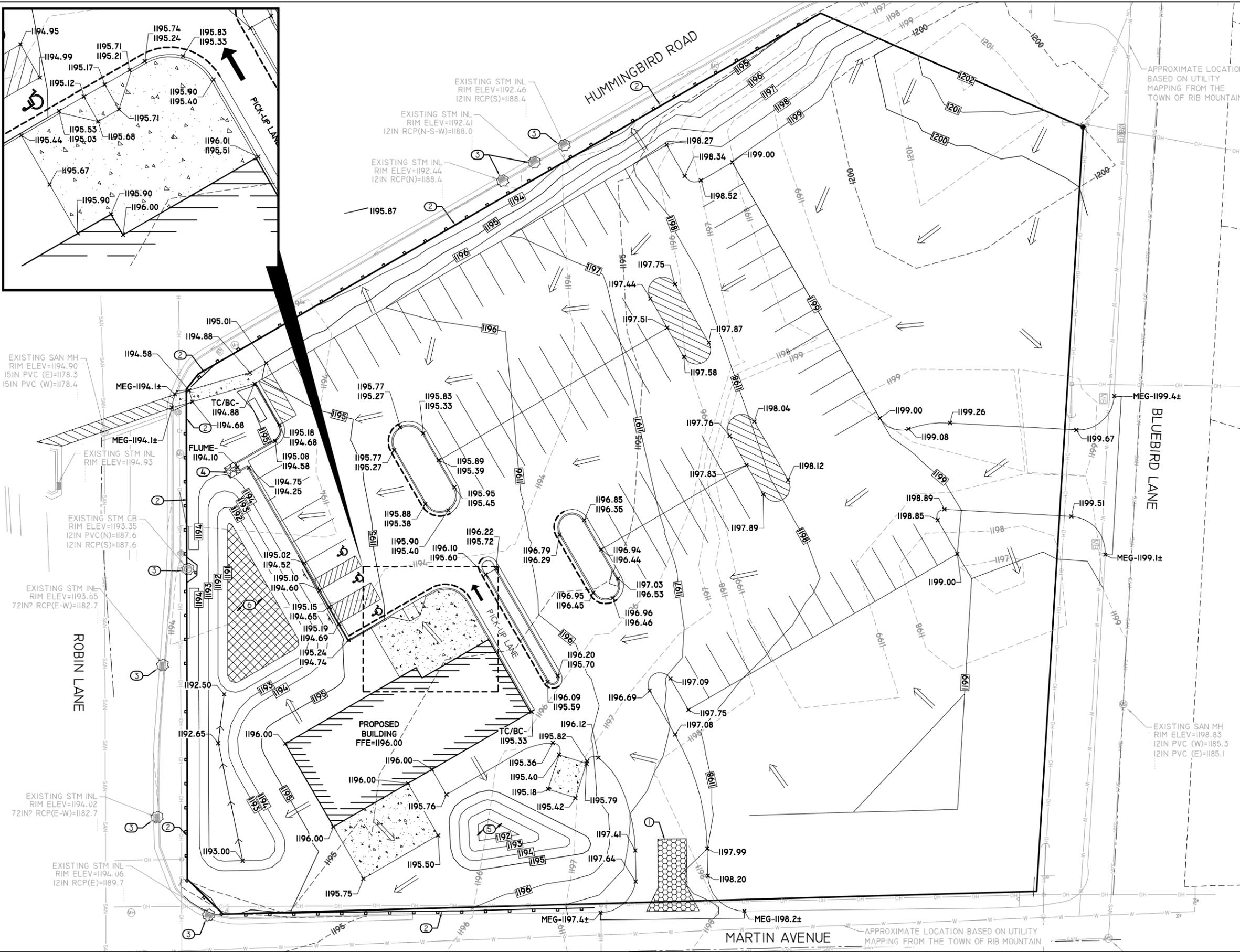


DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: TAE
				SURVEYED BY: AJB, BDE	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 03/13/19

SITE PLAN
 NSG DEVELOPMENT, LLC.
 2800 MARTIN LANE
 WAUSAU, WISCONSIN 54401

REI
 REI No. 8597
 SHEET 101

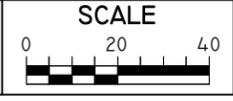
DRAWING FILE: P:\8500-8599\8597 - NSG DEVELOPMENT - GRASS NICKEL PIZZA - RIB MNT - MARTIN LANE DWG PLANS\8597-200-GRADING-EC.DWG LAYOUT: 200
 PLOTTED: MAR 13, 2019 - 11:45AM PLOTTED BY: MIREM



- KEYED NOTES**
1. TEMPORARY CONSTRUCTION ENTRANCE/EXIT. SEE DETAIL A/810.
 2. INSTALL SILT FENCE. SEE DETAIL B/810.
 3. PROVIDE INLET PROTECTION. SEE DETAIL C/810.
 4. INSTALL LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL D/810.
 5. DRY DETENTION POND.
TOP = 1195.00
BOTTOM = 1192.00
 6. BIORETENTION BASIN. PROVIDE PLANTINGS IN HATCHED AREA. SEE DETAIL E/810.
TOP = 1194.00
BOTTOM = 1191.00
5' WEIR = 1193.50
- SUGGESTED SEQUENCING:**
- PROVIDE CONSTRUCTION ACCESS
 - INSTALL SILT FENCE AND INLET PROTECTION ON EXISTING STORM STRUCTURES
 - SUBGRADE CORRECTION
 - ROUGH GRADING
 - BUILDING CONSTRUCTION
 - SITE UTILITY INSTALLATION
 - FINISH GRADING
 - PAVING
 - FINAL STABILIZATION

- NOTES:**
- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
 - (B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
 - (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
 - (D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.
 - (E) INSTALL WISDOT CLASS I, TYPE B EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER AND WITHIN SWALE BOTTOMS.
 - (F) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL.
 - (G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.
 - (H) IN AREAS WHERE THE PARKING LOT DRAINS ONTO ADJACENT GRASS AREAS, MAINTAIN ASPHALT 1" ABOVE GRASS.
 - (I) SPOT ELEVATIONS SHOWN ALONG CURBLINE DENOTE FLOWLINE UNLESS SPECIFIED. REFER TO LAYOUT PLAN FOR CURB TYPES.

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM

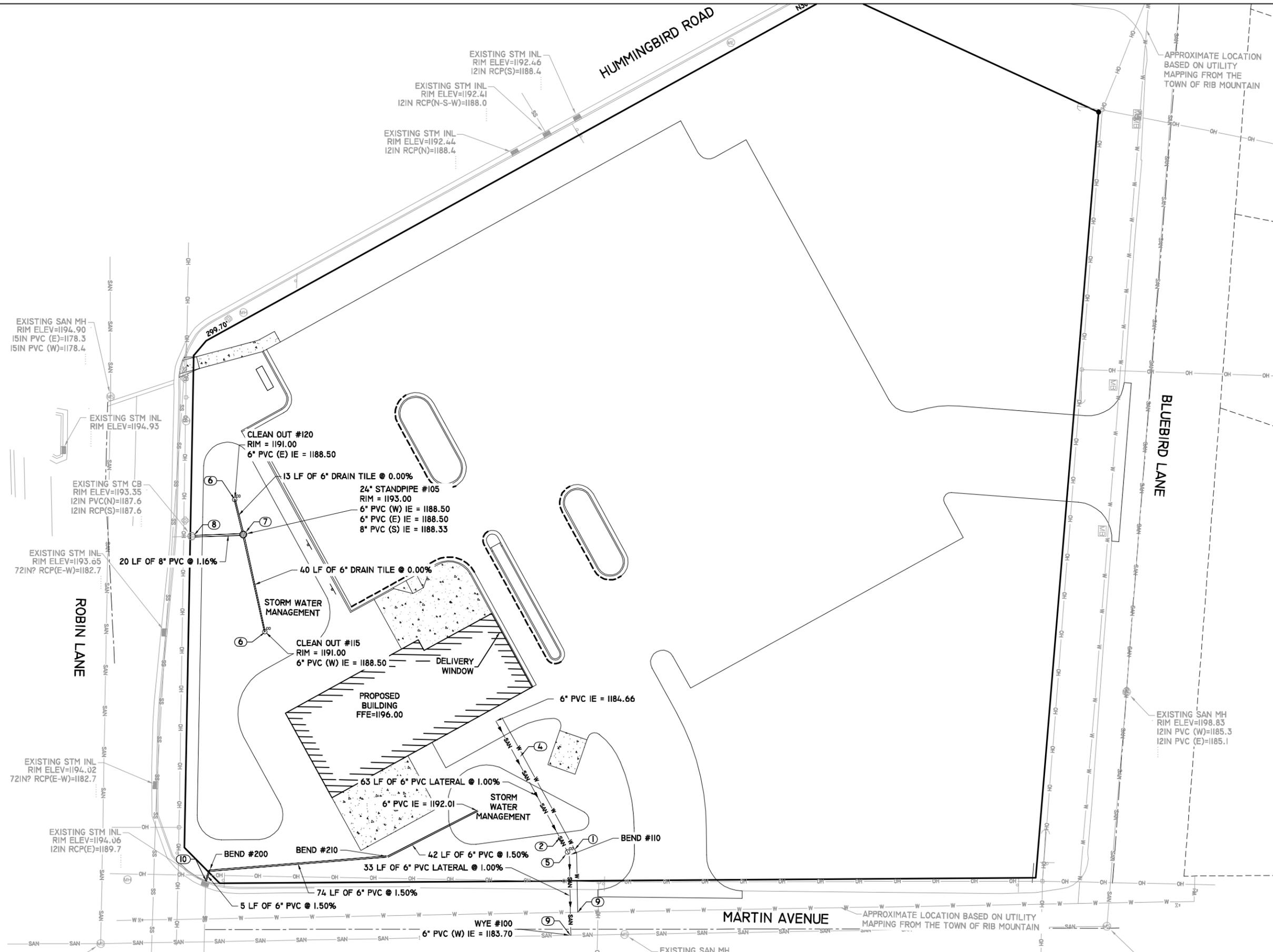


DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: TAE
				SURVEYED BY: AJB, BDE	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 03/13/19

GRADING & EROSION CONTROL PLAN
 NSG DEVELOPMENT, LLC.
 2800 MARTIN LANE
 WAUSAU, WISCONSIN 54401

REI
 REI No. 8597
 SHEET 200

DRAWING FILE: P:\8500-8599\8597 - NSG DEVELOPMENT - GLASS NICKEL PIZZA - RIB MNT - MARTIN LANE\DWG\PLANS\8597-300-UTILITIES.DWG LAYOUT: 300
 PLOTTED: MAR 13, 2019 - 2:57PM PLOTTED BY: MIKEY



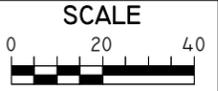
KEYED NOTES

1. INSTALL 2" WATER SERVICE LATERAL. SEE DETAIL A/820.
2. INSTALL 6" SANITARY SERVICE LATERAL @ 1.00% MINIMUM. SEE DETAIL B/820.
3. INSTALL INSULATION OVER WATER PIPE AT CROSSING. SEE DETAIL C/820.
4. SANITARY SEWER & WATER SERVICE TRENCH. SEE DETAIL D/820.
5. INSTALL 6" SANITARY CLEANOUT. SEE DETAIL E/820.
6. OBSERVATION CLEANOUT. SEE DETAIL F/820.
7. STAND PIPE OUTLET STRUCTURE. SEE DETAIL G/820.
8. REPLACE 12" EXISTING PIPE WITH 8" PVC AND SECURE WITH WATERTIGHT SEAL.
9. CONNECT TO MAIN.
10. CONNECT 6" PVC TO EXISTING STORM STRUCTURE.

NOTES:

- (A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5' GRADE OVER PROPOSED WATER LINE.
- (B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (D) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A MINIMUM HORIZONTAL CLEARANCE OF 8" BETWEEN SEWER AND WATER LINES MEASURED CENTER TO CENTER. WATER CROSSING OVER SEWER SHALL HAVE 12" MINIMUM VERTICAL CLEARANCE AND WATER CROSSING BENEATH SEWER SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18". SEE DETAIL J/820. VERTICAL CLEARANCES ARE MEASURED FROM OUTSIDE PIPE DIAMETER.
- (E) SEE DETAIL H/820 FOR PIPE BEDDING.
- (F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.
- (H) PRIOR TO INSTALLATION OF SANITARY AND WATER SERVICES, CONFIRM SIZE AND LOCATION WITH GENERAL CONTRACTOR.
- (I) THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF SITE UTILITIES SHALL PROVIDE A TEMPORARY CAP OR PLUG AT BUILDING TERMINATION. REFER TO PLUMBING PLANS FOR CONTINUATION OF WORK INSIDE THE BUILDING.
- (J) PIPE LENGTHS PROVIDED ARE GIVEN TO CENTER OF STRUCTURE OR END OF END STRUCTURE.

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



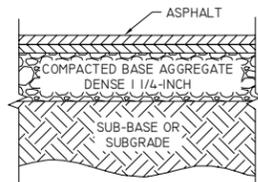
DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: TAE
				SURVEYED BY: AJB, BDE	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 03/13/19

UTILITY PLAN
 NSG DEVELOPMENT, LLC.
 2800 MARTIN LANE
 WAUSAU, WISCONSIN 54401

REI
 REI No. 8597
 SHEET 300

DRAWING FILE: P:\8500-8599\8597 - NSG DEVELOPMENT - GLASS NICKEL PIZZA - RIB MNT - MARTIN LANE\DWG\PLANS\8597-800-SITE DETAILS.DWG LAYOUT: 800
 PLOTTED: MAR 13, 2019 - 11:46AM PLOTTED BY: MIKEM

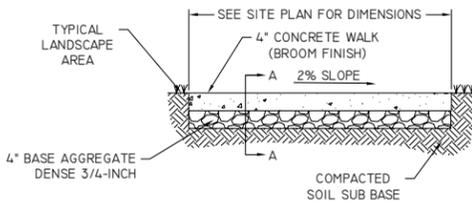
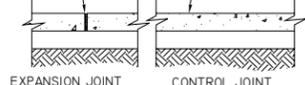
LIGHT DUTY		HEAVY DUTY	
SURFACE COURSE (4 LT 58-28S)	1.5"	SURFACE COURSE (4 LT 58-28S)	1.75"
BINDER COURSE (4 LT 58-28S)	1.5"	BINDER COURSE (3 LT 58-28S)	2.25"
BASE AGGREGATE	8"	BASE AGGREGATE	8"



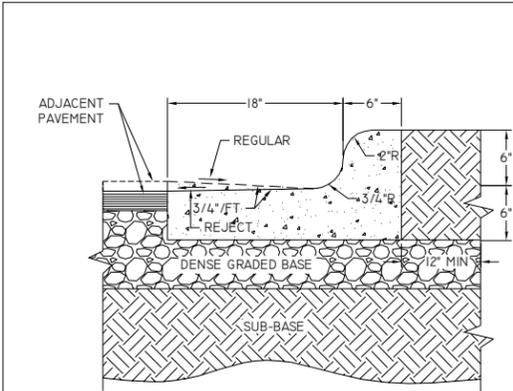
NOTES:
 1. BASE AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT.
 2. ASPHALT TO BE CONSIDERED LIGHT DUTY UNLESS SPECIFIED OTHERWISE.

A ASPHALT PAVEMENT
 800 NTS

WHERE SIDEWALK IS IN CONTACT WITH A BUILDING, PROVIDE 1/2" EXPANSION JOINT.
 1/2" EXPANSION JOINT NOT TO EXCEED 90'-0" APART (AT 5' WIDTH), 75'-0" APART (AT 6' WIDTH), 55'-0" APART (AT 8' WIDTH).
 1/4" WIDE X 1" DEEP CONTROL JOINT AT A SPACING EQUAL TO THE WIDTH OF THE SIDEWALK.

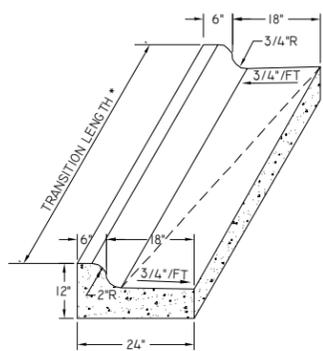


B SIDEWALK SECTION
 800 NTS



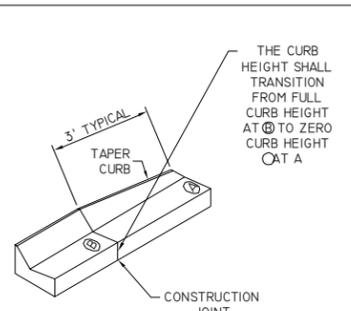
SEE SITE PLAN FOR DESIGNATION

C 24" CURB & GUTTER / 24" REJECT CURB & GUTTER
 800 NTS

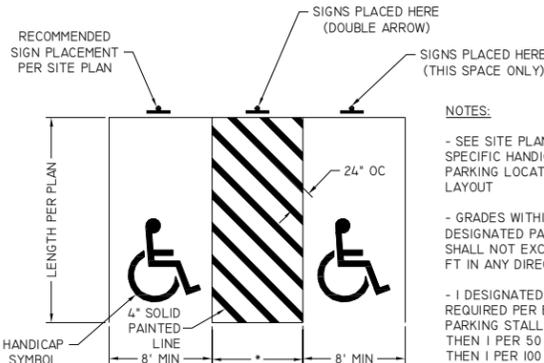


* TRANSITION LENGTH SHALL BE 12 LF ON TANGENTS GREATER THAN 18 LF, OR BETWEEN RADIUS POINTS ON TANGENTS LESS THAN 18 LF, OR BETWEEN RADIUS MID POINTS WHERE TANGENTS ARE LESS THAN 12 LF, OR ACROSS THE RADIUS/RADII WHERE TANGENTS ARE LESS THAN 2 LF.

F TRANSITION CURB & GUTTER
 800 NTS



G STD CURB & GUTTER TERMINI
 800 NTS



NOTES:
 - SEE SITE PLAN FOR SITE SPECIFIC HANDICAPPED PARKING LOCATIONS AND LAYOUT
 - GRADES WITHIN DESIGNATED PARKING AREAS SHALL NOT EXCEED 1/4" PER FT IN ANY DIRECTION
 - 1 DESIGNATED STALL REQUIRED PER EVERY 25 PARKING STALLS UP TO 100, THEN 1 PER 50 FROM 101-200, THEN 1 PER 100 FROM 201-500
 - 1 IN EVERY 6 DESIGNATED STALLS OR FRACTION OF 6 SHALL BE VAN-ACCESSIBLE
 - ACCESS AISLES MAY BE SHARED BETWEEN DESIGNATED STALLS

* ACCESS AISLE - 8' MINIMUM FOR VAN ACCESSIBLE 5' MINIMUM FOR REGULAR

H HANDICAP PARKING SPACES & STRIPING
 800 NTS

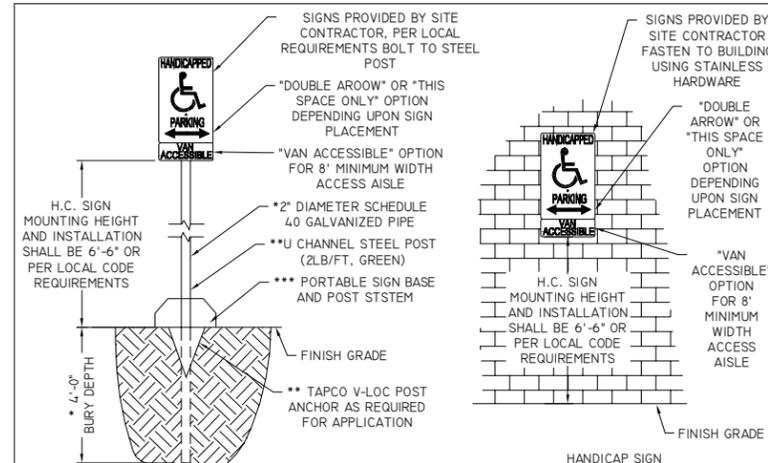


ACCESSIBILITY SYMBOL PAINTED ON PAVEMENT

* TO BE BLUE IN COLOR, UNLESS OTHERWISE SPECIFIED.

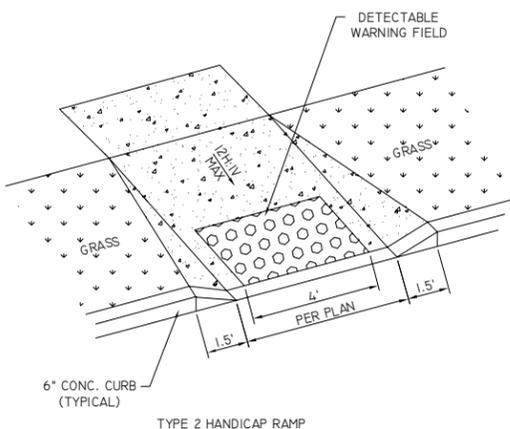


PROPORTIONING GUIDE

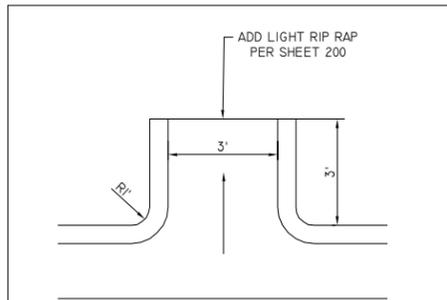


I HANDICAP SIGN
 800 NTS

* POST OPTION 1
 ** POST OPTION 2
 *** POST OPTION 3



J HANDICAP RAMP
 800 NTS



K CONCRETE FLUME
 800 NTS

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING

NO SCALE

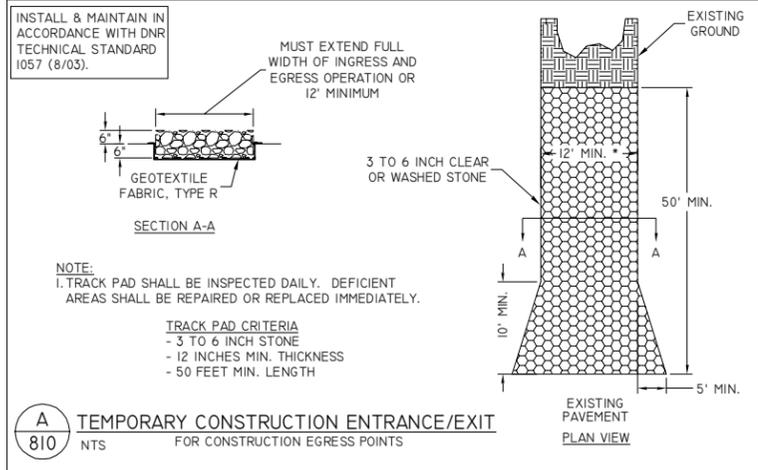
DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: TAE
				SURVEYED BY: AJB, BDE	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 03/13/19

4b-14

SITE DETAILS
 NSG DEVELOPMENT, LLC.
 2800 MARTIN LANE
 WAUSAU, WISCONSIN 54401

REI
 REI No. 8597
 SHEET 800

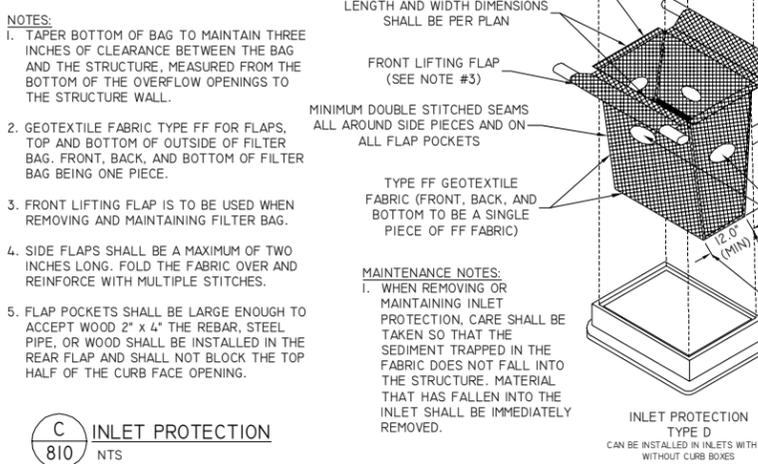
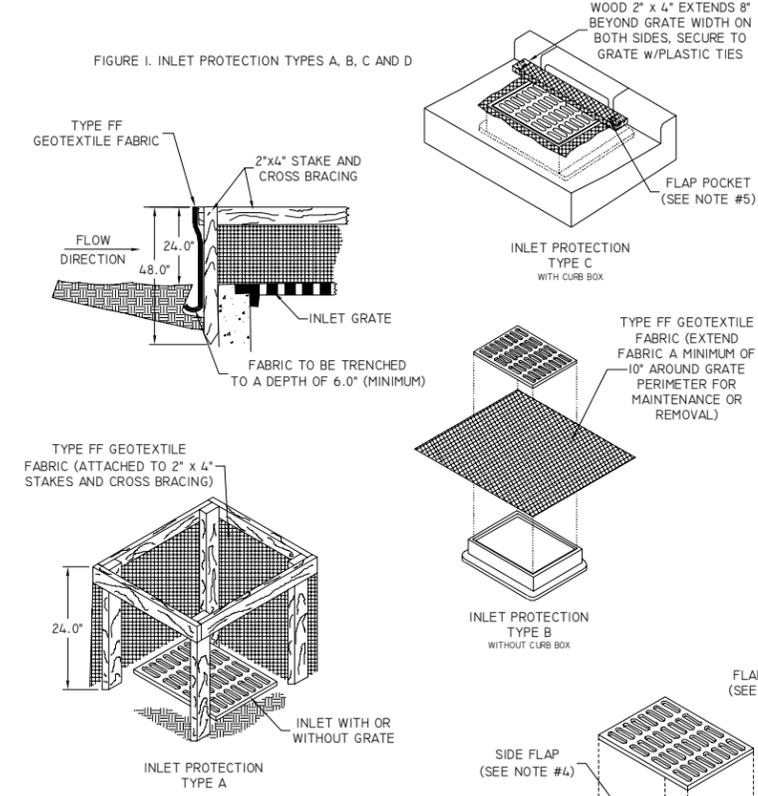
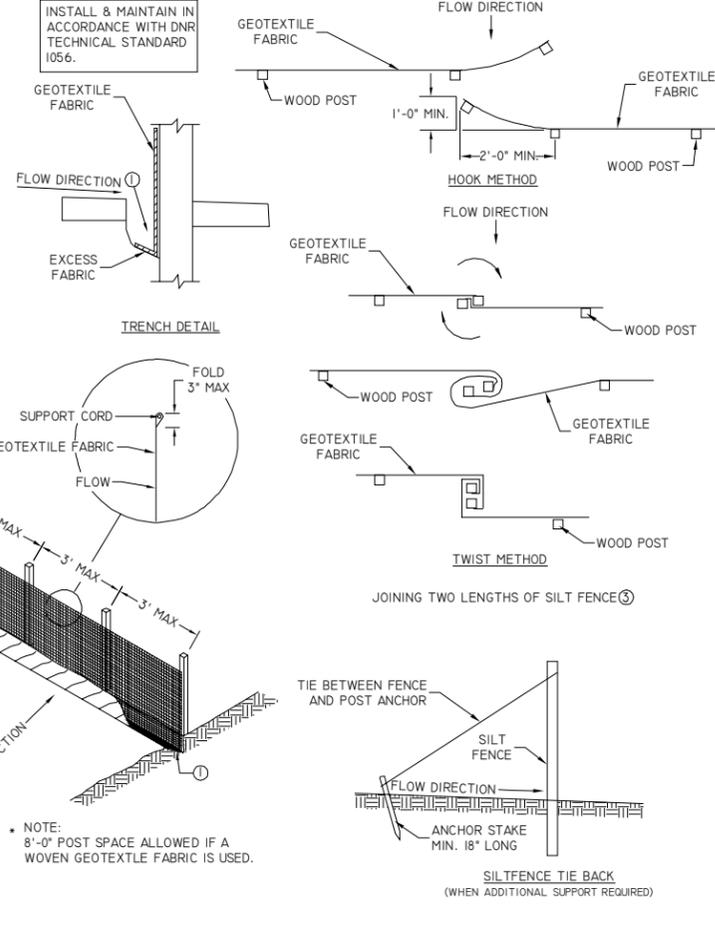
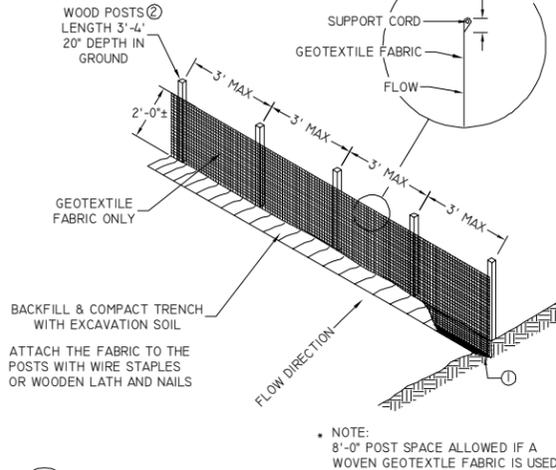
DRAWING FILE: P:\8500-8599\8597 - NSG DEVELOPMENT - GLASS NICKEL PIZZA - RIB MNT - MARTIN LANE\DWG\PLANS\8597-810-EC DETAILS.DWG LAYOUT: 810
 PLOTTED: MAR 13, 2019 - 11:47 AM PLOTTED BY: MIKEM



GENERAL NOTES:

- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL 7"; COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE:
 ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS



REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



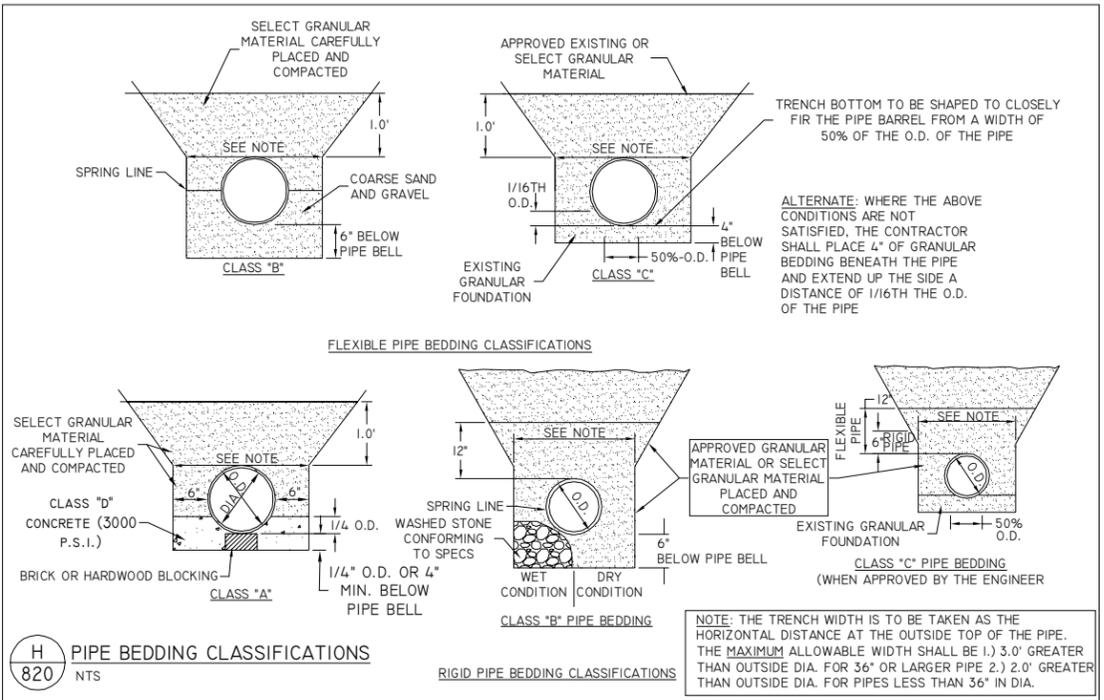
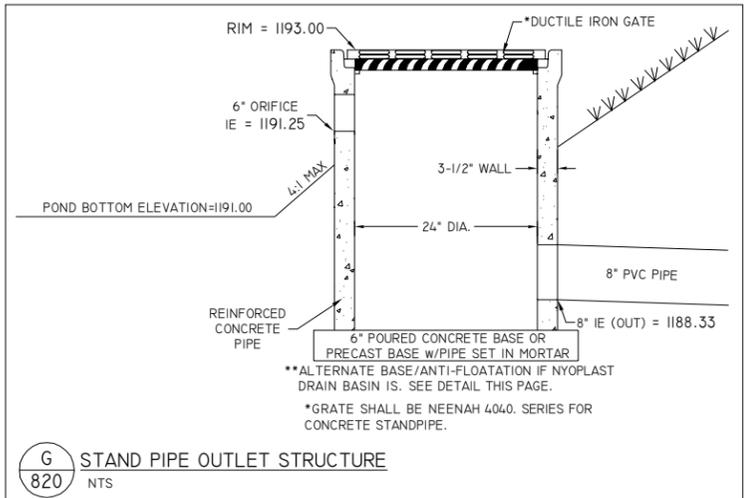
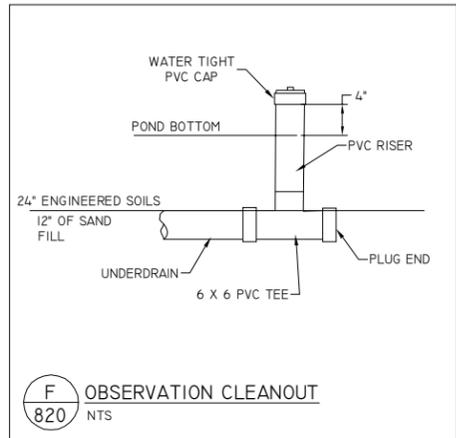
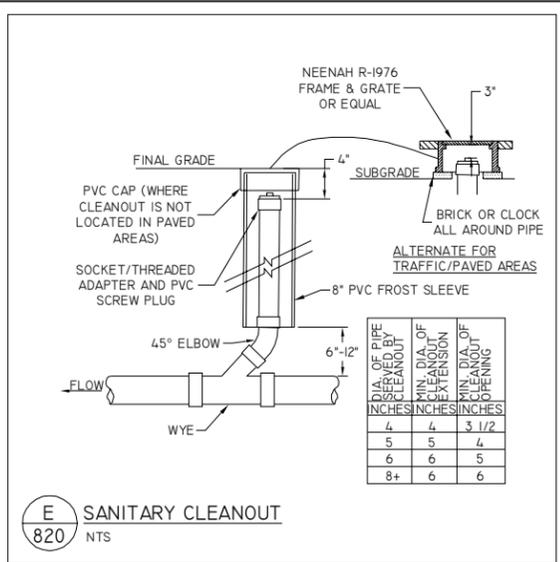
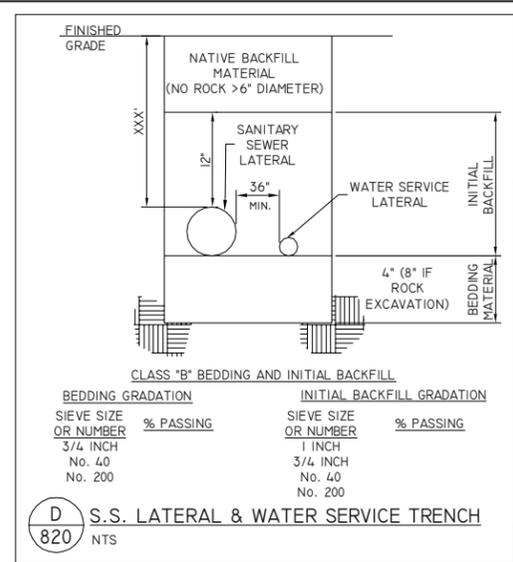
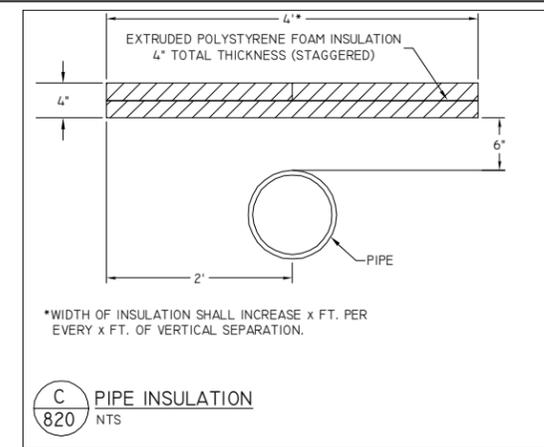
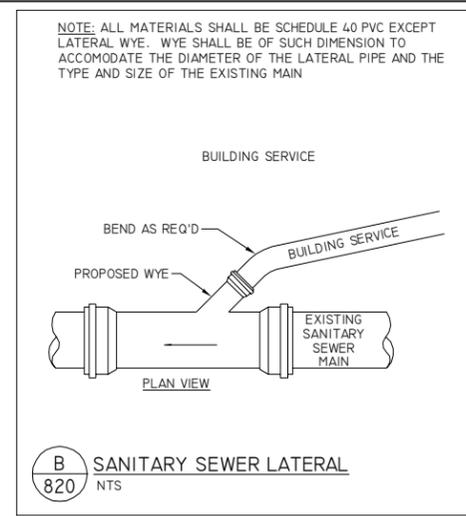
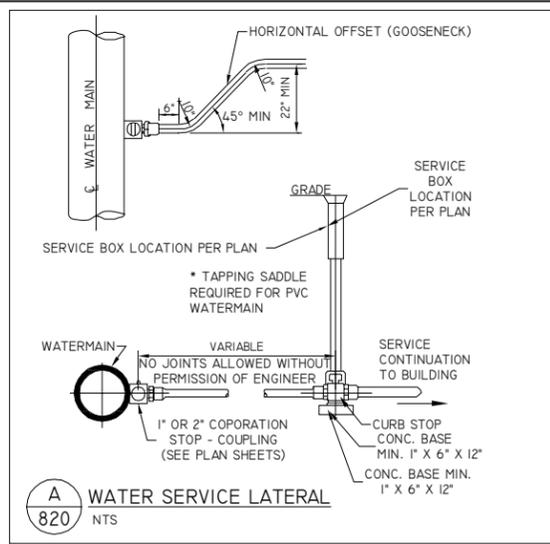
NO SCALE

DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: TAE
				SURVEYED BY: AJB, BDE	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 03/13/19

EROSION CONTROL DETAILS
 NSG DEVELOPMENT, LLC.
 2800 MARTIN LANE
 WAUSAU, WISCONSIN 54401

REI
 REI No. 8597
 SHEET 810

DRAWING FILE: P:\8500-8599\8597 - NSG DEVELOPMENT - GLASS NICKEL PIZZA - Rib Mint - MARTIN LANE\DWG\PLANS\8597-820-UTILITY DETAILS.DWG LAYOUT: 820
 PLOTTED: MAR 13, 2019 - 11:47AM PLOTTED BY: MIKEY



DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: TAE
				SURVEYED BY: AJB, BDE	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 03/13/19

GENERAL NOTES/SPECIFICATIONS

1. SITE USAGE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS TO FACILITATE CONSTRUCTION OF PROPOSED IMPROVEMENTS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH EQUIPMENT AND MATERIALS. MATERIAL STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
2. ALL SUB-CONTRACTORS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR (OR OWNER'S REPRESENTATIVE) WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
3. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, SAFE ACCESS TO FACILITIES, FIRE PREVENTION, AND PROJECT PHASING, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
4. CONTRACTOR SHALL KEEP A CLEAN SITE DURING CONSTRUCTION AND THROUGH FINAL ACCEPTANCE.
5. ALWAYS FOLLOW WRITTEN DIMENSIONS. DO NOT SCALE. IF DISCREPANCY EXISTS, CONTACT THE ENGINEER.
6. REMOVE ALL TREES WITHIN THE GRADING LIMITS, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER TO LOCATE ALL TREES TO REMAIN.
7. PROTECT TREES, UTILITY POLES, ABOVE AND BELOW GRADE UTILITIES, AND OTHER FEATURES THAT ARE TO REMAIN. THE REPAIR OF ANY DAMAGE TO FEATURES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO PAYMENT DUE FOR SUCH REPAIRS.
8. PROTECT ABOVE AND BELOW GRADE UTILITIES THAT ARE TO REMAIN.
9. ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, WATER VALVES, LIGHT POLES, HYDRANTS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO THE SITE GRADING PLAN SHEET.
10. PROTECT BENCHMARKS, REFERENCE SURVEY POINTS AND OTHER PROVIDED CONSTRUCTION STAKES.
11. CALL DIGGER'S HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
12. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
13. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS, AND RELOCATIONS.
14. NOTIFY ELECTRIC UTILITY AT LEAST ONE WEEK PRIOR TO WORKING IN AREAS WHERE UTILITY POLES EXIST. UTILITY COMPANY WILL PROTECT POLES AS NECESSARY.
15. DURING CONSTRUCTION THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR INSPECTION AND DOCUMENTATION OF THE EROSION CONTROL DEVICES AS REQUIRED BY THE WPDES PERMIT. IF CHANGES TO THE EROSION CONTROL PLAN ARE REQUIRED, THE CONTRACTOR SHALL RECORD THOSE CHANGES ON THE PLAN. UPON COMPLETION OF WORK AND PRIOR TO LEAVING THE SITE, THE CONTRACTOR AND OWNER'S DESIGNEE SHALL COORDINATE ONGOING RESPONSIBILITY UNTIL THE SITE'S WPDES PERMIT IS TERMINATED BY THE WDNR.
16. EROSION CONTROL DEVICES SHALL ABIDE BY THE WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS. [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML)
17. CONFIRM THAT ALL TOPSOIL HAS BEEN STRIPPED FROM AREAS TO RECEIVE EMBANKMENT BEFORE PLACING EMBANKMENT MATERIAL.
18. EMBANKMENT MATERIAL SHALL BE EXCAVATED SITE MATERIAL AND/OR IMPORTED MATERIAL DEEMED SUITABLE BY THE OWNER AND OWNER'S REPRESENTATIVE, AND CONFORM TO THE REQUIREMENTS OF SUB-SECTION 207.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MODIFY WATER CONTENT OF THE MATERIAL AS NECESSARY TO OBTAIN SPECIFIED COMPACTION FOR ALL EMBANKMENT MATERIAL.
19. CONSTRUCT ALL EMBANKMENT THAT WILL SUPPORT ROADWAYS OR ASPHALT PARKING IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; AND MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE.
20. CONSTRUCT UTILITY TRENCHES IN EMBANKMENT AREAS AFTER CONSTRUCTION OF EMBANKMENT.
21. BORROW MATERIAL SHALL BE IMPORTED MATERIAL MEETING THE ABOVE REQUIREMENTS FOR EMBANKMENT. THE CONTRACTOR SHALL IDENTIFY ITS BORROW SOURCES TO THE OWNER'S CONSTRUCTION REPRESENTATIVE AT LEAST TWO WEEKS IN ADVANCE OF HAULING MATERIAL TO THE PROJECT SITE SO THE OWNER'S CONSTRUCTION REPRESENTATIVE CAN OBTAIN SAMPLES AND PERFORM THE DESIRED TESTING.
22. STRUCTURAL FILL IS REQUIRED IN ALL AREAS THAT WILL SUPPORT PRESENT OR FUTURE BUILDING STRUCTURES, AND WITHIN AREAS EXTENDING DOWNWARD AND OUTWARD FROM THE BUILDING LIMITS AT FINISHED GRADE ON A 1-TO-1 (HORIZONTAL TO VERTICAL) SLOPE TO THE BOTTOM OF THE FILL. CONFIRM THAT ALL UNSUITABLE MATERIAL HAS BEEN REMOVED FROM AREAS TO RECEIVE STRUCTURAL FILL BEFORE PLACING MATERIAL. SUB GRADES MAY NOT RECEIVE STRUCTURAL FILL IF FROZEN, AND FROZEN STRUCTURAL FILL IS NOT ACCEPTABLE FOR USE. PROVIDE ADEQUATE ADVANCED NOTIFICATION, ACCESS, EQUIPMENT, AND OPERATOR TO PERMIT TESTING AGENCY TO OBSERVE COMPACTION OF SUB GRADE PRIOR TO PLACEMENT OF STRUCTURAL FILL MATERIAL. PROVIDE ADEQUATE ADVANCE NOTIFICATION, ACCESS AND COOPERATION TO TESTING AGENCY TO PERFORM DENSITY TESTING ON EACH LIFT OF FILL PLACED, PRIOR TO PLACING FILL ABOVE THE LIFT. THE TESTING FREQUENCY WILL BE DETERMINED BY THE OWNER OR OWNER'S DESIGNATED REPRESENTATIVE. CONSTRUCT ALL STRUCTURAL FILL IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; ALL LIFTS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557; MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE; THE LIMIT OF STRUCTURAL FILL FOR PURPOSES OF COMPACTION REQUIREMENTS IS DEFINED AS THE AREA ENCOMPASSED BY PLANS EXTENDING DOWNWARD AND OUTWARD FROM THE EDGES OF THE STRUCTURE OR CONCRETE SLAB AT 45-DEGREE ANGLES RELATIVE TO HORIZONTAL (I.E. 1:1 SLOPES).
23. THE CONTRACTOR SHALL PREPARE THE SITE TO SUPPORT THE PROPOSED SURFACE PER SEC. 211 OF THE WISDOT STANDARD SPECS.
24. DENSE GRADED BASE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS FOR DENSE GRADED BASE, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
25. HOT MIX ASPHALT PAVEMENT SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 460 OF THE WISDOT STANDARD SPECIFICATIONS FOR PAVEMENT, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
26. CONCRETE PAVEMENT AND CURBING SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 501 OF THE WISDOT STANDARD SPECS, TYPE A OR A-FA.
27. HDPE STORM SEWER SHALL BE CORRUGATED EXTERIOR WITH SMOOTH INTERIOR AND SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M 294 TYPE S, ASTM F667, ASTM F405. END SECTIONS FOR CULVERTS SHALL BE OF THE SAME MATERIAL TYPE AS THE PIPE TO WHICH THE APRON END WALL WILL BE CONNECTED, EXCEPT STEEL END SECTIONS MAY BE USED FOR HDPE PIPE. INSTALL HDPE PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 607 OF THE WISDOT STANDARD SPECIFICATIONS.
28. DRAIN TILE SHALL BE CORRUGATED POLYETHYLENE DRAINAGE PIPE CONFORMING TO AASHTO M252, TYPE CP WITH CLASS 2 PERFORATIONS.
29. NON-PRESSURE POLYVINYL CHLORIDE PIPE SHALL BE SDR 35 OR SCHEDULE 40 PVC PIPE. ALL BENDS OR OTHER FITTINGS SHALL BE SCHEDULE 40.
30. WATER TUBING SHALL BE OF MATERIALS SPECIFIED IN 8.24.1 OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
31. PIPE INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
32. PIPE INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.30(1)(C)2 AS REQUIRED BY SPS 382.30(1), SPS 382.36(7) & SPS 382.40(8).
33. RIPRAP AND FABRIC SHALL CONFORM TO THE REQUIREMENTS OF SECTION 606 OF THE WISDOT STANDARD SPECS, WITH THE GRADE BEING SPECIFIED ON THE PLANS.
34. PAVEMENT MARKING PAINT SHALL BE PRE-MIXED WATERBORNE EMULSION APPLIED TO A CLEAN SURFACE AT MANUFACTURER'S RATES. CONFIRM COLOR WITH OWNER PRIOR TO APPLICATION.
35. AFTER FINAL STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED SUCH THAT THE BOTTOM OF ANY STORM WATER FACILITY IS AT PLAN ELEVATION. SEDIMENT SHALL BE DISPOSED OF LEGALLY OFFSITE.
36. AT A MINIMUM RESTORE SITE BY SEEDING & MULCHING ALL DISTURBED AREAS TO BE VEGETATED AND ENSURE ESTABLISHMENT OF ADEQUATE VEGETATION. SEED IS TO BE OF A SINGLE URBAN LAWN MIX TYPE INTENDED FOR THE EXISTING SITE SOILS AND CONFORMING WITH SECTION 630 OF THE WISDOT STANDARD SPECIFICATION.
37. SITE AND IMPORTED TOPSOIL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF SECTION 625 OF THE WISDOT STANDARD SPECIFICATIONS, GRADED FREE OF STONES AND LUMPS LARGER THAN 1 INCH AND FREE OF ROOTS, VEGETATION, AND OTHER UN-DECOMPOSED ORGANIC MATERIAL.
38. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL EXCESS AND UNUSED MATERIALS FROM THE SITE FOLLOWING COMPLETION OF THEIR WORK.

DRAWING FILE: P:\8500-8599\8597 - NSG DEVELOPMENT - GLASS NICKEL PIZZA - RIB MNT - MARTIN LANE\DWG\PLANS\8597-900-SPECS.DWG LAYOUT: 900 PLOTTED: MAR 13, 2019 - 11:48AM PLOTTED BY: MIKEH

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



REI

**CIVIL & ENVIRONMENTAL
 ENGINEERING, SURVEYING**

DATE	REVISION	BY	CHK'D
	4b-17		

DESIGNED BY: MEM	CHECKED BY: TAE
SURVEYED BY: AJB, BDE	APPROVED BY: MEM
DRAWN BY: NAP	DATE: 03/13/19

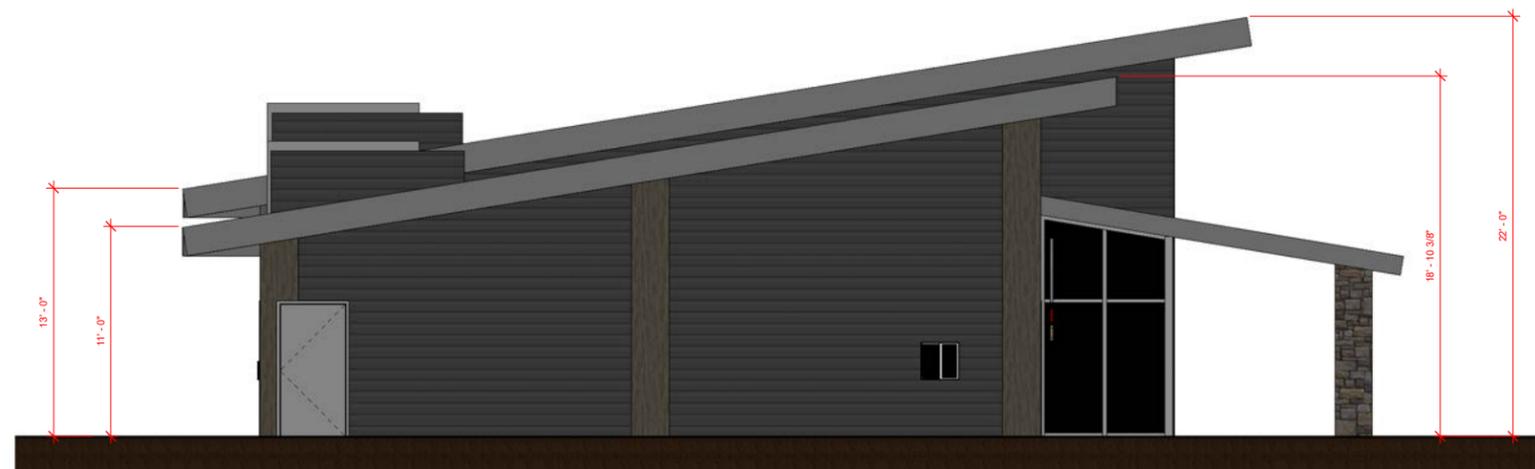
SITE SPECIFICATIONS
 NSG DEVELOPMENT, LLC.
 2800 MARTIN LANE
 WAUSAU, WISCONSIN 54401

REI
 REI No. **8597**
 SHEET **900**



North

SCALE: 1/4" = 1'-0"



West

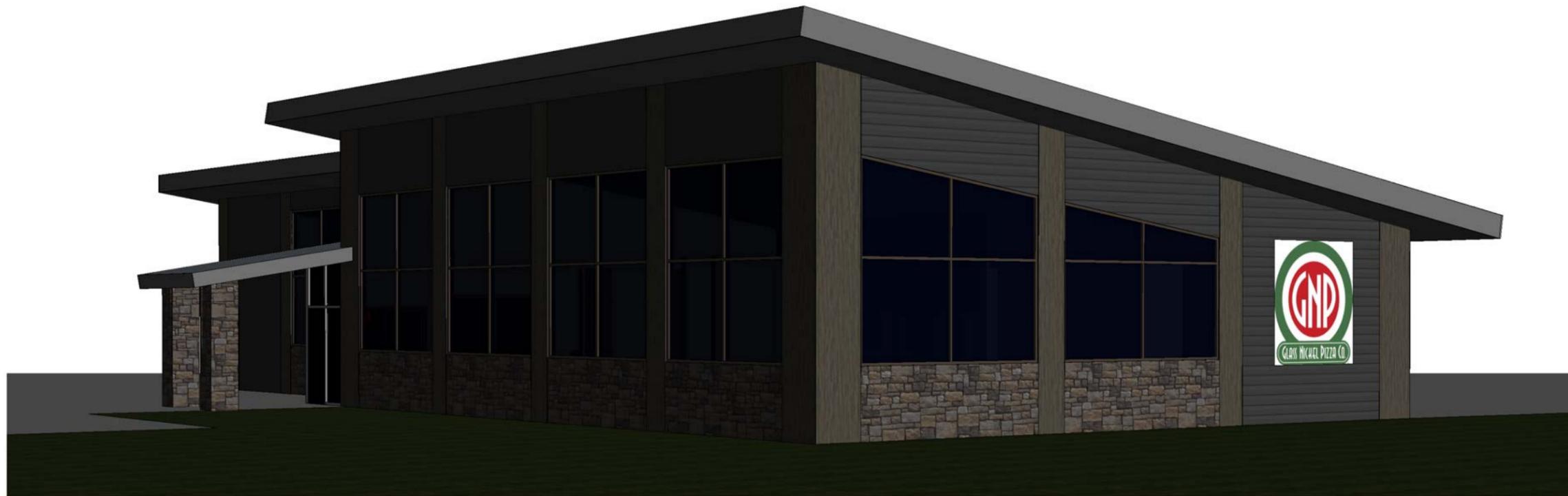
SCALE: 1/4" = 1'-0"



Glass Nickle - Wausau, WI
Wausau, WI

Project # GG345
Date: 10/3/18
Drawn by: Author
Elevations
Scale: 1/4" = 1'-0"
Sheet #

A103



3D View 1

SCALE:

Tom
Vanden Heuvel
Construction / Project Management
320-741-0233
tom@vandenheuvel.com
2019.10.18 10:00 AM
10/18/2019

Glass Nickle - Wausau, WI

Wausau, WI

Project # GG345
Date: 10/3/18
Drawn by: Author

3D View

Scale:

Sheet #

A104

17.144 | Foundation Planting **Required 240**

Latin Name	Common Name	Size	Quantity	Points	Comments
Medium Deciduous Trees (15pts)					6' Tall
<i>Prunus sargentii</i>	sargent cherry		2	30	
<i>Ulmus parvifolia</i>	Chinese elm		3	45	
Low Deciduous Tree (10pts)					4' Tall
<i>Cercis canadensis</i>	red bud		2	20	
<i>Crataegus laevigata 'Superba' (Crimson Cloud)</i>	scarlet hawthorn		4	40	
Medium Deciduous Shrub (3pts)					24" Tall
<i>Salix purpurea</i>	purple basket willow		7	21	
<i>Spiraea vanhouttei</i>	bridal wreath spirea		9	27	
Medium Evergreen Shrub (5pts)					18" Tall/Wide
<i>Pinus mugo</i>	mugo pine		16	80	
			43	263	43

17.145 | Developed Lot Planting **Required 1200**

Latin Name	Common Name	Size	Quantity	Points	Comments
Tall Deciduous Trees (30pts)					1-1/2" Caliper
<i>Acer campestre</i>	field maple	1-1/2" Cal	1	30	
<i>Acer rubrum</i>	red maple	1-1/2" Cal	4	120	
<i>Gymnocladus dioicus</i>	Kentucky coffeetree	1-1/2" Cal	2	60	
Medium Deciduous Trees (15pts)					6' Tall
<i>Populus tremuloides</i>	quaking aspen		17	255	
<i>Prunus sargentii</i>	sargent cherry		3	45	
<i>Ulmus parvifolia</i>	Chinese elm		1	15	
Low Deciduous Tree (10pts)					4' Tall
<i>Crataegus laevigata 'Superba' (Crimson Cloud)</i>	scarlet hawthorn		7	70	
Tall Evergreen Tree (30pts)					5' Tall
<i>Abies concolor</i>	white fir		6	180	
<i>Picea omorika</i>	Norway spruce		23	690	
Medium Deciduous Shrub (3pts)					24" Tall
<i>Salix purpurea</i>	purple basket willow		20	60	
<i>Spiraea vanhouttei</i>	bridal wreath spirea		4	12	
Medium Evergreen Shrub (5pts)					18" Tall/Wide
<i>Pinus mugo</i>	mugo pine		3	15	
			91	1552	

17.146 | Street Frontage Planting **Required 928**

Latin Name	Common Name	Size	Quantity	Points	Comments
Climax Trees (35pts)					2" Caliper
<i>Acer saccharum</i>	Sugar Maple	2" cal	21	735	
Tall Deciduous Trees (30pts)					1-1/2" Caliper
<i>Acer campestre</i>	field maple	1-1/2" Cal			
<i>Acer rubrum</i>	red maple	1-1/2" Cal	1	30	
<i>Gymnocladus dioicus</i>	Kentucky coffeetree	1-1/2" Cal			
Medium Deciduous Trees (15pts)					6' Tall
<i>Populus tremuloides</i>	quaking aspen		5	75	
<i>Prunus sargentii</i>	sargent cherry				
<i>Ulmus parvifolia</i>	Chinese elm		11	165	
Low Deciduous Tree (10pts)					4' Tall
<i>Cercis canadensis</i>	red bud				
<i>Crataegus laevigata 'Superba' (Crimson Cloud)</i>	scarlet hawthorn				
Tall Evergreen Tree (30pts)					5' Tall
<i>Abies concolor</i>	white fir		1	30	
<i>Picea omorika</i>	Norway spruce		1	30	
			40	1065	

17.147 | Paved Area Planting **Required 1440**

Latin Name	Common Name	Size	Quantity	Points	Comments
Tall Deciduous Trees (30pts)					1-1/2" Caliper
<i>Acer campestre</i>	field maple	1-1/2" Cal	9	270	
Medium Deciduous Trees (15pts)					6' Tall
<i>Populus tremuloides</i>	quaking aspen		1	15	
<i>Prunus sargentii</i>	sargent cherry		13	195	
Low Deciduous Tree (10pts)					4' Tall
<i>Cercis canadensis</i>	red bud		1	10	
<i>Crataegus laevigata 'Superba' (Crimson Cloud)</i>	scarlet hawthorn		5	50	
Tall Evergreen Tree (30pts)					5' Tall
<i>Abies concolor</i>	white fir		7	210	
<i>Picea pungens</i>	Colorado blue spruce		6	180	
Low Evergreen Tree (12pts)					40" Tall
<i>Juniperus virginiana</i>	eastern red cedar		22	264	
Medium Deciduous Shrub (3pts)					24" Tall
<i>Salix purpurea</i>	purple basket willow		11	33	
<i>Spiraea vanhouttei</i>	bridal wreath spirea		11	33	
Medium Evergreen Shrub (5pts)					18" Tall/Wide
<i>Juniperus communis 'English river'</i>	English river juniper		28	140	
<i>Pinus mugo</i>	mugo pine		23	90	
			137	1490	
Perennials + Grasses					No Points
<i>Deschampsia cespitosa</i>	tufted hair grass		50	30" OC	
<i>Echinacea pupurea</i>	purple coneflower		50	30" OC	
<i>Geranium sanguineum</i>	cranesbill geranium		19	8" height min.	
<i>Nepeta x faassenii</i>	catmint		35	16" height min.	
<i>Panicum virgatum</i>	switchgrass		170	36" OC	
<i>Rudbeckia hirta</i>	black-eyed-susan		100	30" OC	
<i>Sporobolus heterolepis</i>	prairie dropseed		42	30" OC	

KEYED NOTES

- PLANTING BEDS MUST HAVE A MINIMUM DEPTH OF 12"
- FOR A TREE CANOPY OF 10 FEET A MINIMUM OF 120 CUBIC FEET OF SOIL IS REQUIRED AND A CROWN OF 20 FEET A MINIMUM OF 500 CUBIC FEET OF SOIL IS REQUIRED
- A SOIL TEST IS TO BE PERFORMED IN ORDER TO DETERMINE WHAT CHEMICALS/FERTILIZERS MAY NEED TO BE ADDED TO ENSURE SUCCESSFUL PLANT GROWTH
- IF THERE IS ANY QUESTION AS TO THE CHEMICAL SUITABILITY OF WATER TO BE USED FOR IRRIGATION PURPOSES, IT IS RECOMMENDED A WATER QUALITY CHEMICAL ANALYSIS BE PERFORMED
- EXISTING SOIL SHALL BE LOOSENED TO A MINIMUM DEPTH OF 6" PRIOR TO TOPSOIL PLACEMENT. PLACE 3" DEPTH OF PLANTING SOIL MEDIUM (½ TOPSOIL, ¼ PEAT, ¼ SAND) IN ALL PLANT AND GROUND COVER AREAS. WORK SOIL MIX INTO EXISTING SOIL. REMOVE ROCKS OVER 1" IN DIAMETER.
- LOCATIONS OF ALL BEDS AND TREES TO BE STAKED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- PROVIDE PLANTING MATERIAL THAT COMPLIES WITH THE RECOMMENDATIONS AND REQUIREMENT OF ANSI 260.1 "AMERICAN STANDARD FOR NURSERY STOCK."
- TREES ARE TO BE FULL HEADED, SYMMETRICAL AND MATCHING IN SIZE.
- STAGING SYSTEMS/LOCATIONS SHOULD BE PREPARED IN ADVANCE TO HOLD TREES ABOVE GROUND FOR OPTIMUM TREE HEALTH PRIOR TO PLANTING.
- PRIOR TO UNLOADING PLANT MATERIAL, PROPER MOISTURE SHOULD BE MAINTAINED IN ROOT BALLS, TRUNKS SHOULD BE STAGED IN THE SHADE PRIOR TO UNLOADING.
- IMMEDIATELY AFTER UNLOADING STAND UP TREES TO REDUCE THE RISK OF SUN SCALD (WITHIN ONE HOUR AFTER UNLOADING).
- BEFORE PLANTING REMOVE ANY PLASTIC WRAP, CARDBOARD, THE TOP PORTION OF THE WIRE BASKET DOWN TO AND INCLUDING THE FIRST HORIZONTAL RING, AND THE BURLAP FROM THE TOP PORTION OF THE ROOT BALL.
- DURING COLD WEATHER PERIODS ROOT BALLS MUST BE PROTECTED FROM FREEZING TEMPERATURES.
- DETERMINE LOCATION OF ALL ABOVE AND UNDERGROUND UTILITIES AND EXISTING IRRIGATION SYSTEMS; CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR IRRIGATION SYSTEMS. CONTACT LANDSCAPE ARCHITECT IF ANY UTILITIES INTERFERE WITH PLANTING LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE UPON COMPLETION OF WORK FOR FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING PLANTS PRIOR TO FINAL ACCEPTANCE.
- QUANTITIES ON THE PLANT SCHEDULE MAY VARY FROM QUANTITIES ACTUALLY REQUIRED TO DEFINE THE SPACE SHOWN. THE CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE HIS/HER OWN QUANTITY CALCULATIONS AND INSURE THE REQUIRED QUANTITY OF REQUIRED MATERIAL WILL BE INSTALLED AS SHOWN ON PLAN AT REQUIRED SPACING AND OTHER SPECIFICATIONS RELATED TO THAT PARTICULAR MATERIAL.
- IF ANY DISCREPANCIES ARE FOUND IN PLANS OR ON SITE, MAKE THIS INFORMATION KNOWN TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY WORK.
- CONTRACTOR GUARANTEES UPON SUBMITTING A PROPOSAL FOR THIS WORK, THAT 100% OF ALL PLANT MATERIALS HAVE BEEN LOCATED AND CAN BE PURCHASED AND INSTALLED. NOTIFY OWNER'S REPRESENTATIVE FOR A PRE-INSTALLATION INSPECTION FOR SPECIFICATIONS COMPLIANCE.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH.
- REMOVE ALL WEEDS AND OTHER UNDESIRABLE MATERIALS IN PLANT BEDS. CHEMICAL AND MECHANICAL METHODS SHALL BE EMPLOYED.
- CONTRACTOR SHALL PROVIDE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS FOR MAINTENANCE OF ALL SPECIFIED PLANT MATERIALS.
- SOD/SEED ALL DISTURBED AREAS AS INDICATED IN LANDSCAPE PLANS.
- GROUPS OF SHRUBS SHALL BE PLACED SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
- MULCH IS TO BE SHREDDED HARDWOOD BARK FOR TREES AND SHRUBS. FINE BARK MULCH IS TO BE USED FOR PERENNIAL BEDS. THE AREA OVER THE ROOT BALLS OF TREES SHALL BE MULCHED NO DEEPER THAN 1.5" TO 2". KEEP ALL MULCH AWAY FROM THE TRUNK FLARE TO PREVENT INSECTS AND DISEASE OF THE BARK TISSUE.
- PLANTER BEDS TO BE EDGED WITH ANODIZED ALUMINUM EDGING INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- LANDSCAPE ARCHITECT RECOMMENDS THE REMOVAL OF HIGH MAINTENANCE GRASS SEEDS SUCH AS KENTUCKY BLUEGRASS AS THEY REQUIRE A LOT OF WATER; PLEASE SEE RECOMMENDED PRAIRIE SEED PALETTE THAT CAN BE MOWED 2-3TIMES A YEAR AND WILL REQUIRE NO IRRIGATION ONCE ESTABLISHED. SITE MUST BE HYDROSEEDED IN EARLY SPRING OR LATE FALL/WINTER (DORMANT SEEDING) TO REDUCE NEED FOR IRRIGATION AND INCREASE SURVIVAL RATES OF SEEDLINGS.



revi DESIGN, LLC.
design | build | maintain
158773 county road z
wausau | wi | 54403
715.355.REVI(7384)
www.revi-design.com

CLIENT
NSG DEVELOPMENT, LLC
GLASS NICKEL PIZZA
2800 MARTIN AVENUE
WAUSAU, WI 54401

ISSUE
03/12/2019
RE-ISSUE

SHEET TITLE
LANDSCAPE
NOTES
PROJECT
GLASS NICKEL

DRAWN BY
JC
DESCRIPTION
LANDSCAPE PLAN

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS NOT TO BE USED, IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF REVDESIGN.

LA-001



revi DESIGN, LLC.
design | build | maintain
158773 county road z
wausau wi | 54403
715.355.REVI(7384)
www.revi-design.com

CLIENT
NSG DEVELOPMENT, LLC
GLASS NICKEL PIZZA
2800 MARTIN AVENUE
WAUSAU, WI 54401

ISSUE
03/12/2019
RE-ISSUE

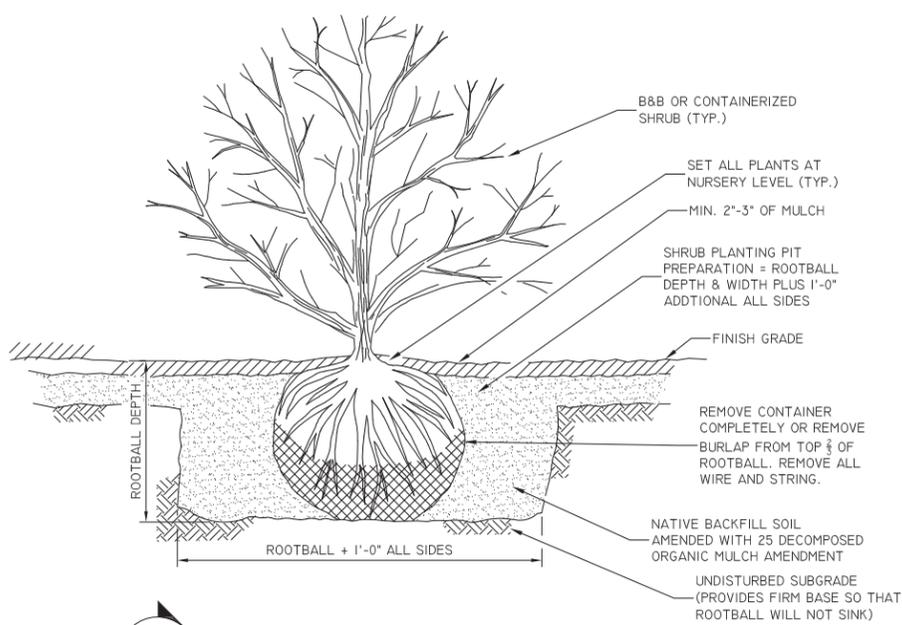
SHEET TITLE
LANDSCAPE NOTES
PROJECT
GLASS NICKEL

DRAWN BY
JC
DESCRIPTION
LANDSCAPE PLAN

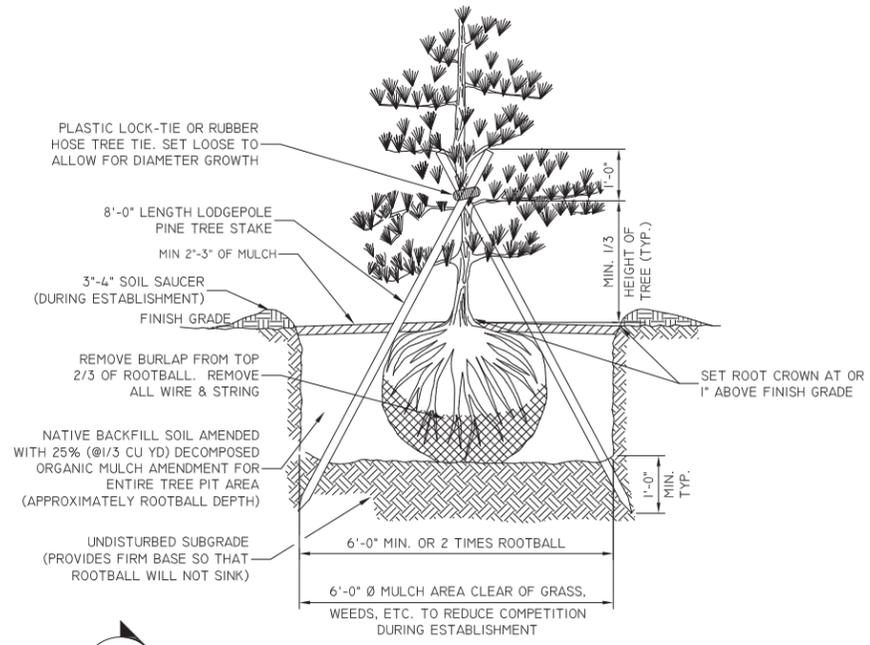
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS NOT TO BE USED, IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF REVIDESIGN.

LA-002

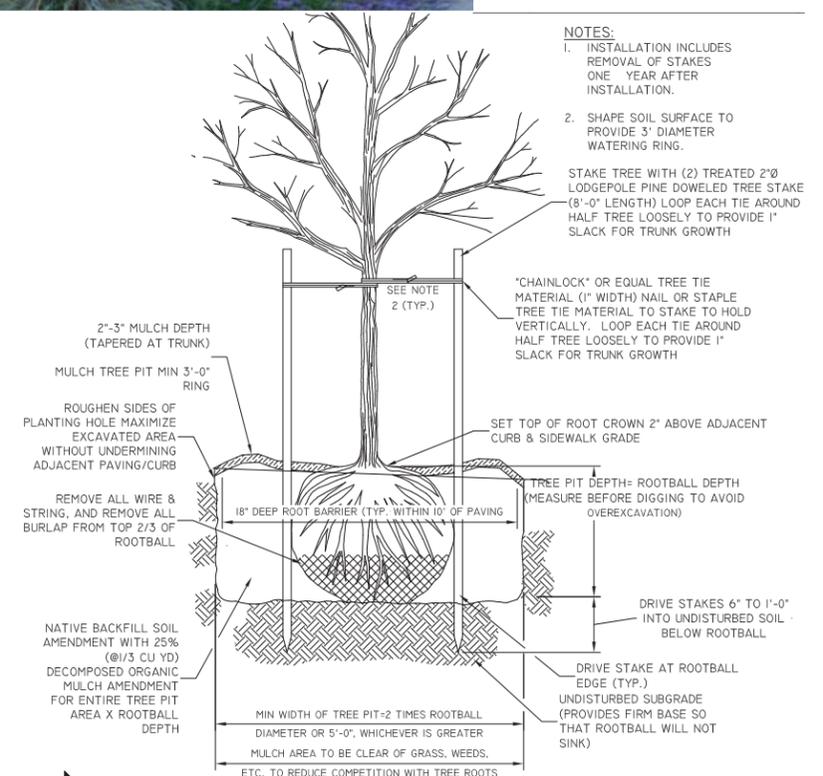
OLD HIGHWAY 51



1
400
SHRUB PLANTING DETAIL
NTS



2
400
EVERGREEN PLANTING DETAIL
NTS



3
400
DECIDUOUS TREE PLANTING DETAIL
NTS

- NOTES:
- INSTALLATION INCLUDES REMOVAL OF STAKES ONE YEAR AFTER INSTALLATION.
 - SHAPE SOIL SURFACE TO PROVIDE 3' DIAMETER WATERING RING.



- ALUMINUM EDGING AROUND PLANTER BEDS
 - PLANTER BEDS FINISHED WITH 3" BARK MULCH
 - LANDSCAPE BOULDER
- PLANT KEY
- SUGAR MAPLE
 - FIELD MAPLE
 - RED MAPLE
 - KENTUCKY COFFEE TREE
 - QUAKING ASPEN
 - SARGENT CHERRY
 - CHINESE ELM
 - RED BUD
 - SCARLET HAWTHORN
 - NORWAY SPRUCE
 - WHITE FIR
 - COLORADO BLUE SPRUCE
 - EASTERN RED CEDAR
 - PURPLE BASKET WILLOW
 - BRIDAL WREATH SPIREA
 - ENGLISH RIVER JUNIPER
 - MUGO PINE
 - TUFTED HAIRGRASS
 - PURPLE CONE FLOWER
 - CRANESBILL GERANIUM
 - CATMINT
 - SWITCH GRASS
 - BLACK-EYED SUSAN
 - PRAIRIE DROPSEED
 - PRAIRIE MIX (MOWED 2-3 TIMES/YR)
 - NO MOW (PROVIDED BY PRAIRIE NURSERY, INC)



revi DESIGN, LLC.
 design | build | maintain
 158773 county road z
 wausau | wi | 54403
 715.355.REVI(7384)
 www.revi-design.com



CLIENT
NSG DEVELOPMENT, LLC
GLASS NICKEL PIZZA
2800 MARTIN AVENUE
WAUSAU, WI 54401

SHEET TITLE
LANDSCAPE PLAN
 PROJECT
GLASS NICKEL

ISSUE
03/12/2019
 RE-ISSUE

DRAWN BY
JC
 DESCRIPTION
LANDSCAPE PLAN

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS NOT TO BE USED, IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF REVDESIGN.

LA-101

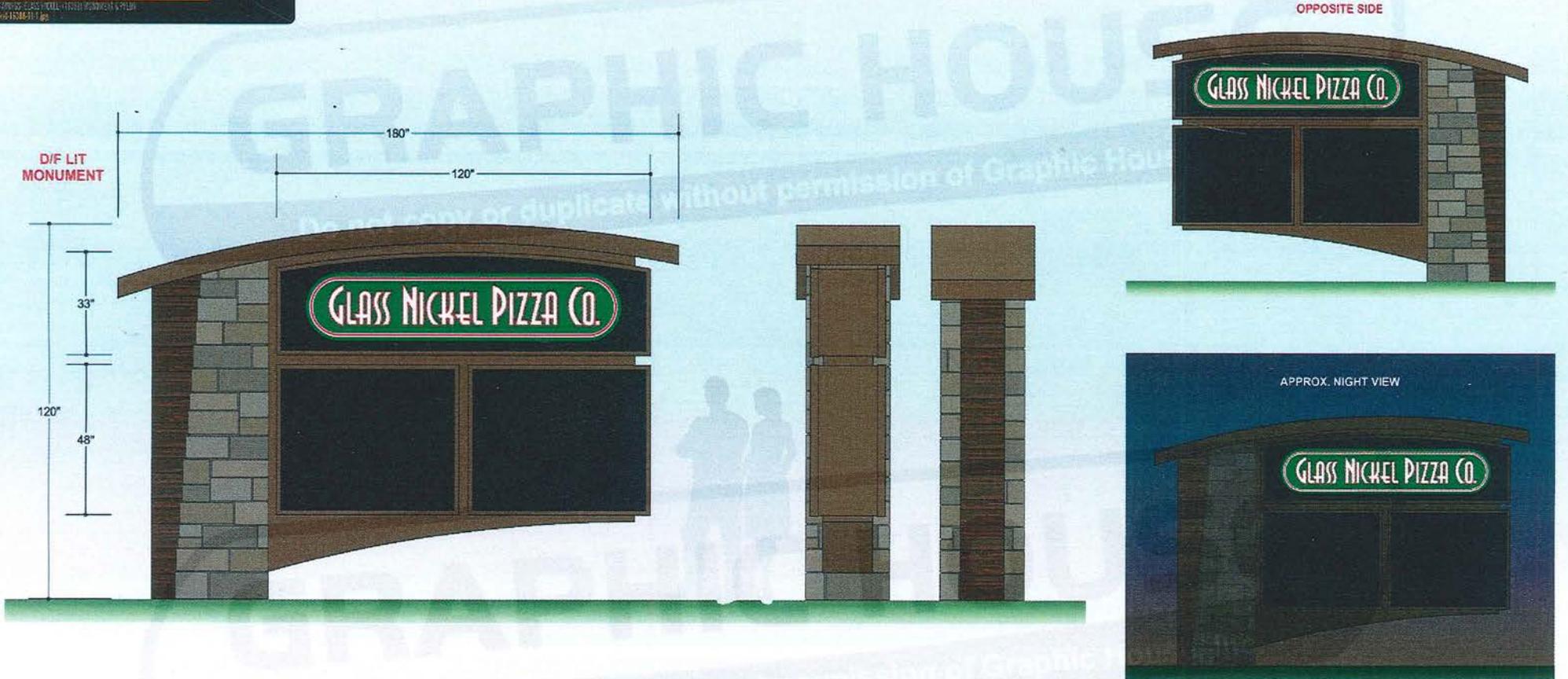
GRAPHIC HOUSE

CLIENT: GLASS NICKEL PIZZA CO
WAUSAU, WI

9204 Packer Drive, Wausau, WI 54401 715-842-0402
www.graphichouseinc.com

SALES REP: MATTHEW W	DATE: 3-4-2019	QUOTE NUMBER: 16388	JOB NUMBER: XX-XXX
SALES AUTH:		REVISION: 0-0-0000	

FILES: 04190302.GRAPHIC HOUSE SIGNAGE & PLOW
Client: 04190302-011.dwg



CLIENT HAS IDENTIFIED THE LOCATION IN WHICH THE SIGNAGE IS TO BE INSTALLED. THE CLIENT HAS THE SOLE RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO SUPPORT THE SIGNAGE.

ALL RIGHTS RESERVED THIS IS AN ORIGINAL DESIGN CREATED BY GRAPHIC HOUSE, INCORPORATED. THE SUBMITTED DESIGN IS ORIGINAL AND IS PROTECTED UNDER COPYRIGHT LAWS OF THE UNITED STATES, TITLE 17 UNITED STATES CODE. YOU AGREE NOT TO COPY, PHOTOGRAPH, MODIFY OR SHARE DIRECTLY OR INDIRECTLY ANY OF THE FOREGOING HELD BY YOU WITH ANY OTHER PARTY NOR WILL YOU PERMIT ANY THIRD PARTY TO DO ANY OF THE FOREGOING WITHOUT THE WRITTEN CONSENT OF GRAPHIC HOUSE, INC. A DESIGN FEE OF NOT LESS THAN \$5000 WILL BE INVOICED IF THIS DRAWING IS SHARED OR COPIED BY ANYONE WHILE IN YOUR POSSESSION. THIS DOES NOT EXCLUDE ADDITIONAL COMPENSATION THAT MAY BE AWARDED DUE TO COPYRIGHT INFRINGEMENT.

RELEASE AUTH:

PLEASE REVIEW SPECS & PROOF CAREFULLY - CHECK FOR TYPOGRAPHICAL ERRORS & OMISSIONS, LAYOUT ACCURACY, ETC. CUSTOMER HAS SOLE RESPONSIBILITY TO CORRECT ANY ERRORS. **DISCLAIMER:** THE INK COLORS SHOWN IN THIS RENDERING PROVIDE CONCEPTUAL COLORS & GRAPHICS LOCATIONS ONLY. THE COLORS MAY NOT MATCH THE ACTUAL AUTOMOTIVE PAINTS, PANTONE OR VINYL COLORS THAT WILL BE USED ON OR IN THE SIGN(S) SHOWN. ALL SIZES, SHAPES, COLORS, ETC. ARE CONCEPTUAL & MAY VARY FROM ACTUAL PRODUCT

GRAPHIC HOUSE

CLIENT
GLASS NICKEL PIZZA CO
WAUSAU, WI

9204 Packer Drive, Wausau, WI 54401 715-842-0402
www.graphichouseinc.com

SALES REP: MATTHEW W	DATE: 3-4-2019	QUOTE NUMBER: 16388	JOB NUMBER: XX-XXXX
SALES AUTH:		REVISION: 0-0-0000	

GLASS NICKEL PIZZA CO. SIGNAGE
Client: 04-15-19-11-12.pdf



CLIENT HAS IDENTIFIED THE LOCATION IN WHICH THE SIGNAGE IS TO BE INSTALLED. THE CLIENT HAS THE SOLE RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO SUPPORT THE SIGNAGE.

ALL RIGHTS RESERVED THIS IS AN ORIGINAL DESIGN CREATED BY GRAPHIC HOUSE, INCORPORATED. THE SUBMITTED DESIGN IS ORIGINAL AND IS PROTECTED UNDER COPYRIGHT LAWS OF THE UNITED STATES, TITLE 17 UNITED STATES CODE. YOU AGREE NOT TO COPY, PHOTOGRAPH, MODIFY OR SHARE DIRECTLY OR INDIRECTLY ANY OF THE FOREGOING HELD BY YOU WITH ANY OTHER PARTY NOR WILL YOU PERMIT ANY THIRD PARTY TO DO ANY OF THE FOREGOING WITHOUT THE WRITTEN CONSENT OF GRAPHIC HOUSE, INC. A DESIGN FEE OF NOT LESS THAN \$5000 WILL BE INVOICED IF THIS DRAWING IS SHARED OR COPIED BY ANYONE WHILE IN YOUR POSSESSION. THIS DOES NOT EXCLUDE ADDITIONAL COMPENSATION THAT MAY BE AWARDED DUE TO COPYRIGHT INFRINGEMENT.

RELEASE AUTH:

PLEASE REVIEW SPECS & PROOF CAREFULLY - CHECK FOR TYPOGRAPHICAL ERRORS & OMISSIONS, LAYOUT ACCURACY, ETC. CUSTOMER HAS SOLE RESPONSIBILITY TO CORRECT ANY ERRORS. DISCLAIMER: THE INK COLORS SHOWN IN THIS RENDERING PROVIDE CONCEPTUAL COLORS & GRAPHICS LOCATIONS ONLY. THE COLORS MAY NOT MATCH THE ACTUAL AUTOMOTIVE PAINTS, PANTONE OR VINYL COLORS THAT WILL BE USED ON OR IN THE SIGN(S) SHOWN. ALL SIZES, SHAPES, COLORS, ETC. ARE CONCEPTUAL & MAY VARY FROM ACTUAL PRODUCT

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: March 19, 2019
SUBJECT: Certified Survey Map Review

APPLICANT: NSG Development, LLC
PROPERTY OWNER(S): Town of Rib Mountain

PROPERTY LOCATION: 2800 Martin Avenue (Vacant land, former Tanglewood Lanes Site)
PARCEL NUMBER: #34.032807.011.021.00.00
ZONING CLASSIFICATION: Suburban Commercial (SC)

REQUEST: Certified Survey Map review for a land division creating three commercial development lots.

NARRATIVE:

The applicant requests approval of a Certified Survey Map (CSM) to divide the 2.578-acre parcel of the former Tanglewood Lanes bowling alley into lots of 1.079 acres (46,989 ft.²), 0.833 acres (36,271 ft.²), and 0.667 acres (29,046 ft.²). As proposed, the CSM is contingent upon a conditional use being granted permitting the lots to be smaller than one acre. With conditional use approval, lots within the Suburban Commercial zoning district are permitted to be as small as 20,000 ft.². Provided the conditional use is granted, each of the proposed lots meet the minimum standards of the Rib Mountain Zoning and Subdivision Ordinances. Permitted uses for the remaining lots include Indoor Sales and Service, Personal and Professional Services, and Office.

ADDITIONAL CONSIDERATIONS:

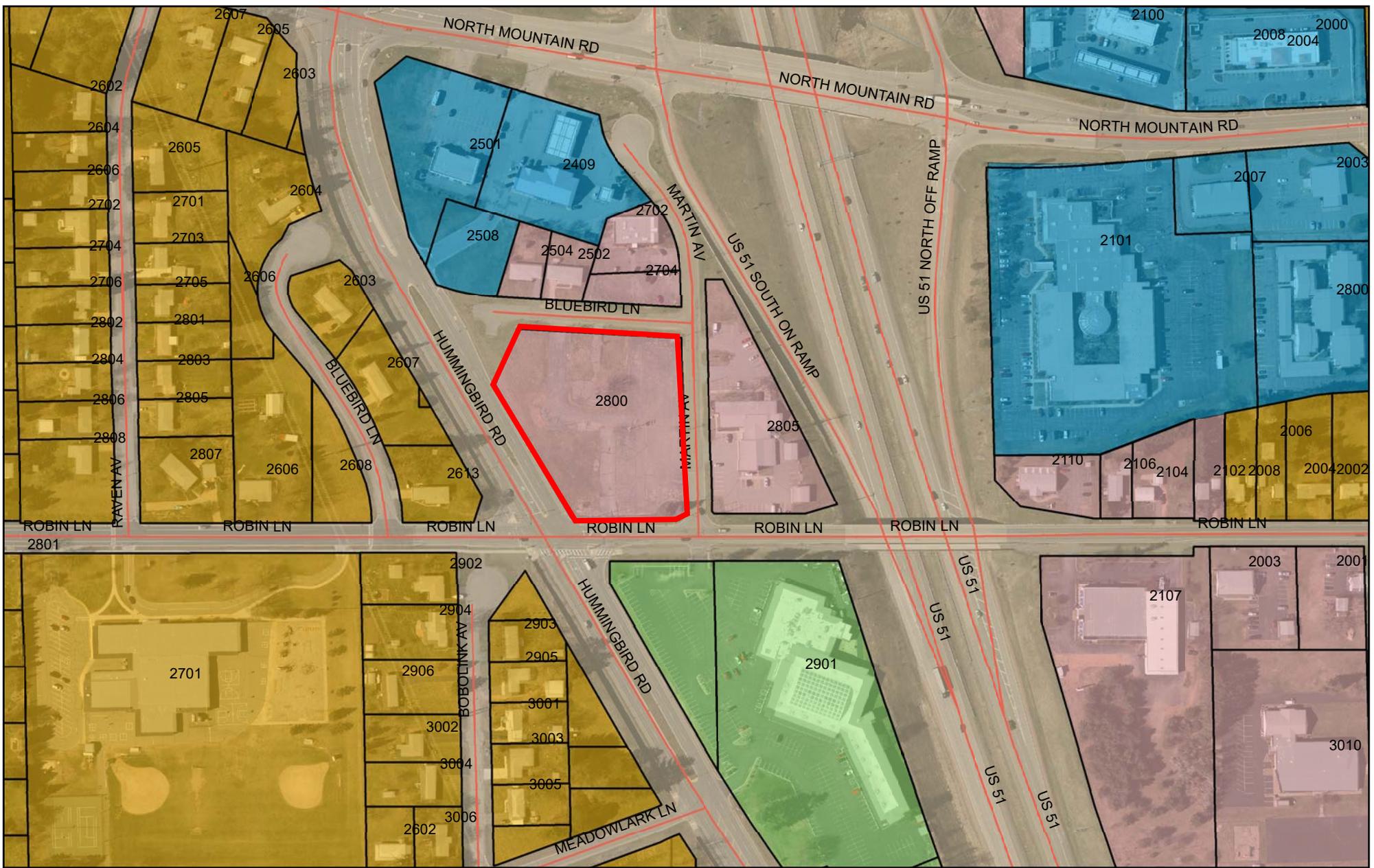
- Approval is contingent upon receiving conditional use approval permitting lots to be smaller than one acre in area.
- No future access to any of the proposed lots is permitted off of Hummingbird Lane, as identified on the CSM.
- As identified in the previous conditional use request, joint parking is proposed for each of the lots.
 - Applicant shall supply the Town with a document legally providing joint parking to other proposed development sites. This document shall be recorded with the Marathon County Register of Deeds.
- Consideration should be made regarding dedication of additional right-of-way along Martin Avenue. Traditional right-of-way for Town roads is 66 feet.

POSSIBLE ACTION:

1. Recommend approval of the Certified Survey Map request for the property addressed 2800 Martin Avenue, as presented.

2. Recommend approval of the Certified Survey Map request for the property addressed 2800 Martin Avenue, with conditions/modifications.

3. Recommend denial of the Certified Survey Map request for the property addressed 2800 Martin Avenue.

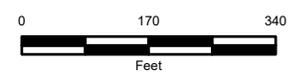


Rib Mountain:
"Where Nature, Family, and
Sport Come Together"

Prepared by:
MI-TECH
www.mi-tech.us

Map Printed: 3/21/2019

- | | | | | | |
|------------------------------|----------------------------------|---------------------------|--------------------------|-----------------------------|--------------------------|
| □ Parcel Outline | ■ EO Estate Office | □ OR Outdoor Recreation | ■ RR Rural Residential | ■ SR-2 Suburban Residential | ■ UR-8 Urban Residential |
| □ Parcel Address | ■ ER-1 Estate Residential | □ RA-1 Rural Agricultural | ■ SC Suburban Commercial | ■ SR-3 Suburban Residential | □ Building Outline |
| Zoning Districts | ■ MR-4 Mixed Residential | □ RA-2 Rural Agricultural | ■ SI Suburban Industrial | ■ UC Urban Commercial | — Road Centerline |
| □ Unzoned | ■ CR-5ac Countryside Residential | □ ROW | ■ SO Suburban Office | ■ UDD Unified Development | ■ Water Feature |
| ■ NC Neighborhood Commercial | | | | | |



DISCLAIMER: The information and depictions contained herein are for informational purposes only; Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained. There is no Statement of Accuracy for any parcel data; the parcel layer is considered an Index Parcel Layer not a Cadastral Parcel Layer. For planning purposes only.

4c-2

R.E.I. 4080 N. 20th AVE WAUSAU, WI 54401 (715)675-9784

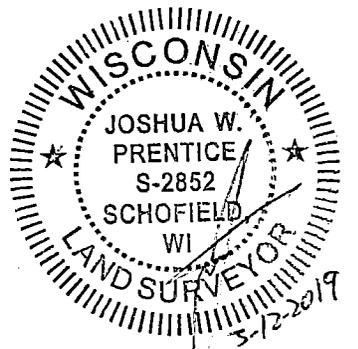
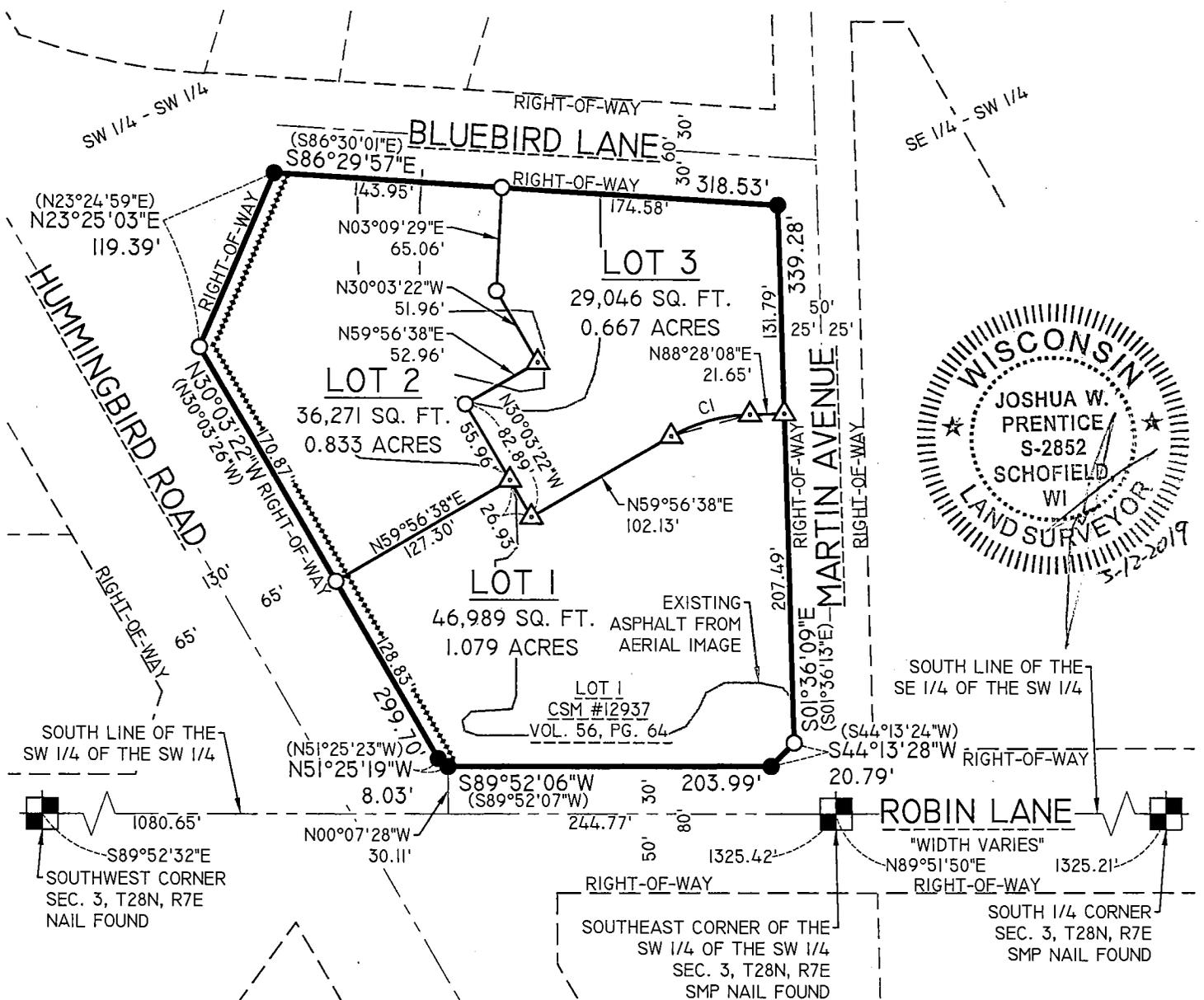
MARATHON COUNTY CERTIFIED SURVEY MAP

MAP NO. _____ VOLUME _____ PAGE _____

PREPARED FOR: NSG DEVELOPMENT, LLC.

LANDOWNER: TOWN OF RIB MOUNTAIN

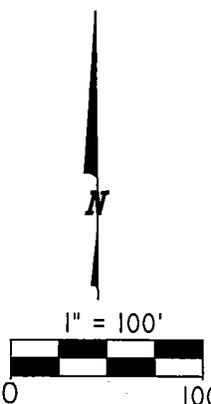
OF ALL OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 12937, RECORDED IN VOLUME 56, ON PAGE 64, AS DOCUMENT NUMBER 1334945, FILED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; BEING PART OF THE SOUTHWEST 1/4 OF SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.



CURVE TABLE					
CURVE	RADIUS LENGTH	CHORD BEARING	CHORD LENGTH	CENTRAL ANGLE	ARC LENGTH
CI	105.00'	N74°12'23"E	51.74'	28°31'30"	52.27'

LEGEND

- - 1 IN. O.D. IRON PIPE FOUND
- ▲ - SET MAG NAIL IN ASPHALT
- - 1 1/4 IN. O.D. X 18 IN. IRON PIPE WEIGHING 1.68 LBS/LIN. FT. SET
- 126.00' - MEASURED BEARING/LENGTH
- (126.00') - RECORDED BEARING/LENGTH
- ***** - RESTRICTED ACCESS AS SHOWN ON CSM #12937



NOTES:

- FIELD SURVEY WAS COMPLETED ON 3-11-2019.
- BEARINGS ARE BASED ON THE MARATHON COUNTY COORDINATE SYSTEM, NAD 83(2011) DATUM AND REFERENCED TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 28 NORTH, RANGE 7 EAST MEASURED TO BEAR SOUTH 89°52'32" EAST.
- NO BUILDINGS PRESENT AT THE TIME OF THE SURVEY.

R.E.I. 4080 N. 20th AVE WAUSAU, WI 54401 (715)675-9784

MARATHON COUNTY CERTIFIED SURVEY MAP

MAP NO. _____ VOLUME _____ PAGE _____

PREPARED FOR: NSG DEVELOPMENT, LLC

LANDOWNER: TOWN OF RIB MOUNTAIN

OF ALL OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 12937, RECORDED IN VOLUME 56, ON PAGE 64, AS DOCUMENT NUMBER 1334945, FILED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; BEING PART OF THE SOUTHWEST 1/4 OF SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, JOSHUA W. PRENTICE, WISCONSIN PROFESSIONAL LAND SURVEYOR S-2852, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF: THAT I HAVE SURVEYED, MAPPED AND DIVIDED OF ALL OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 12937, RECORDED IN VOLUME 56, ON PAGE 64, AS DOCUMENT NUMBER 1334945, FILED IN THE MARATHON COUNTY REGISTER OF DEEDS OFFICE; BEING PART OF THE SOUTHWEST 1/4 OF SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.

THAT THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 112,306 SQUARE FEET, 2.576 ACRES, MORE OR LESS.

THAT I HAVE MADE THIS SURVEY, DIVISION AND MAP THEREOF AT THE DIRECTION OF NSG DEVELOPMENT, LLC. AGENT OF SAID PARCELS.

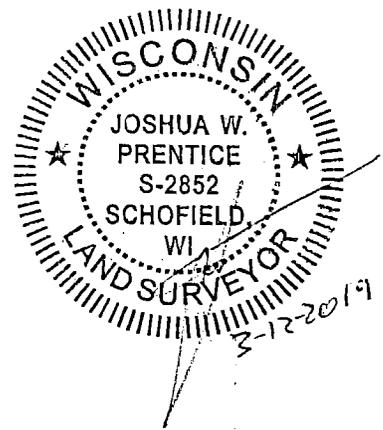
THAT SAID PARCEL IS SUBJECT TO EASEMENTS, RESTRICTIONS, AND RIGHT-OF-WAYS OF RECORD.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES, WISCONSIN ADMINISTRATIVE CODE A-E7 AND THE SUBDIVISION REGULATIONS OF THE TOWN OF RIB MOUNTAIN, CITY OF WAUSAU AND MARATHON COUNTY.

THAT THIS MAP IS A CORRECT AND ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF SAID PARCEL, AND OF THE DIVISION THEREOF MADE.

DATED THIS 12TH DAY OF MARCH 2019

REI
JOSHUA W. PRENTICE
WI P.L.S. S-2852



APPROVED FOR RECORDING UNDER THE TERMS OF THE MARATHON CO. LAND DIVISION REGULATIONS.
BY _____
DATE _____
MARATHON CO. CONSERVATION, PLANNING AND ZONING DEPT.
CPZ TRACKING# _____

TOWN OF RIB MOUNTAIN
APPROVED FOR RECORDING UNDER THE TERMS OF THE TOWN OF RIB MOUNTAIN LAND DIVISION ORDINANCE.
By: _____
DATE: _____

CITY OF WAUSAU EXTRATERRITORIAL APPROVAL CERTIFICATE
RESOLVED, THAT THIS CERTIFIED SURVEY MAP IS WITHIN THE EXTRATERRITORIAL AREA OF THE CITY OF WAUSAU AND IS HEREBY APPROVED.
DATE _____ APPROVED _____
DATE _____ SIGNED _____

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: March 21, 2019
SUBJECT: Pre-Application Conference – TDS

APPLICANT: Mi-Tech Services
PROPERTY OWNER(S): Town of Rib Mountain

PROPERTY LOCATION: 1555 Trillium Lane

PARCEL NUMBERS: #34.152807.015.005.00.00

ZONING CLASSIFICATION: Outdoor Recreational (OR)

REQUEST: Pre-Application Conference regarding a potential Conditional Use for a new Utility.

NARRATIVE:

The applicant seeks Plan Commission input on the possibility of installing an 8’ x 10’ x 9’ structure associated with a communication utility at the corner of Trillium Lane and South Mountain Road. The subject property is owned by the Town of Rib Mountain and currently serves as a training facility for the SAFER Fire District. The image below represents a sample of the proposed structure. The proposed use represents a Public Service and Utility within the Town’s Zoning Ordinance and is a conditional use in all districts.



PUBLIC SERVICE AND UTILITIES:

Public Service and Utilities: Public service and utilities land uses include all of the following: Town, County, State and Federal buildings which are not regulated elsewhere in this Chapter; emergency service facilities such as fire departments and rescue operations; wastewater treatment plants; electric utility substations; municipal water reservoirs; municipal water booster stations; municipal water wells and treatment facilities; telephone exchanges; wastewater lift stations; natural gas distribution facilities; and related utility and public service land uses.

Due to the unusual nature of these activities and the need to frequently establish these uses in unique locations for the benefit of the public, all public service and utility uses are treated as conditional uses and may be established in

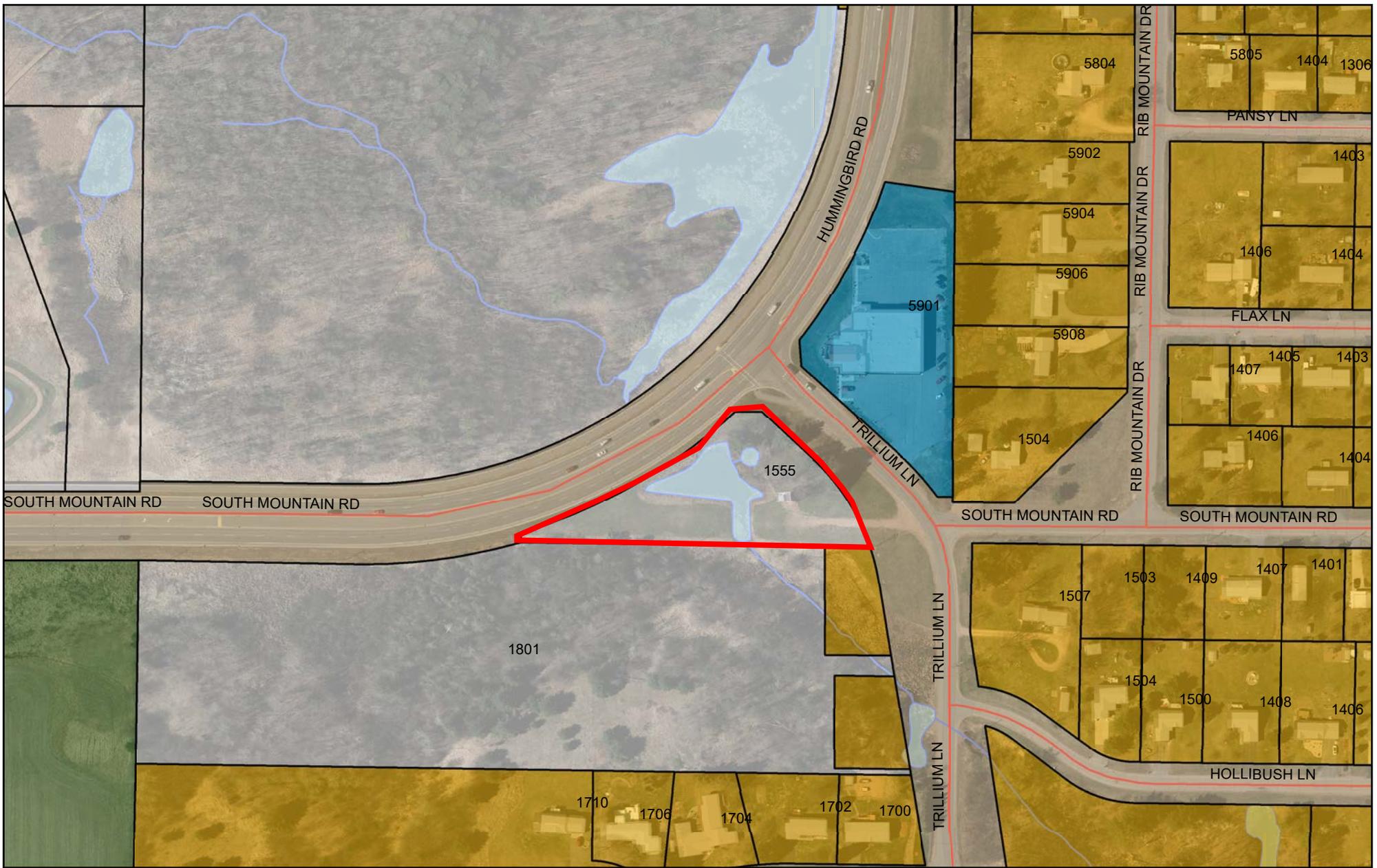
any location which is reasonably necessary for the public convenience and public welfare provided these uses are located and will be operated in a manner that will not be detrimental to the use and enjoyment of the adjoining property.

1. Permitted by Right: Not applicable.
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations: {All Districts}:
 - a. All outdoor storage areas shall be located a minimum of 50 feet from any lot line in a residential zoning district.
 - b. All outdoor storage areas adjoining a lot line in a residential zoning district shall install and continually maintain a bufferyard with a minimum opacity of .60 (see [Section 17.150](#)). Said bufferyard shall be located along the lot line adjacent to said residentially zoned property.
 - c. All structures shall be located a minimum of 20 feet from a lot line in a residential zoning district.
 - d. The exterior of all buildings shall be compatible with the exteriors of surrounding buildings or buildings that are likely to be located in the general area of the proposed use.
 - e. The proposed utility use shall not be located on a lot smaller than the minimum lot size required in the district for a conventional residential development option unless the use is proposed as part of a group development. For example, in an SR-2 District the minimum lot size for a public service and utility use would be 20,000 square feet.

ADDITIONAL CONSIDERATIONS:

- The proposed “Hut” needs to meet setbacks of 45 feet from both streets, 20 feet from residentially zoned property, and 10 foot from any other side yard.
- Specific location of any structure should be approved by the SAFER Fire District to ensure it does not inhibit their ability to continue utilizing the site for training exercises.

POSSIBLE ACTION: No formal action required. Item is for discussion only.



Rib Mountain: "Where Nature, Family, and Sport Come Together"

Prepared by:
 www.mi-tech.us

Map Printed: 3/21/2019

Parcel Outline	EO Estate Office	OR Outdoor Recreation	RR Rural Residential	SR-2 Suburban Residential	UR-8 Urban Residential
Parcel Address	ER-1 Estate Residential	RA-1 Rural Agricultural	SC Suburban Commercial	SR-3 Suburban Residential	Building Outline
Zoning Districts	MR-4 Mixed Residential	RA-2 Rural Agricultural	SI Suburban Industrial	UC Urban Commercial	Road Centerline
Unzoned	CR-5ac Countryside Residential	RA-2 Rural Agricultural	SO Suburban Office	UDD Unified Development	Water Feature
CR-5ac Countryside Residential	NC Neighborhood Commercial	ROW			

0 140 280
Feet

N

DISCLAIMER: The information and depictions contained herein are for informational purposes only; Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained. There is no Statement of Accuracy for any parcel data; the parcel layer is considered an Index Parcel Layer not a Cadastral Parcel Layer. For planning purposes only.

4d-3

I want to...

ZOOM TO PIN: 06828071540949

[Tax Report](#)

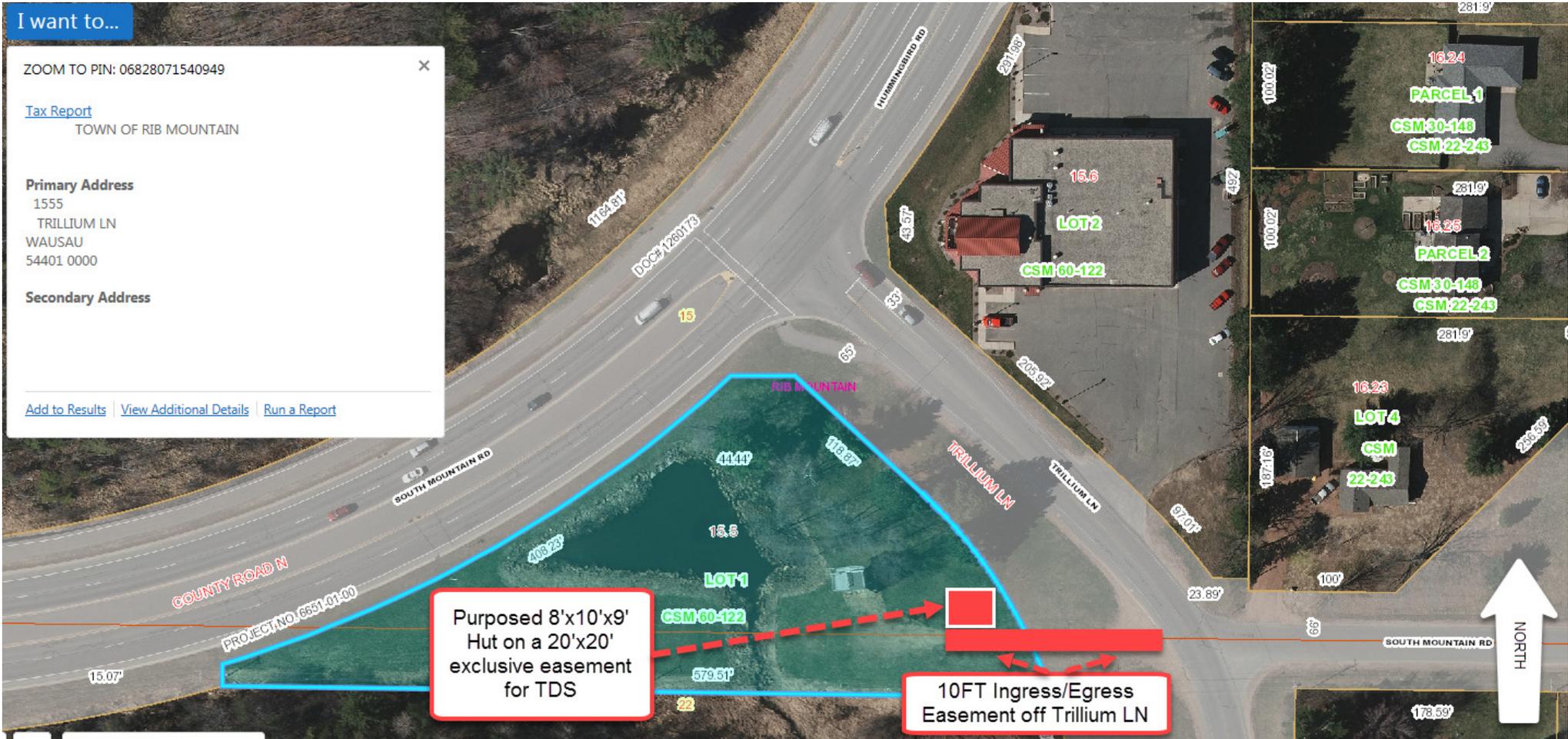
TOWN OF RIB MOUNTAIN

Primary Address

1555
TRILLIUM LN
WAUSAU
54401 0000

Secondary Address

[Add to Results](#) | [View Additional Details](#) | [Run a Report](#)



Purposed 8'x10'x9'
Hut on a 20'x20'
exclusive easement
for TDS

10FT Ingress/Egress
Easement off Trillium LN