



TOWN OF RIB MOUNTAIN

Where Nature, Family & Sport Come Together

www.townofribmountain.org

3700 North Mountain Road
Wausau, Wisconsin 54401
(715) 842-0983
Fax(715) 848-0186

PLAN COMMISSION

OFFICIAL NOTICE & AGENDA

A meeting of the Town of Rib Mountain Plan Commission will be held on **Wednesday, December 13th, 2017; 6:30 P.M. at 3700 North Mountain Road, Town of Rib Mountain Municipal Center.** The Town Board may attend for purposes of gathering information. Subject matter for consideration and possible action follows:

- 1.) Call to Order
- 2.) Roll Call
- 3.) Minutes:
 - a. **Approval of minutes from the 11-8-2017 Plan Commission meeting.**
- 4.) Public Hearings:
 - a. **Jeanne Laliberte, agent, requests conditional use modification of Plan Commission Docket #2004-01 for a second-floor bathroom in a detached accessory building at the property addressed 2700 Fern Lane. Parcel #34.25.001.001.01.00. Docket #2017-42**
 - b. **REI Engineering, agent, requests General Development Plan approval for a new distribution and retail building at the property addressed 908 Cloverland Lane. Parcel #34.112807.010.020.00.00. Docket #2017-43.**
- 5.) New Business:
 - a. **REI Engineering, agent, requests site plan approval for a new multi-tenant retail building at the property addressed 1301 Starling Lane. Parcel #34.45.002.001.00.00. Docket #2017-44.**
 - b. **Pre-application discussion regarding a potential Unified Development District project at the property addressed 1501 Bluebird Lane. Parcel #34.412.003.001.01.00. Docket #2017-45.**
- 6.) Old Business:
 - a. **Discussion and possible action on a draft 2018 Plan Commission schedule.**
- 7.) Correspondence/ Questions/Town Board Update:
- 8.) Public Comment
- 9.) Adjourn

TOWN OF RIB MOUNTAIN
PLANNING COMMISSION MEETING
November 8, 2017

Chairperson Harlan Hebbe, called the meeting of the Plan Commission to order at 6:30 pm. Other Plan Commission members present included Ryan Burnett, Jim Hampton, Laura McGucken and Jay Wittman. Tom Steele was excused. Also present were Community Development Director, Steve Kunst, and Building Inspector / Assistant Zoning Administrator, Paul Kufahl.

MINUTES:

Motion by Jim Hampton, second by Jay Wittman to approve the minutes of the October 25, 2017 Plan Commission meeting, as presented. Motion carried 4-0. Harlan Hebbe abstained.

NEW BUSINESS:

- a. *Shane VanderWaal, agent, requests conditional use modification for Docket #2013-07 – Kocoureck Air Strip, to reduce the amount of land associated with the air strip. Parcel #34.192807.003.002.00.00*

Community Development Director, Steve Kunst, stated the applicant seeks Plan Commission approval for a modification of a conditional use for an approved a private airstrip on the property addressed 6510 Red Bud Road. The original approval included all of the land highlighted in the attached zoning overview map. Since that time, the original applicant decided to build a new single-family residence on a neighboring property, but in order to do so needed some additional land. The proposal calls for removing land from the property originally approved for the private air strip and adding it to the proposed single-family parcel as represented in the attached Certified Survey Map. The result would be the previous approval being amended to only apply to Lot 1 of the attached CSM. Lot 2 is the lot intended for a single-family residence. No other changes are proposed for the air strip property and each proposed parcel meets the Town's minimum zoning standards.

Laura McGucken questioned whether the lots met the zoning requirements, to which Kunst indicated both lots are larger than the 35-acre minimum lot size. Burnett asked for clarification on the zoning of a neighboring parcel, and Commissioner Hampton asked if the parcels could be subdivided, potentially creating issues with new residents. Kunst noted the neighboring parcel was zoned CR-5 and the current zoning would not allow for any additional subdivision of lots until the parcels would be rezoned.

Motion by Laura McGucken, second by Ryan Burnett to recommend approval of the conditional use modification request for Docket #2013-07, Kocoureck Air Strip, to reduce the amount of land associated with the air strip, as presented.

Motion carried 5-0

- b. *Pinnacle Engineering Group, agent, requests site plan approval for a building addition for Aldi Inc. at the property addressed 4401 Rib Mountain Drive. Parcel #34.112807.011.005.00.00. Docket #2017-39*

Kunst noted Aldi Grocery seeks Site Plan approval for a building expansion. The proposal calls for a 2,470-square foot addition to the north, resulting in a 19,266-square foot facility. In an effort to maintain a safe intersection of the two private drives at the northeast corner of the subject property, the proposed expansion was reduced to 15 feet as opposed to the 18 feet proposed for the rest of the expansion. The applicant made this concession based on Town staff feedback. In addition, staff recommends removing multiple climax trees from the northeast corner currently inhibiting a safe viewing corridor for drivers. Mark Seidl, agent, noted the building addition would increase the sales floor area allowing Aldi to offer more selections to their customers. He also noted that this Aldi is one of the busiest in Wisconsin.

Harlan Hebbe asked the applicant when they anticipate starting the project. Tom Howland, Aldi representative, indicated a February 2018 start time and a May completion. Howland noted the majority of construction will be done after store hours, allowing the store to remain open during the majority of the construction process. Ryan Burnett asked the applicant if the buildings appearance and profile would remain the same. Howland noted the same finishes and building profile will be used. He stated this addition would increase backroom storage and sales floor space and is consistent with what they have planned for most Aldi locations.

Commissioners briefly discussed the setback requirements from private roads and Hampton asked if there was a chance those roads would become public right-of-way. Kunst noted it was very unlikely the current private roads would become public, because of their construction and intersection alignment.

Motion by Jay Wittman, second by Laura McGucken to approve the site plan for a building addition for Aldi Inc, at the property addressed 4401 Rib Mountain Drive, as presented.

Motion Carried 5-0

OLD BUSINESS:

- a. *Discussion on the Rib Mountain Comprehensive Plan project: specifically, land use. Docket #2017-05*

Kunst noted the intent of this meeting is to begin discussion on the Land Use element of the Town's Comprehensive Plan. Just as with the most recent meeting with the Regional Planning Commission, the initial discussion Land Use will focus on the goals and objectives from the previous plan. Daryl Landau, of the Regional Planning Commission, will then amend the goals and objectives, and incorporate important discussion items into a draft chapter. After these initial discussion items are drafted, the Plan Commission will meet to review the full chapter.

A primary goal is for the Land Use chapter to contain more specific goals, objectives, and/or statements pertaining to regular and potential future development patterns. The original plan lacks this specificity;

and thus, it is difficult to use the Comprehensive Plan as justification in many land use decisions. This is the time for the Plan Commission to identify important topics and take stances to guide decision makers moving forward.

The following statements, objectives and concerns were discussed.

- Concerned about Ski Hill expansion and its impact on residents.
 - o Decisions should be made based on the Town's mission statement (Where Nature, Family and Sport come together)
 - o Noise disturbances during construction
 - o Increased light pollution due to additional runs being created
 - o Stormwater/Water Runoff concerns due to decreased vegetation and increased snow making capabilities
 - o Preserving the natural integrity of the State Park because it adds to the livability of Rib Mountain
 - o Impact on additional withdrawal of water from the Rib River
 - o Impact of decreased tree cover
 - o Minimize or not allow any complimentary commercial expansion
- Decide on direction on future of a residential area surrounded by commercial and highway (Leslie Jones Plat Subdivision).
 - o Potential for all commercial development
 - o Multifamily transitional area near Commercial District
 - o Does it make sense for the Town to acquire properties
- Where do we want to see additional Commercial Development
 - o Personal and Professional Services along Hummingbird
 - o Keep Commercial areas limited and mainly on the East side of the highway to increase their value and minimize land use conflicts with existing residential developments
 - o Redevelop block around Briq's Ice Cream
 - o Identify other select areas in future discussion
- Where is Multifamily acceptable
 - o Identify transitional areas from traditional residential to commercial
 - o East of the Highway near services
 - o Target areas which may be acceptable for senior housing
 - o Provide images of housing styles and identify where they may or may not be acceptable.
- Consider potential mixed use buildings in the Nice as New/Gulliver's area.
- Correct current in the draft Future Land Use Map provided
 - o Hall Farm
 - o Tanglewood Property
 - o Rib Mountain Greenhouse (Commercial or Agricultural)

- Existing open pit mining sites
- Discuss long term development plans for existing open pit mining sites
 - Recreational
 - Residential
- Differentiate land use regulations based on small or large lot residential properties
 - In or out of subdivision
 - Set acreage limits
 - Small scale farms on rural large acreage
 - Larger accessory structures

CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

Kunst noted Town Board approved the Plan Commission recommendations for the Alexejun display and the Rib Mountain Metropolitan Sewerage District building addition from the previous meeting, as presented. He also gave the Plan Commission an update on the Countywide Addressing appeal and injunction hearing process.

Commissioner Hampton asked about the scheduling and progress for the Town's Property Reassessment. Kunst noted it is a three-year process and the Assessor is scheduling in neighborhood groups. All property owners will be notified by mail when their area is being reassessed to schedule appointments.

Kunst stated the December 13th meeting will include a proposal for a new Gustave A Larsen building.

PUBLIC COMMENT: None Received

ADJOURN:

Motion by Jim Hampton, second by Jay Wittman to adjourn the Plan Commission Meeting.

Motion carried 5-0. Meeting adjourned at 8:26pm.

Respectfully Submitted,

Paul Kufahl, Building Inspector / Assistant Zoning Administrator

REPORT TO PLANNING COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: December 7, 2017
SUBJECT: Conditional Use Modification – Detached Garage

REQUEST: Conditional Use modification of Docket #2004-01 to install a bathroom on the second-floor of a detached garage.

PROPERTY OWNER: Jade Zunker and Melissa Siewert
APPLICANT: Jeanne Laliberte

PROPERTY ADDRESS(S): 2700 Fern Lane
PARCEL #(S): 34.25.001.001.01.00

CURRENT ZONING: Suburban Residential - 3 (SR-3)
ADJACENT ZONING: SR-3 (East, West & South); Outdoor Recreation (North)

NARRATIVE:

The applicant seeks Plan Commission approval for a modification of a conditional use granted in 2004 for a two-story detached garage. The original approval was conditioned upon the garage being limited to uses of a residential storage or a workshop, no second-floor plumbing, and a second-floor exit consisting of a four-foot staircase (see attached correspondence from 2004). The applicant seeks to modify this approval to allow for a second-floor bathroom. The application identifies the intent of using the second-floor as a place for the applicant (grandmother) to stay when visiting. The original plans for the garage call for a bathroom on the main level, but has not been finished to-date.

ADDITIONAL CONSIDERATIONS:

- The subject property is zoned SR-3 which only permits single family residential development.
- The Rib Mountain Zoning Ordinance considers this concept as a ‘Special Residential Development’ (RMMC Section 17.056(1)(b)) and generally handle these as part of a Unified Development District (UDD) or Group Development.
- This style of residential development closely resembles what is commonly referred to as an “accessory dwelling unit, “granny suite,” or “in-law suite.” Currently, the Towns Zoning Ordinance does not permit this style development within typical single family residential zoning districts.
- Detached garages are typically limited in uses to residential storage or workshops.

FINDINGS OF FACT

Below are the six questions representing the Plan Commission’s finding of fact to be forwarded to the Town Board as found within the Rib Mountain Code of Ordinances, along with initial staff interpretation.

1. How is the proposed conditional use (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?
The Town’s Comprehensive Plan does not specifically identify issues, goals, or objectives related to accessory dwelling activities. However, the Towns traditional single-family zoning districts do not permit multiple dwelling units on a given parcel. Finished areas above garages typically only occur in garages attached to a dwelling.
2. How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

The Future Land Use Map identifies this area for residential development. This designation is used in the Town's 2005 Comprehensive Plan Future Land Use Map to identify all types of residential development. With that said, the subject property is located within a purely single-family neighborhood.

3. Is it likely that the proposed conditional use, in its proposed location and as depicted on the required site plan (see (3)(d), above), will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Town or other governmental agency having jurisdiction to guide growth and development?

With the proposed "temporary" living space, the project likely has minimal adverse impacts on the surrounding neighborhood. However; if approved, the structure could easily operate as true accessory dwelling unit or even a separate rental property without Town knowledge. Conditional uses run with the land, not the owner; and thus, future uses of the building need to be considered.

4. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

This would create an area of inconsistent land use intensities within the neighborhood. Recent discussion as part of the Town's Comprehensive Plan update indicated this style of development may be viable in the areas closer to the Town's commercial corridor.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

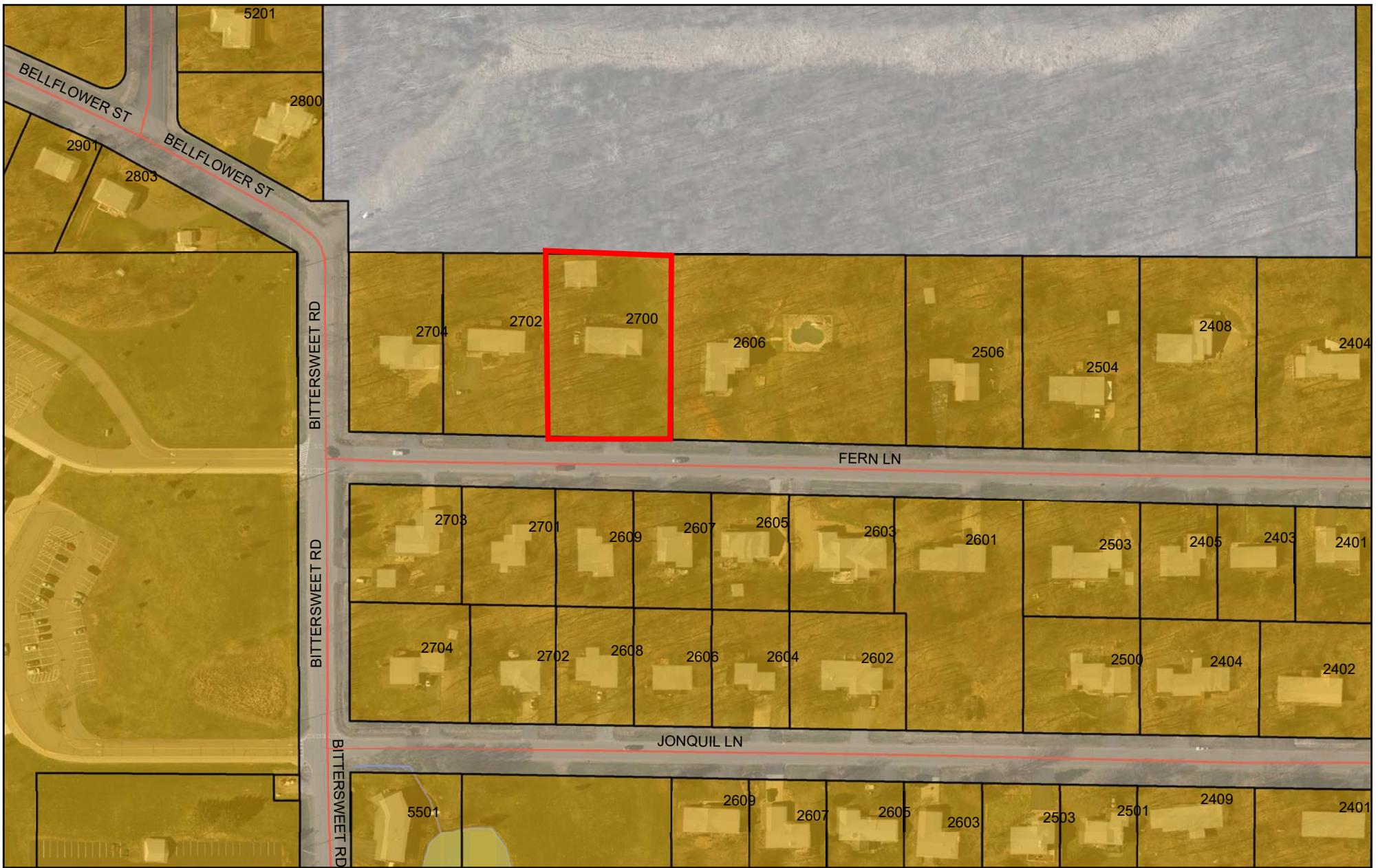
The subject property is accessed via Town road, which is appropriate for its current or proposed density. Further, the property is served by municipal water and sewer.

6. Do the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

The proposal creates an opportunity for an accessory dwelling unit within an existing single-family neighborhood. While this style of development is being discussed by the Town, it is not consistent with the existing neighborhood. The Town has been consistent in its desire to maintain the integrity of its single-family neighborhoods and this proposal would be a deviation.

POSSIBLE ACTION:

1. Recommend approval of the conditional use modification at the property addressed 2700 Fern Lane, as presented
2. Recommend approval of the conditional use modification at the property addressed 2700 Fern Lane, with conditions/modifications.
3. Recommend denial of the conditional use modification for Outdoor Display at the property addressed 2700 Fern Lane.



4a-3

Rib Mountain: "Where Nature, Family, and Sport Come Together"

Prepared by: **mi-TECH**
www.mi-tech.us

Map Printed: 12/8/2017

<ul style="list-style-type: none"> □ Parcel Outline □ Parcel Address Zoning Districts ▨ Unzoned ■ CR-5ac Countryside Residential 	<ul style="list-style-type: none"> ■ EO Estate Office Residential ■ ER-1 Estate Residential ■ MR-4 Mixed Residential ■ NC Neighborhood Commercial 	<ul style="list-style-type: none"> □ OR Outdoor Recreation □ RA-1 Rural Agricultural □ RA-2 Rural Agricultural ■ ROW 	<ul style="list-style-type: none"> ■ RR Rural Residential ■ SC Suburban Commercial ■ SI Suburban Industrial ■ SO Suburban Office 	<ul style="list-style-type: none"> ■ SR-2 Suburban Residential ■ SR-3 Suburban Residential ■ UC Urban Commercial ■ UDD Unified Development 	<ul style="list-style-type: none"> ■ UR-8 Urban Residential □ Building Outline — Road Centerline ■ Water Feature
--	---	--	--	--	--

0 110 220
Feet

N

DISCLAIMER: The information and depictions contained herein are for informational purposes only; Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained. There is no Statement of Accuracy for any parcel data; the parcel layer is considered an Index Parcel Layer not a Cadastral Parcel Layer. For planning purposes only.

REPORT TO PLANNING COMMISSION & TOWN BOARD
FROM: DAN DZIADOSZ, ZONING ADMINISTRATOR
DATE: January 20, 2004
SUBJECT: PC Docket # 2004-01

APPLICANT: Frank G. Trau III.
OWNER: same.

PROPERTY ADDRESS: 2700 Fern Lane
LEGAL DESC. / PCL #: CSM / pcl. # 34.25.01.01.01

REQUEST: Conditional use approval to allow the construction of a detached garage, in excess of the 1,000 square foot limitation, with a sidewall in excess of 12 feet, and a roof height exceeding 18'?

LAND USES PROPOSED: no change – residential single family - detached garage / workshop.
ZONING: SR ADJ. ZONING: SR
LONG RANGE ZONING / OFFICIAL MAP: SR

WRITTEN DESC.: none.

NARRATIVE:

Mr. Trau called the office a couple of times to discuss building a detached garage. Our normal course of action is to explain that anything that is different from the standard garage described in our handouts should submit proper plans and specifications. When Mr. Trau visited the office, my assistant inspector (Joe Perlock) worked through the permit process with him, filling out the attached building permit, listed as pages P 1 – 5. Note that it is specified as 936 square feet, no insulation, with a 12 in 12 roof pitch. No other attributes were specified.

After receiving a couple of phone calls about the size of garage being built, I subsequently dispatched Inspector Perlock to check on the progress. Joe subsequently went out to the site, and met with Mr. Trau, resulting in the attached sketches, marked S-1 & 2. At this time it was also discovered that the garage / workshop was to be insulated, had plumbing and electric installed, and was to be heated. While these items were not specified on the permit, they are not code prohibited.

A nine foot sidewall, with a 12 in 12 roof pitch would equal a mid roof height of 15 – 16 feet, which would appear to be within code (maximum building height of 18'). While the original permit did not specify attic storage, it is not un-common for people to use attic storage trusses.

After receiving another call about the second story of the building, I visited the site and sent Mr. Trau the attached letter of January 5th, 2004, advising him that he has appeared to have gone beyond the conditions under which the permit was issued, and that it appeared as if a conditional use approval may be required.

After discussing the above information, Mr. Trau presented the building drawings from “Trantows Do It Center” – copy attached.

Since that point in time, we have had several discussions on what a “gable” is – and where is the appropriate point to which it should be measured. RMMC Sec. 17.056(8)(d) clearly gives the Planning Commission the authority to vary the size, door, and sidewall height of a building. It does not make reference to overall height. However, the definition of building height states “...from adjoining ground level...to the mean distance of the highest gable on a pitched or hip roof.” The applicant’s drawing has three gables, as we would interpret “triangular portion of the gable end wall”, “A”, “B”, & “C”, with gable “B” being the highest, at 21’-6”. Mr. Trau seems to feel that the height at point “D” is the code legal gable end, at 18’-0”.

I tend to think that the point “D” is a sidewall, which is 18’ high in lieu of 12’ allowed.

ISSUES:

- a.) Which interpretation of highest gable is correct?
- b.) Will the Plan Commission approve a size larger the 1,000 square feet (second floor useable space);
- c.) Will the Plan Commission approve a sidewall height in excess of 12 feet?
- d.) If the Plan Commission approves a sidewall height in excess of 12 feet, does this infer an overall height approval?

RECOMMENDATION: Subject to public hearing input. Suggested conditions should limit the use of the building to residential storage garage, home workshop, single family accessory type uses / purposes.

pc rpt, 2004-01, det gar

REPORT TO PLANNING COMMISSION & TOWN BOARD
FROM: DAN DZIADOSZ, ZONING ADMINISTRATOR
DATE: January 20, 2004
SUBJECT: PC Docket # 2004-01 - ADDENDUM

Since the original report was completed on this subject a number of questions have come up, which you may want to consider in reviewing this project. They include:

Specify the uses for the detached garage / workshop, such as what type of workshop, and where – first floor versus second floor, or is this attic storage?

Note that home occupations are not permitted in accessory buildings.

Specify what additions are to be made to the building, such as the six foot sliding glass doors on the second floor level. Will this have a stair to grade, deck, etc.? This could be a condition of approval, and clearly was not indicated as a part of the original permit.

What future plumbing is to be installed? Again, this could be limited by the conditional use approval.

How much parking is going to be provided?

TOWN OF RIB MOUNTAIN
PLANNING COMMISSION MEETING
FEBRUARY 11, 2004

Chairman Tom Muellner called the meeting of the Plan Commission to order at 7:00 P.M. Members present included Chairman Tom Muellner, Jason Cram, Allen Larsen, Tom Steele and Christine Nykiel. Barb Bradley and Shirley Jehn were excused. Daniel Dziadosz and Michelle Peter were also present.

MINUTES: Motion by Mr. Cram, seconded by Mr. Larsen to approve the minutes of the January 28, 2004 meeting. Motion carried.

PUBLIC HEARINGS: Frank Trau appeared requesting a conditional use approval for a garage exceeding the size requirements; 2700 Fern Ln; 34.25.01.01.1; Dkt# 04-01. Mr. Trau reviewed the events that have transpired to this point. He stated on several occasions that when concerns and building language were brought to his attention he would reference these matters on the internet (google).

Assistant building inspector Joe Perlock, who had issued the permit, was asked to present his understanding of events. He noted he was to the site twice. On the second occasion, Mr. Trau stated he had spoken with Dan Dziadosz and was told he could continue to proceed. When asked if he required Mr. Trau to present blueprints on the project, Joe stated he had not.

Commission members discussed three points of concern; roof height, sidewalls and total square footage. They also agreed that there was lack of communication between Mr. Trau and the inspector's office.

Mike Wilhelm, 2702 Fern Ln; Concern of over all size and structure for neighborhood, distraction from nature of backyard, watershed flow, concern of intended use and would like to see the building brought into code.

Jay Wittman, 2704 Fern Ln; concern of true usage of garage, the second story, aesthetic values and wants garage brought into code.

Karen Oelhafen, 2606 Jonquil Ln; concern of building height and standards that could be set by allowing the project to continue.

Thomas Westphal, 2606 Fern Ln; concern of Town's policies and procedures for completion of building application, feels building is attractive to neighborhood.

Tim Torkelson, 5007 Bleeding Heart St; supports the project.

Mr. Trau asked to address some of the neighboring concerns. He assured the group there would be no home business or living quarters in the garage. He also offered to the neighbors and town officials to view the project at anytime.

Chairman Muellner asked the Commission to consider in their review processes the following items; did Rib Mountain staff to all they could do at the time of application and did Mr. Trau act in good faith throughout the building process.

Motion by Ms. Nykiel to recommend approval of the conditional use request for a garage in excess of size requirements. Motion failed on a lack of a second.

Motion by Mr. Steele, seconded by Mr. Cram to recommend denial of the conditional use request for a garage in excess of required size. Motion carried with a 5 to 0 vote.

TOWN OF RIB MOUNTAIN

Regular Town Board Meeting

February 17, 2004

Chairman Allen Opall called the regular meeting to order at 7:03 p.m. at the Rib Mountain Municipal Center, 3700 North Mountain Road. Present: Chairman Al Opall, Supervisors Jim Dalland, Jim Legner and Fred Schaefer. Excused: Supervisor John Sybeldon. Also in attendance were Building Inspector Dan Dziadosz, Assistant Building Inspector Joe Perlock, Town Administrator Gaylene Nash, Fire Chief Paul Wirth and Clerk/Treasurer Patricia Jahns.

Approval of Minutes – **Motion by Dalland/Schaefer to approve the minutes of the 2/3/04 regular Town Board meeting. Questioned and carried 4:0.**

Plan Commission Report & Recommendations – Frank Trau, 2700 Fern Lane, requesting conditional use approval for a garage exceeding the size requirements of RMMC Section 17.056(8) (d) at 2700 Fern Lane, PC docket #04-01. Dziadosz explained a conditional use is required as Trau's detached garage is in excess of the 10,000 square foot limitation with a sidewall in excess of 12 feet and a roof height exceeding 18 feet. The Plan Commission recommended denial of the conditional use request for a garage in excess of required size. Mr. Trau reviewed a chronology of events and the Board consulted with Dziadosz and Perlock for their recollections of these events and representations. Trau provided photos of other large garages in the community. Attorney Freeburg stated the Plan Commission's recommendation was incomplete without providing formal findings of fact (i.e. how does it fit in with the particular use of the area, is it part of the general plan, is there any adverse impact, is there any public benefit that outweighs any adverse impact). He advised the Town Board to either treat the matter as if it comes with no recommendation from the Plan Commission or recommend it go back to the Plan Commission for formal finding of facts. **Motion by Schaefer/Dalland to refer this back to the Plan Commission for formal findings of fact to apply to the standards for the conditional use. Questioned and carried 4:0.**

The Town of Rib Mountain requesting approval of a subdivision and platting code change, RMMC Sec. 18.13, regarding application fees, PC docket #03-48. The Plan Commission recommended the ordinance amendment to increase subdivision and platting application fees. **Motion by Schaefer/Legner to adopt and approve Ordinance 04-02 Subdivision and Platting Fees. Questioned and carried 4:0.**

Project Agreements: Pre-Emptive Devices – Bruce Ommen of Ayres & Associates reviewed the four agreements between the Wisconsin Department of Transportation and the Town of Rib Mountain regarding emergency vehicle pre-emptive devices. He noted that Town equipment is not compatible with DOT equipment. The Town's cost is \$5,000 per interchange. The DOT will pay for the wiring and maintaining the system but bill back costs to the Town for fixing the pre-emption devices.

REPORT TO PLANNING COMMISSION & TOWN BOARD
FROM: DAN DZIADOSZ, ZONING ADMINISTRATOR
DATE: February 18, 2004
SUBJECT: PC Docket # 2004-01

APPLICANT: Frank G. Trau III.
OWNER: same.

PROPERTY ADDRESS: 2700 Fern Lane
LEGAL DESC. / PCL #.: CSM / pcl. # 34.25.01.01.01

REFERRAL FROM TOWN BOARD: At the February 17th, 2004 Town Board meeting, our Attorney recommended that the Town Board return the denial of Mr. Trau to the Plan Commission. The Plan Commission minutes should reflect findings of fact similar to the conditions of approval in the Zoning Administrator's report. See below.

REQUEST: Conditional use approval to allow the construction of a detached garage, in excess of the 1,000 square foot limitation, with a sidewall in excess of 12 feet, and a roof height exceeding 18'.

LAND USES PROPOSED: no change – residential single family - detached garage / workshop.
ZONING: SR ADJ. ZONING: SR
LONG RANGE ZONING / OFFICIAL MAP: SR

WRITTEN DESC.: none.

NARRATIVE:

The conditional use section of the zoning code sets forth specific items for the zoning administrator to consider when making his report to the Plan Commission.

- a.) How is the proposed conditional use in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive plan?
- b.) How is the proposed conditional use in this specific location, in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive plan?
- c.) Will the proposed conditional use have an adverse impact on the use of adjacent property, the neighborhood, the environment, etc.
- d.) Is the proposed conditional use consistent with the subject property?
- e.) Do the potential benefits of the proposal outweigh the potential adverse impacts of the proposed conditional use?

Likewise, the Plan Commission should consider those same items when making a recommendation.

CONSIDERATIONS FOR REVIEW:

The conditional use section of the zoning code sets forth specific items for the zoning administrator to consider when making his report to the Plan Commission.

- a.) How is the proposed conditional use in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive plan? The goal of the comp plan is to develop Rib Mountain as a residential, single family, community, with complementary service type businesses.
- b.) How is the proposed conditional use in this specific location, in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive plan? Single family development is specifically permitted to have accessory structures. The code was specifically written to allow for conditional use approval of an individuals specific needs, when differing from the "normal" guidelines. Is this use substantially different from other people' needs that you have approved? No, you have approved most other requests of this nature. Remember that this building appears to be legal in the size of its foot print, and a 12 in 12 roof pitch. The questions are the height of the dormer roofs, shed roof, and the useable floor space on the second floor. This use certainly is larger than any others in the immediate neighborhood.
- c.) Will the proposed conditional use have an adverse impact on the use of adjacent property, the neighborhood, the environment, etc. Obviously, this is dependent upon each individuals' perspective. You must choose which neighbor's opinion most closely represents the way you would choose to have the community develop. The neighbors to the west object to any structure within their view, even though the applicant moved the structure twenty feet away from the side property line, and more than fifty feet away from the neighbor's house. The neighbors to the east do not object, and appeared in favor of the applicant. Does this use detract from the use of the adjacent park space?
- d.) Is the proposed conditional use consistent with the subject property? Our code specifically talks about "complimentary architectural style and materials". The applicant has stated that he will use complimentary materials / colors to the primary residence. The accessory building is not technically the same architectural style as the home, being of a "salt-box" style, since the home is of standard gables. However, the salt-box features are not readily visible from either the street or adjacent property.
- e.) Do the potential benefits of the proposal outweigh the potential adverse impacts of the proposed conditional use? This again is a subjective view, dependent in my opinion, upon the "conditions of approval" limiting the uses within the building. If no uses are permitted that would adversely affect the neighborhood, the only harm is the perceived lessening of value by the neighbor. Conditions of approval need to address use (residential storage and hobby workshop only), parking (no onsite parking other than the spaces immediately in front of the garage doors), increased setbacks due to height / bulk (already done), specification of what other structures is allowed (exits stairs only from the second floor sliding glass doors), and modification of the building permit to account for the changes that have occurred.

TOWN OF RIB MOUNTAIN
PLANNING COMMISSION MEETING
FEBRUARY 25, 2004

Frank Trau, 2700 Fern Lane requesting a conditional use approval for a garage exceeding the size requirements; Dkt 04-01. It was noted this item was previously heard and is being referred back for a formal finding of facts.

Motion by Ms. Nykiel, seconded by Mr. Cram to reconsider the previous motion taken at the February 11, 2004 Meeting. Motion carried with Mrs. Jehn and Ms. Bradley abstaining.

Motion by Ms. Nykiel, seconded by Mr. Cram to rescind the previous motion to deny the conditional use request at the February 11, 2004 meeting. Motion failed with a 3 to 1 vote. Mrs. Jehn and Ms. Bradley abstaining.

Chairman Muellner invited Mr. Trau to add any additional facts that may have not been presented at the previous meeting. Mr. Trau presented a sheet from within his neighborhood of neighbors who supported his project. He reiterated he researched the Commission's meeting minutes and understood that the Commission had granted conditional use requests for garages in excess of 1000 square feet. He stated he was unaware that he needed a special/conditional use. He stated he placed the garage in unobtrusive area. Finally he stated he did cease building when told he was in noncompliance.

Chairman Muellner asked the Commission members to think about the following items when considering their decision; was the Town partially at fault for not asking more informative questions at the initial meeting; Mr. Trau's builder may not have provided all the necessary information and did Mr. Trau volunteer all information regarding the type of construction that could have been provided.

Commission members reviewed the e-mail from the town attorney and narrative provided by Dan Dziadosz as outlined in the zoning code. Commission members discussed the five items set forth by the zoning code for fact finding purposes. 1. Is the conditional use in harmony with the comprehensive plan; all members agreed. 2. Is the conditional use in harmony within the specific location; Mr. Steele felt it was not in height conformity, Mrs. Jehn did not feel it fit the conformity of the neighborhood; Ms. Nykiel, Mr. Cram and Ms. Bradley agreed it met all requirements. 3. Will the conditional use have an adverse impact on the adjacent properties; all agreed it would not. 4. Is the conditional use consistent with the subject property; all members agreed it was. 5. Do potential benefits outweigh the potential adverse impacts; all were in agreement.

Motion by Mr. Steele, seconded by Mr. Cram to rescind the action taken at the February 11, 2004 meeting. Motion carried with Mrs. Jehn and Ms. Bradley abstaining.

Motion by Ms. Nykiel, seconded by Mr. Cram to recommend approval based on fact finding to recommend approval of the conditional use request subject to the following items; the garage be used for residential storage/workshop, no second floor plumbing, the second floor be allowed a second exit with only a four foot exiting staircase and garage construction meet all plans as submitted. Motion carried with Mrs. Jehn and Ms. Bradley abstaining.

CERTIFIED SURVEY MAPS: None

a possible alternate route for truck traffic. **Motion by Legner/Dalland to set the General Development Plan aside until there is a resolution for truck traffic and access. Questioned and carried 4:0.**

Frank Trau, 2700 Fern Lane, requesting conditional use approval for a garage exceeding the size requirements of RMMC Section 17.056(8)(d). PC Docket #04-01. The Plan Commission recommended approval based on fact finding of the conditional use request subject to the following items: that the garage is to be used for residential storage/workshop, that there be no second floor plumbing, that the second floor shall be allowed a second exit with only a four-foot exiting staircase and that the garage construction meet all plans as submitted. **Motion by Sybeldon/Legner to accept the Plan Commission recommendation. Questioned and carried 3:1 with Dalland dissenting.**

Letter of Amendment: Wood Lawn Pines Subdivision – Nash reported she contacted Ronald Wimmer about the extension of his agreement to finish his subdivision and the recent sale of his land. Attorney Freeburg informed Wimmer's surety company that Mr. Wimmer has not completed his obligations under his contract. **Motion by Legner/Dalland to approve the letter of amendment to the Woodlawn Pines developer agreement. Questioned and carried 4:0.**

Ordinance 04-03: Coin Operated Amusement & Fees – **Motion by Dalland/Legner to adopt and approve Ordinance 04-03 to charge a license fee to the use of amusement devices within the Town of Rib Mountain. Questioned and carried 4:0.**

Ordinance 04-04: Operator License Fee Increase – **Motion by Dalland/Legner to adopt and approve Ordinance 04-04 to increase the operator license fee from \$25 to \$35. Questioned and carried 4:0.**

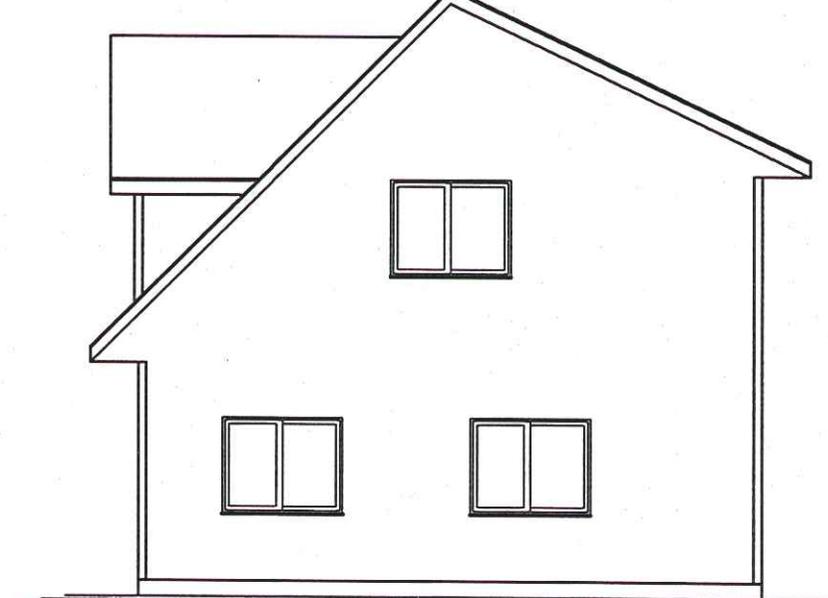
Resolution 04-02: Authorization to Participate in Wisconsin Group Life Insurance Program – **Motion by Sybeldon/Legner to approve Resolution 04-02 to allow eligible employees to participate in the Wisconsin Group Life Insurance Program including voluntary participation in the Supplemental Group Life Insurance and Spouse and Dependent Group Life. Questioned and carried 4:0.**

Resolution 04-03: Contribution by the Employer in Wisconsin Group Life Insurance Program – **Motion by Dalland/Sybeldon to approve Resolution 04-03 allowing the Town of Rib Mountain, as an employer, to pay for the basic group life insurance for eligible employees. Questioned and carried 4:0.**

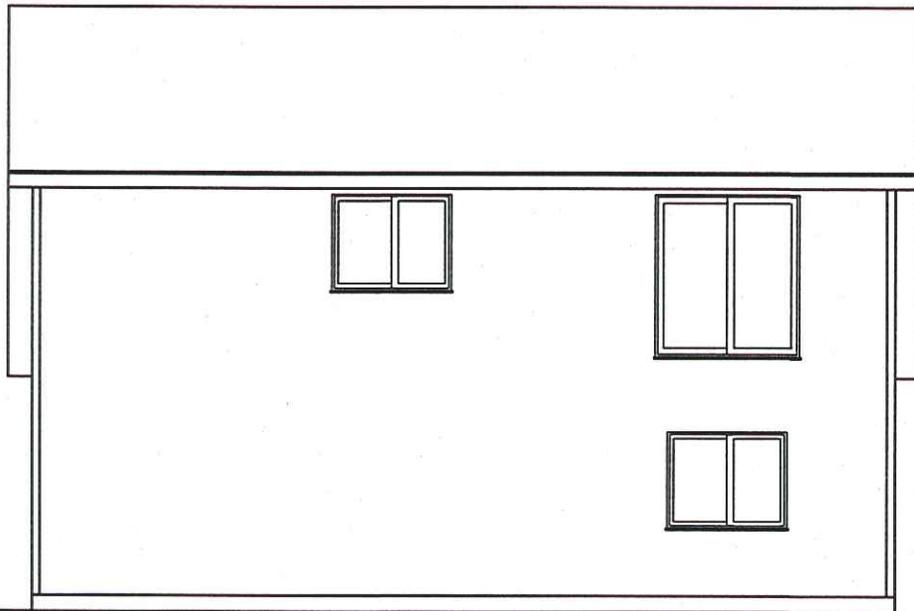
License Applications – **Motion by Dalland/Legner to deny an operator license for Jennifer L. Bielen. Questioned and carried 4:0.**



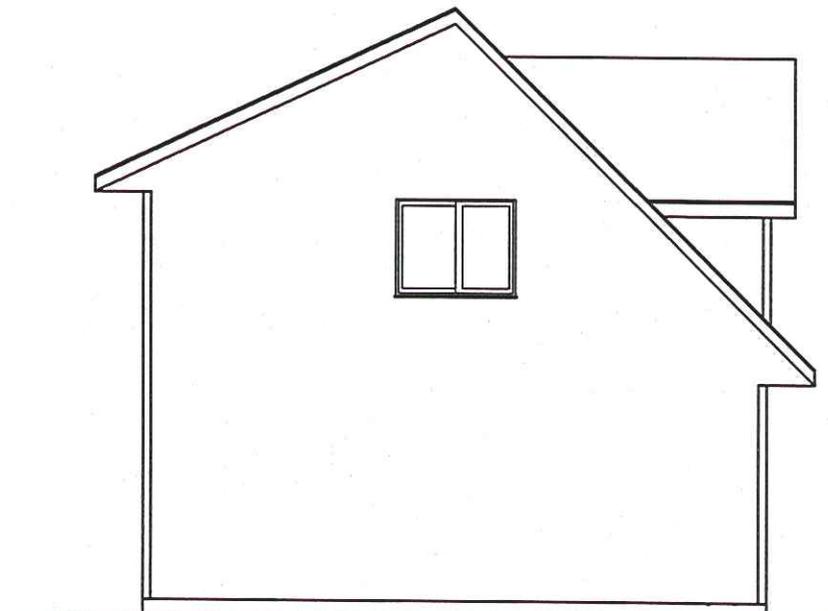
FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

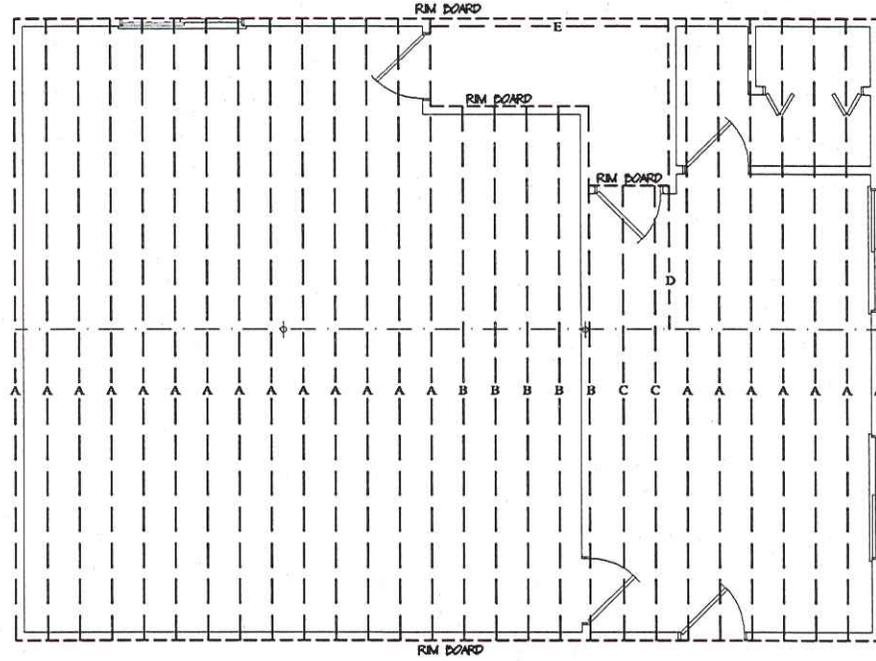
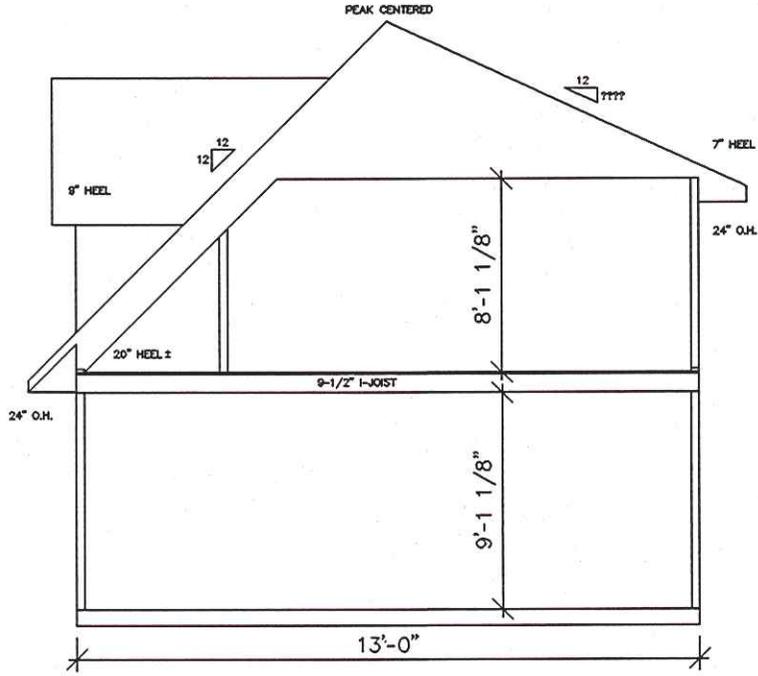
SCALE: 1/4" = 1'-0"
 REV: 10-22-03
 10-23-03

PLEASE NOTE:
 A DRAFTING AND CONSULTATION CHARGE OF \$400/HR. WILL BE CHARGED TO YOU IF YOU DO NOT MAKE SURE THAT YOU HAVE ALL MATERIAL PACKAGE FOR YOUR PROJECT FROM THE MERRILL BRANTON DO-IT CENTER.

IMPORTANT:
 ALTHOUGH EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE DOCUMENTS FOR ACCURACY, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS ACCORDING TO STATE AND LOCAL CODES PRIOR TO THE START OF ANY CONSTRUCTION.

Trantow Do-it Center
 101 S. Pine Ridge Ave., Merrill, WI. 54452
 Phone (715) 636-4521 Fax (715) 636-3762

Proposed Residence For: FRANK TRAU
 Plans Approved By:
 Contractor: E.J. CONSTRUCTION



ID	QTY	DESCRIPTION	LENGTH
	7	3-1/2" RIM BOARD	11'-0"
A	21	3-1/2" RFP1/20 I-JOIST	26'-0"
B	5	3-1/2" RFP1/20 I-JOIST	22'-4"
C	2	3-1/2" RFP1/20 I-JOIST	15'-0"
D	1	3-1/2" RFP1/20 I-JOIST	15'-0"
E	1	3-1/2" RFP1/20 I-JOIST	10'-0"

DATE: 10-20-03
 SCALE: 1/4" = 1'-0"
 REV: 10-22-03
 10-23-03

PLEASE NOTE:
 A DRAFTING AND CONSULTATION FEE OF \$400/HR. WILL BE CHARGED FOR ALL WORK NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXISTING MATERIAL AND MAKE NECESSARY MATERIAL ADJUSTMENTS TO THE PROJECT FROM THE PERMIT DRAWING DOCUMENT.

MEMORANDUM:
 ALTHOUGH EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE DOCUMENTS FOR THE CONTRACTOR TO VERIFY THE EXISTING MASONRY AND OTHER SUBCONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS ACCORDING TO STATE AND LOCAL CODES PRIOR TO THE START OF ANY CONSTRUCTION.

Trantow Do-it Center
 101 S. Pine Ridge Ave., Merrill, WI. 54452
 Phone (715) 536-4521 Fax (715) 536-3762

Proposed Residence For: FRANK TRAU
 Plans Approved By:
 Contractor: E.J. CONSTRUCTION

SHEET NO.
3 OF 3

4a-16

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: December 7, 2017
SUBJECT: Request for General Development Plan (GDP) Approval

APPLICANT: REI Engineering, agent for Gustave A Larson
OWNER: Ronald and Joan Wimmer

PROPERTY ADRESSE(S): 908 Cloverland Lane

REQUEST: General Development Plan approval for a new Gustave A Larson facility and additional tenant space.

CURRENT ZONING: UDD

ADJACENT ZONING: UDD (North); SC (West & South); SR-3 (East)

FUTURE LAND USE DESIGNATION: Commercial

CURRENT USE: Single-Family Residential

PROPOSED USE(S): Indoor Sales and Service & Distribution

NARRATIVE:

The applicant requests GDP approval for a new retail / light industrial building. Gustave A Larson currently operates in Town at 1301 Starling Lane, at the intersection with Rib Mountain Drive. The property is currently zoned UDD with a single-family residence on site. The existing residence has regularly been in the Town's nuisance ordinance enforcement protocol. The proposal calls for an approximately 24,500 square foot, two tenant building to house Gustave A Larson and an unidentified end user. Gustave A Larson represents a mix of retail and distribution uses for heating, ventilation, and air conditioning units.

A GDP approval represents a rezoning of the property to reflect the attached site plan, but does not approve construction activities. Most of the recent UDD projects reviewed by the Plan Commission combined the GDP and Precise Implementation (PIP) steps of the UDD process. The applicant desires to get buy-in from the Town prior to investing in detailed engineering and design.

ZONING STANDARDS NOT MET BY THE PROPOSAL:

The RMMC requires the listing of zoning standards not being met by a proposed UDD request for the purpose of helping the Plan Commission by providing information necessary to determine the relative merits of the project in regard to the private vs. public benefits. Below is a list of the staff identified code non-compliances:

- Portions of the access drive and parking lot (west and south) pavement are closer than the typical coder requirement of 10 feet.
- Bufferyard requirement of a 44-inch picket fence along the west property line
- Bufferyard to the east requirement of a 5 or 6-foot berm
 - Existing wetland complex shared between properties appears to provide a minimum separation of usable land of 150 feet.

PUBLIC BENEFITS OF THE PROPOSAL:

- Redeveloping an older, underutilized site near the Town's primary commercial corridor.
- Removing a chronic nuisance residence.
- Retaining an existing Town business and its employees.
- Relocating a light industrial use to a more appropriate location and as a result, opening an opportunity for new retail development along Rib Mountain Drive.

ITEMS NECESSARY FOR THE PRECISE IMPLEMENTATION PLAN:

With this being a phased approval process (GDP followed by a Precise Implementation Plan (PIP)), staff identified a number of items still needed for a final approval. Including, but not limited to, the following:

- A lighting plan detailing photometrics of the site
- Detailed landscaping plan including charts/tables of points required by code vs. the points provided with the proposal
- Detailed stormwater management plan and subsequent approval from the Town Engineer (for PIP)
- Location and size of any signage
- Operation specifics (hours of operation, employee count, anticipated daily visitors, etc.)
- A separate PIP review is necessary if the second tenant space end user is not identified as part of the initial PIP review.

FINDINGS OF FACT

Below are the six questions representing the Plan Commission's finding of fact to be forwarded to the Town Board as found within the Rib Mountain Code of Ordinances, along with initial staff interpretation.

1. How is the proposed conditional use (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

The Town's Comprehensive Plan identifies goals and objectives of revitalizing older industrial and commercial areas within the Town, encouraging new commercial development in appropriate locations, and proactively planning for commercial uses.

2. How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

The Future Land Use Map identifies this area for commercial development and the existing residence is planned to be demolished. Dating back to 2005 when the Future Land Use Map was adopted, the Town envisioned this property to contribute to the commercial corridor around Rib Mountain Drive.

3. Is it likely that the proposed conditional use, in its proposed location and as depicted on the required site plan (see (3)(d), above), will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Town or other governmental agency having jurisdiction to guide growth and development?

The light industrial use being proposed is consistent with the uses to the north and west. Although residential uses exist to the east, an extensive wetland complex exists between the subject property and any homes; acting as a natural bufferyard and transition area from the Town's commercial and residential areas. Noise concerns related to regular truck traffic may be identified by the residential neighborhood. However, the proposed layout limits this interaction to a reasonable degree by having the access drive along the west property line, furthest from the neighboring residentially zoned properties.

4. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed use is consistent with the commercial activities to the northwest (distribution centers, mini warehouses, etc.). In addition, the residential uses to the south of the subject property are zoned for commercial development.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

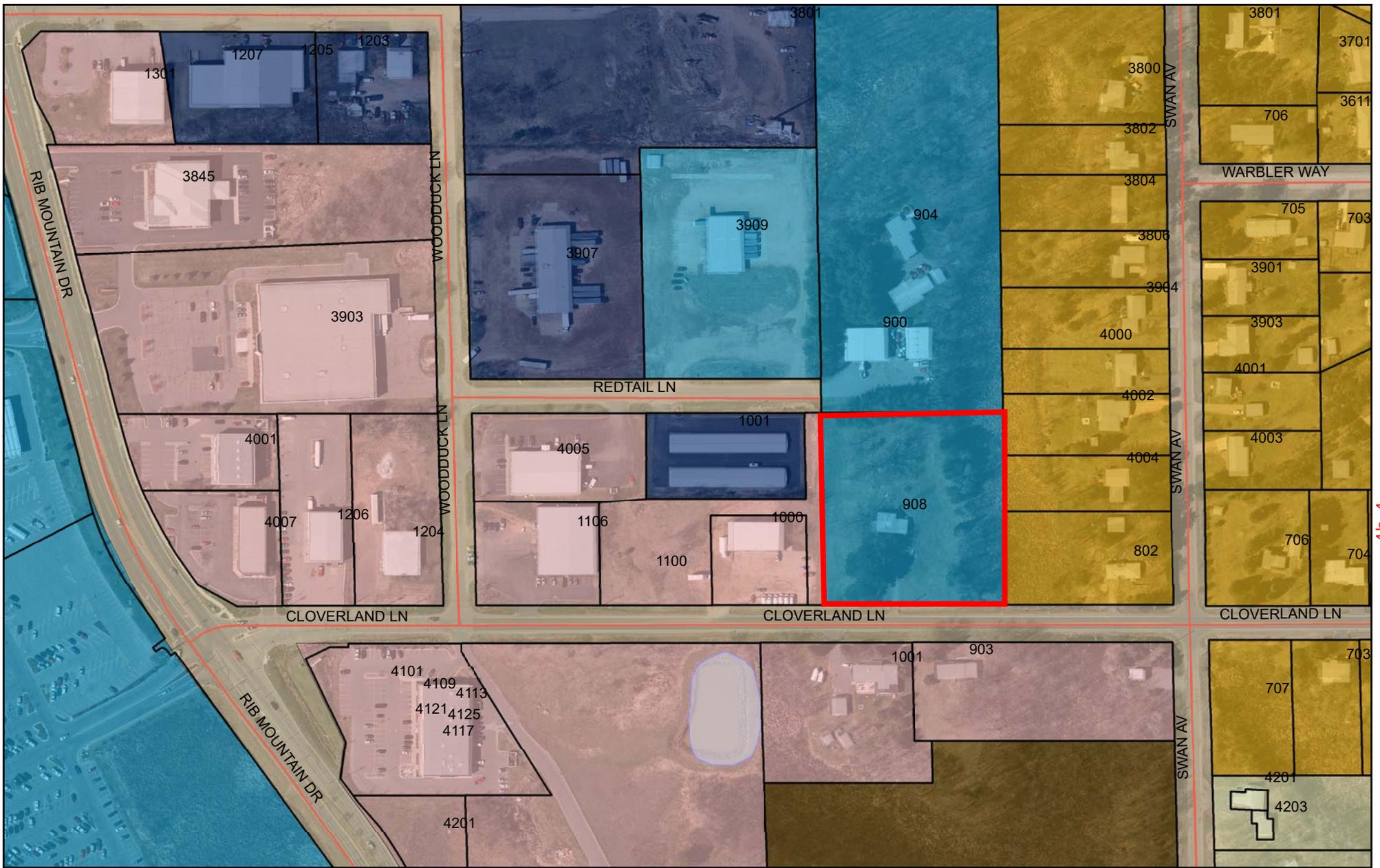
The subject property is accessed via Town road currently serving similar uses in the surrounding area. Further, the property is served by municipal water and sewer.

6. Do the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

The proposal accomplishes a number goals and objectives of the Town's Comprehensive Plan related to commercial development and redevelopment. It also retains an existing business while simultaneously opening up a desirable corner lot within the commercial corridor for redevelopment.

POSSIBLE ACTION

1. Recommend approval of the GDP for the property addressed 908 Starling Lane, as presented.
2. Recommend approval of the GDP for the property addressed 908 Starling Lane, with conditions / modifications.
3. Recommend denial of the GDP for the property addressed 908 Starling Lane.



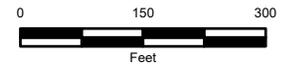
4b-4

*Rib Mountain:
"Where Nature, Family, and
Sport Come Together"*

Prepared by:
MI-TECH
www.mi-tech.us

Map Printed: 12/8/2017

- | | | | | | |
|----------------------------|--------------------------------|-------------------------|------------------------|---------------------------|------------------------|
| Parcel Outline | EO Estate Office | OR Outdoor Recreation | RR Rural Residential | SR-2 Suburban Residential | UR-8 Urban Residential |
| Parcel Address | ER-1 Estate Residential | RA-1 Rural Agricultural | SC Suburban Commercial | SR-3 Suburban Residential | Building Outline |
| Zoning Districts | MR-4 Mixed Residential | RA-2 Rural Agricultural | SI Suburban Industrial | UC Urban Commercial | Road Centerline |
| Unzoned | CR-5ac Countryside Residential | ROW | SO Suburban Office | UDD Unified Development | Water Feature |
| NC Neighborhood Commercial | | | | | |



DISCLAIMER: The information and depictions contained herein are for informational purposes only; Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained. There is no Statement of Accuracy for any parcel data; the parcel layer is considered an Index Parcel Layer not a Cadastral Parcel Layer. For planning purposes only.

8" WATER LINE
LOCATION BASED ON
MAPPING PROVIDED BY
TOWN OF RIB MOUNTAIN

EXISTING SAN MH
RIM ELEV = 1199.35
8" PVC (N-W-E) IE - 1187.25

EXISTING
ASPHALT

EXISTING WATER VALVE

EXISTING SAN MH
RIM ELEV=1199.23
8IN PVC (N-S)=1188.2

APPROXIMATE
ASPHALT EDGE

APPROXIMATE
ASPHALT EDGE

RIGHT-OF-WAY

EXISTING SAN MH
RIM ELEV = 1198.96
8" PVC (S-NE) IE - 1189.5

PROPOSED 50'X50' EASEMENT

EXISTING
ASPHALT

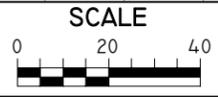
LOT 2
CSM #13390
VOL. 58, PG. 137
OWNED BY OTHERS

ZONING	UDD
LOT AREA	110,235 S.F.
FLOOR AREA	24,510 S.F.
FLOOR AREA RATIO	22.2%
LANDSCAPE SURFACE AREA	55,403 S.F.
LANDSCAPE AREA RATIO	50.3%
IMPERVIOUS SURFACE AREA	54,832 S.F.
IMPERVIOUS SURFACE AREA RATIO	49.7%
TOTAL PARKING REQUIRED / PROVIDED	20 / 22

REI Engineering, Inc.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**



DATE	REVISION	BY	CHK'D	DESIGNED BY:	CHECKED BY:
				SURVEYED BY: OTHERS	APPROVED BY:
				DRAWN BY: NAP	DATE: 11/17/2017

SITE PLAN
GUSTAVE LARSON
CLOVERLAND LANE
TOWN OF RIB MOUNTAIN

REI
REI No. 7929
SHEET C1 PG# 2

DRAWING FILE: P:\17900-7999\7929 - GUSTAVE LARSON - Rib Mountain\DWG\Plans\7929-C1-SITE.DWG LAYOUT: C1
PLOTTED: NOV 17, 2017 - 11:50AM PLOTTED BY: NATHANP

4b-6

8" WATER LINE
LOCATION BASED ON
MAPPING PROVIDED BY
TOWN OF RIB MOUNTAIN

EXISTING SAN MH
RIM ELEV = 1199.35
8" PVC (N-W-E) IE - 1187.25

EXISTING WATER VALVE

EXISTING SAN MH
RIM ELEV=1199.23
8IN PVC (N-S)=1188.2

6" WATER LINE
LOCATION BASED ON
MAPPING PROVIDED BY
TOWN OF RIB MOUNTAIN

APPROXIMATE
ASPHALT EDGE

RIGHT-OF-WAY

APPROXIMATE
ASPHALT EDGE

RIGHT-OF-WAY

EXISTING SAN MH
RIM ELEV = 1198.96
8" PVC (S-NE) IE - 1189.5

PROPOSED
BUILDING
FFE=1201.00

PROPOSED
BUILDING
FFE=1201.00

SWM
17,000 CU. FT.
STORAGE

LOT 1
CSM #13390
VOL. 56, PG. 137

LOT 2
CSM #13390
VOL. 56, PG. 137
OWNED BY OTHERS

EXISTING
WETLANDS

EXISTING
WETLANDS

EXISTING
DITCH LINE

CLOVERLAND LANE

EXISTING
WATER
SHUTOFF
VALVE

EXISTING
WATER
SHUTOFF
VALVE

EXISTING
DITCH LINE

RIGHT-OF-WAY

RETAIL LANE

RIGHT-OF-WAY

EXISTING
ASPHALT

EXISTING
ASPHALT

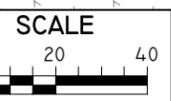
DRAWING FILE: P:\17900-7999\7929 - GUSTAVE LARSON - Rib Mountain\DWG\PLANS\7929-C2-GRADING-EC.DWG LAYOUT: C2
PLOTTED: NOV 17, 2017 - 11:53AM PLOTTED BY: NATHAN

REI Engineering, Inc.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



REI

**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**



DATE	REVISION	BY	CHK'D

DESIGNED BY:	CHECKED BY:
SURVEYED BY: OTHERS	APPROVED BY:
DRAWN BY: NAP	DATE: 11/17/2017

GRADING & DRAINAGE PLAN
GUSTAVE LARSON
CLOVERLAND LANE
TOWN OF RIB MOUNTAIN

REI
REI No. 7929
SHEET C2 PG#3

4b-7

DRAWING FILE: P:\17900-7999\7929 - GUSTAVE LARSON - Rib Mountain\DWG\PLANS\7929-C3-UTILITIES.DWG LAYOUT: C3
 PLOTTED: NOV 17, 2017 - 11:54AM PLOTTED BY: NATHANP

REI Engineering, Inc.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



REI

**CIVIL & ENVIRONMENTAL
 ENGINEERING, SURVEYING**

SCALE

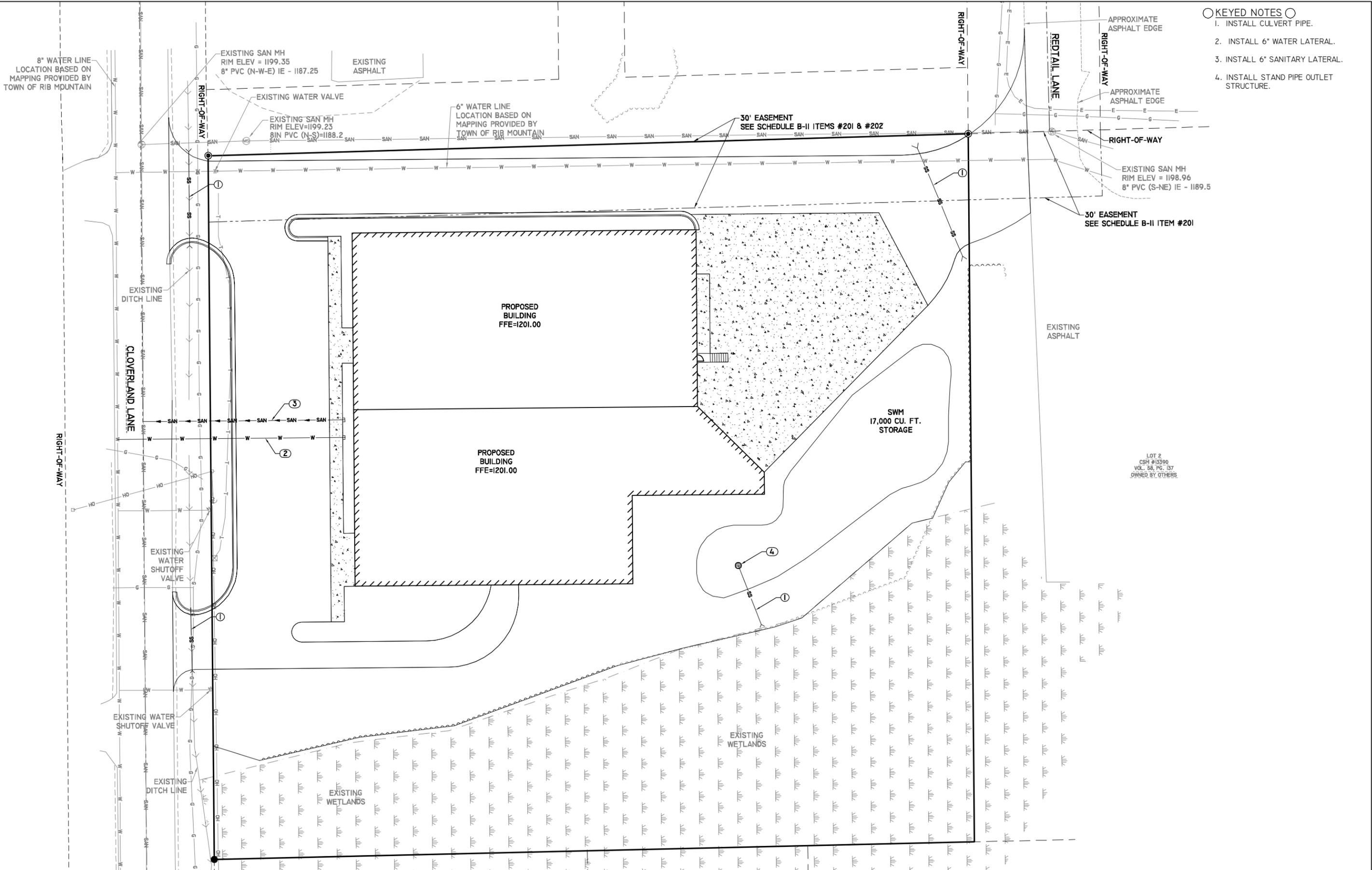


DATE	REVISION	BY	CHK'D

DESIGNED BY:	CHECKED BY:
SURVEYED BY: OTHERS	APPROVED BY:
DRAWN BY: NAP	DATE: 11/17/2017

UTILITY PLAN
 GUSTAVE LARSON
 CLOVERLAND LANE
 TOWN OF RIB MOUNTAIN

REI
 REI No. 7929
 SHEET C3 PG#4



- KEYED NOTES ○
1. INSTALL CULVERT PIPE.
 2. INSTALL 6" WATER LATERAL.
 3. INSTALL 6" SANITARY LATERAL.
 4. INSTALL STAND PIPE OUTLET STRUCTURE.

REPORT TO: PLAN COMMISSION

FROM: Steve Kunst, Community Development Director

DATE: December 7, 2017

SUBJECT: Herbeck Development Site Plan Review

APPLICANT: REI Engineering, agent for Herbeck Development

PROPERTY OWNER: R & R Enterprises

PROPERTY ADDRESS: 1301 Starling Lane

PARCEL #: 34.45.002.001.00.00

REQUEST: Site plan approval for a new three (3) tenant retail building. This request requires only Plan Commission action (no recommendation to Town Board).

ZONING: Suburban Commercial (SC)

ADJACENT ZONING: SC (North & South); UDD (West); SI (East)

FUTURE LAND USE MAP DESIGNATION: Commercial

NARRATIVE:

The applicant seeks approval from the Plan Commission to develop a new, three tenant retail building at the corner of Rib Mountain Drive and Starling Lane. The property is currently leased by Gustave A Larson, who seeks to relocate to Cloverland Lane. The proposal calls for a 6,300 square foot building and identifies two end users as Five Guy’s restaurant and Kay Jewelers. As part of the proposal, an existing non-conforming building is scheduled to be demolished. The applicant is also providing new sidewalk along Starling Lane tying in to the Town’s new sidewalk along Rib Mountain Drive.

Current Land Use: Distribution and Indoor Sales and Service

Proposed Land Use: Indoor Sales and Service

Proposed Site Visitors (combined):

- 1) Employees: 10 – plus any future employees of middle tenant space
- 2) Daily Customers: 125 per day, 875 per week

Hours of Operation: Monday – Friday 10:00 am – 10:00 pm

Ingress/Egress Access:

- o Access to the property is solely off Starling Lane. The proposal also calls for moving the existing Starling Lane access point east to line up with the Michael’s access to the north. This is an improvement from current conditions.

Parking (1 space per 300 ft² of floor area + 1 space per employee at largest shift):

- 1) Total Parking Required = 32 spaces
- 2) Total Parking Provided = 50 spaces

Landscaping

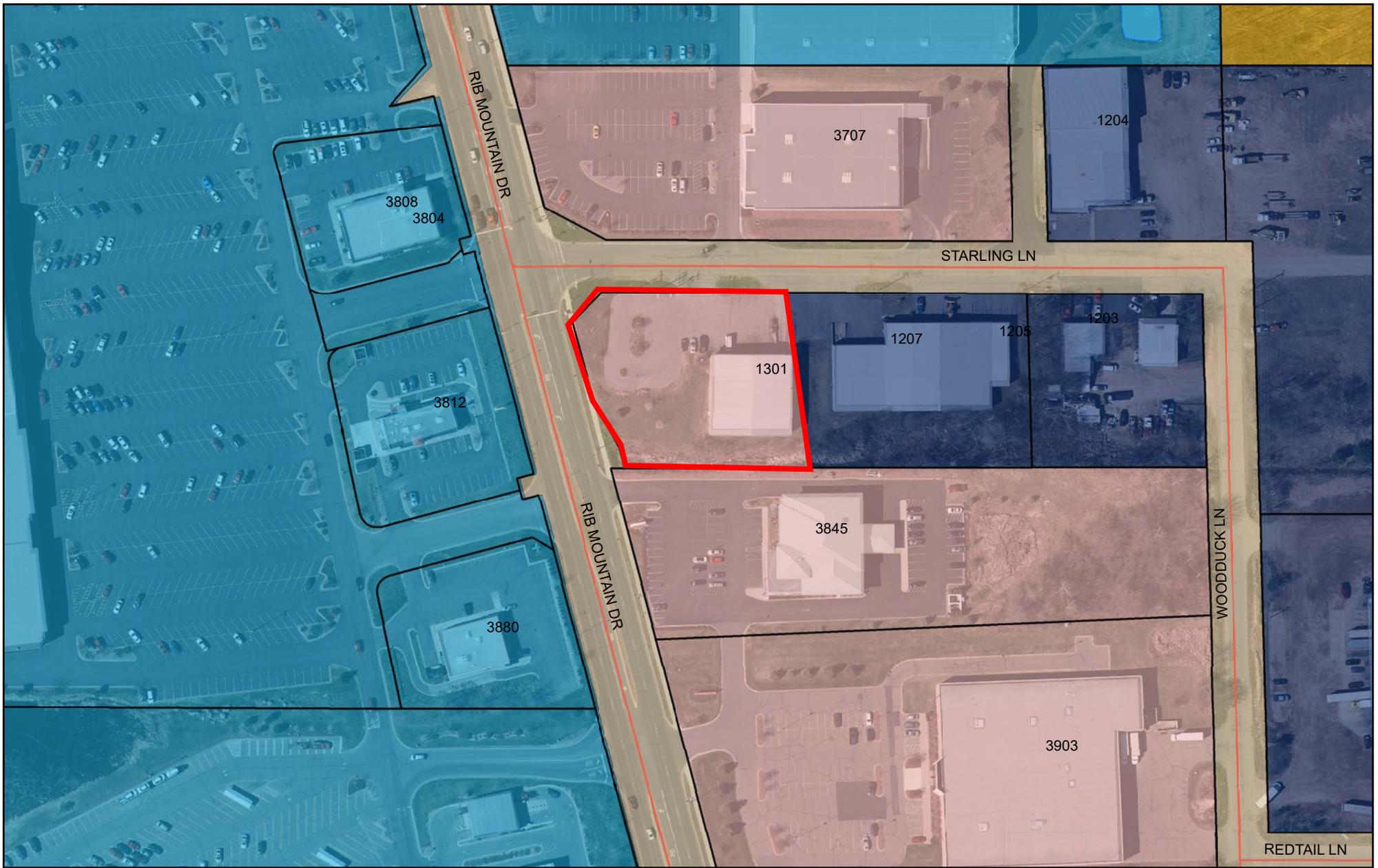
- 1) Landscape Surface Ratio
 - o Required - 0.25
 - o Proposed - 0.35
- 2) Landscape Points
 - o Building Foundation
 - Required – 256
 - Provided – 280
 - o Developed Lots
 - Required – 128
 - Provided – 150
 - o Street Frontage
 - Required – 334
 - Provided – 330
 - o Paved Areas or Parking Stalls
 - Required – 400
 - Provided – 420
 - o Additional
 - Provided – 42
 - o **Total**
 - Required – 1,118
 - Provided – 1,222

ADDITIONAL CONSIDERATION(S):

- o Approval should be conditioned upon a finalized stormwater management plan approved by the Street and Park Superintendent
- o Approval should be conditioned on approval of a stormwater management maintenance agreement approved by the Street and Park Superintendent

ACTIONS TO BE TAKEN:

1. Approval of the Site Plan application for a new retail building at the property addressed 1301 Starling Lane, as presented.
2. Approval of the Site Plan application for a new retail building at the property addressed 1301 Starling Lane, with conditions/modifications.
3. Denial of the Site Plan application for a new retail building at the property addressed 1301 Starling Lane.



5a-3

Rib Mountain: "Where Nature, Family, and Sport Come Together"

Prepared by: **MI-TECH**
www.mi-tech.us

Map Printed: 12/8/2017

<ul style="list-style-type: none"> ▭ Parcel Outline ▭ Parcel Address Zoning Districts ▭ Unzoned ▭ CR-5ac Countryside Residential ▭ EO Estate Office Residential ▭ ER-1 Estate Residential ▭ MR-4 Mixed Residential ▭ NC Neighborhood Commercial 	<ul style="list-style-type: none"> ▭ OR Outdoor Recreation ▭ RA-1 Rural Agricultural ▭ RA-2 Rural Agricultural ▭ ROW ▭ RR Rural Residential ▭ SC Suburban Commercial ▭ SI Suburban Industrial ▭ SO Suburban Office Residential 	<ul style="list-style-type: none"> ▭ SR-2 Suburban Residential ▭ SR-3 Suburban Residential ▭ UC Urban Commercial ▭ UDD Unified Development ▭ UR-8 Urban Residential ▭ Building Outline ▭ Road Centerline ▭ Water Feature 	<p>0 100 200 Feet</p> <p>N</p>	<p>DISCLAIMER: The information and depictions contained herein are for informational purposes only; Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained. There is no Statement of Accuracy for any parcel data; the parcel layer is considered an Index Parcel Layer not a Cadastral Parcel Layer. For planning purposes only.</p>
---	--	--	------------------------------------	--

ROW

EXISTING SAN MH
RIM ELEV=1214.38
8IN PVC(N-S)=1202.2
8IN PVC(E)=1202.1

STARLING LANE

KEYED NOTES

1. ASPHALT PAVEMENT. SEE DETAIL A/C.I.I.
2. CONCRETE FLUME. SEE DETAIL B/C.I.I.
3. 24" CURB AND GUTTER. SEE DETAIL C/C.I.I.
4. 24" REJECT CURB AND GUTTER. SEE DETAIL C/C.I.I.
5. RETAINING WALL.
6. PYLON SIGN BY OTHERS.
7. SIDEWALK WITH INTEGRAL CURB. SEE DETAIL D/C.I.I.
8. TRANSITION CURB & GUTTER. SEE DETAIL F/C.I.I.
9. STANDARD CURB & GUTTER TERMINATION. SEE DETAIL G/C.I.I.
10. HANDICAP PARKING SPACES & STRIPING. SEE DETAIL H/C.I.I.
11. VAN ACCESSIBLE HANDICAP SIGN WITH DOUBLE ARROW. SEE DETAIL I/C.I.I.
12. TYPE 1 HANDICAP RAMP. SEE DETAIL E/C.I.I.
13. 12'X20' REFUSE AREA- 6" CONCRETE PAD WITH 6"X6" WELDED WIRE MESH. REFER TO ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
14. PAINTED STRIPING, YELLOW. (TYPICAL)
15. PAINTED PAVEMENT MARKINGS. (TYPICAL)
16. VERTICAL FACE CURB. SEE DETAIL J/C.I.I.
17. 4" CONCRETE SIDEWALK. SEE DETAIL K/C.I.I.
18. TYPE 2 HANDICAP RAMP. SEE DETAIL L/C.I.I.

NOTES:

- (A) BUILDINGS AND PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO PROPERTY LINE LABELED, S 08°15'23" E, AS TAKEN FROM THE SURVEY.
- (B) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (C) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

ZONING	SC
LOT AREA	47,888 S.F.
FLOOR AREA	6,334 S.F.
FLOOR AREA RATIO	13.2%
LANDSCAPE SURFACE AREA	16,917 S.F.
LANDSCAPE AREA RATIO	35.3%
IMPERVIOUS SURFACE AREA	30,971 S.F.
IMPERVIOUS SURFACE AREA RATIO	64.7%
PARKING REQUIREMENTS (FIVE GUYS)	26
PARKING REQUIREMENTS (TENANT B & KAY)	14
TOTAL PARKING REQUIRED / PROVIDED	40 / 50

EXISTING STM INL
RIM ELEV=1213.24
30IN RCP (SE)=1207.9
24IN RCP (W)=1207.9
12IN RCP (N)=1207.9

48" S₁₄ MH #STRUCTURE - (7)
RIM = 1212.88
6" PVC (N) IE = 1209.00
6" PVC (SE) IE = 1209.00
8" PVC (SW) IE = 1209.00

APPROXIMATE LOCATION (FIELD VERIFY)

EXISTING STM INL
RIM ELEV=1214.08

EXISTING STM CULVERT
24IN RCP(W) IE=1207.84

EXISTING STM CULVERT
30IN RCP (N) IE=1207.80

EXISTING WETLANDS

EXISTING STM INL
RIM ELEV=1210.50
18IN RCP (E)=1207.0
8IN PVC(S)=1207.1

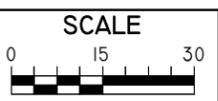
EXISTING ASPHALT

DRAWING FILE: P:\7800-7899\7806 - STARLING - RIB MOUNTAIN DEVELOPMENT\DWG\PLANS\7806-CI-SITE.DWG LAYOUT: CI
PLOTTED: NOV 17, 2017 - 1:20PM PLOTTED BY: NATHAN

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



REI CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING



DATE	REVISION	BY	CHK'D

DESIGNED BY: MEM	CHECKED BY: JJB
SURVEYED BY: JLR	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 11/17/2017

SITE PLAN
R & R ENTERPRISES
1301 STARLING LANE
RIB MOUNTAIN, WISCONSIN 54401

REI
REI No. 7806
SHEET CI PG#4

5a-5



1 WEST ELEVATION
1/8" = 1'-0"

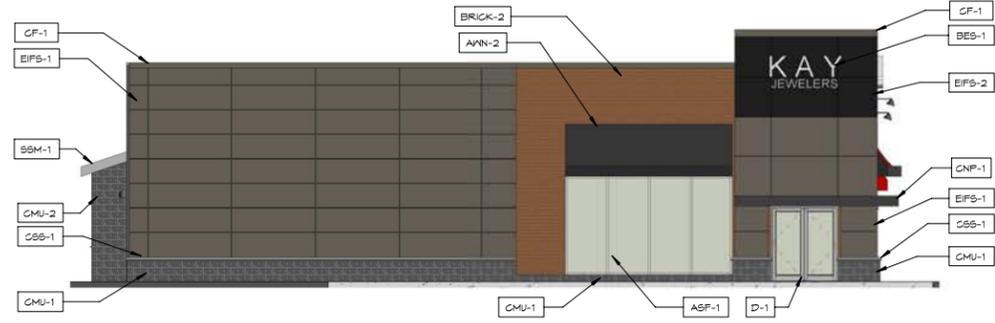
SIGNAGE CALCULATIONS

Allowable Signage = 0.50:1 (Street Frontage)

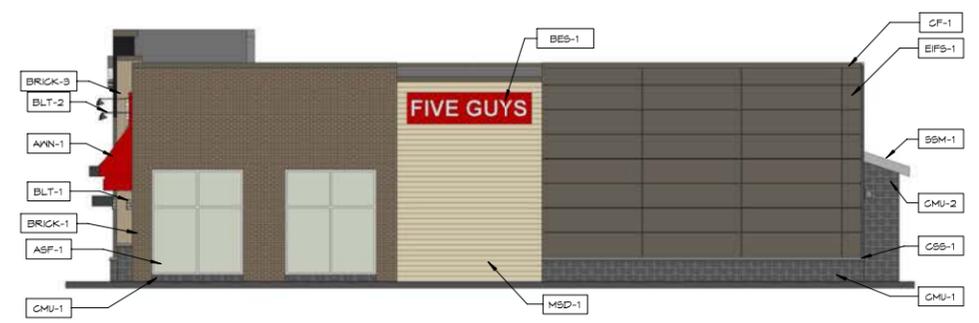
Actual Street Frontage:
 Rib Mountain Drive = 180.08 FL
 Starling Lane = 262.21 LF
TOTAL = 442.29 LF

Building Signage calculation:
 0.50 x 442.29 = 221.145 SF allowed

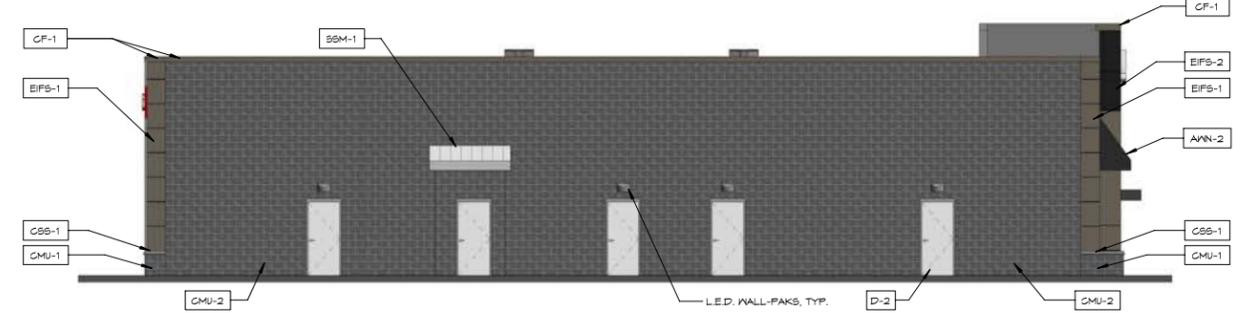
Proposed Signage Building:
 Kay = 42 SF
 Five Guys = 75 SF
 Middle Tenant = 30 SF
 Pylon Sign = 74 SF
Total = 221



2 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

NOTE:
 MASONRY PRICE TO INCLUDE DRY-BLOCK W/ INTEGRAL WATER REPELLENT - RHEOPEL XP. PRICE TO ALSO INCLUDE FULL HEIGHT BLOCK-GUARD AND GRAFFITI CONTROL SEALER BY PROSCOCO, APPLIED BY MASON CONTRACTOR.

CONTROL JOINT NOTES:
 PROVIDE MASONRY CONTROL JOINTS AS RECOMMENDED BY MASONRY CONTRACTOR AND BLOCK SUPPLIER. CONTROL JOINTS NOT TO EXCEED 30'-0" MAX AND 20'-0" MIN.
 ALL CONTROL JOINT LAYOUTS TO BE REVIEWED BY ARCHITECT/ENGINEER AT TIME OF CONSTRUCTION/SHOP DRAWING SUBMITTAL.
 ALL ELEVATIONS AND LAYOUT ARE BASE ON STANDARD MODULAR BLOCK SIZES. CONTRACTOR RESPONSIBLE FOR ANY ADJUSTMENTS IN SIZES REQUIRED IF THEY CHANGE MATERIAL SIZES.

CURTAINWALL/STOREFRONT NOTES:
 PROVIDE PREFINISHED ALUMINUM SLP HEAD TO MATCH ALUMINUM STOREFRONT/ CURTAIN WALL SYSTEM, WHERE REQUIRED.
 PROVIDE PREFINISHED EXTRUDED ALUMINUM-THERMALLY BROKEN SILL FLASHING WITH END DAMS. INSTALL WITH A POSITIVE SLOPE AWAY FROM INTERIOR AND SET IN SEALANT AND INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
 PROVIDE ALL SHIMS, SEALANT & BACKER ROD PER MANUFACTURER'S SPECIFICATIONS.

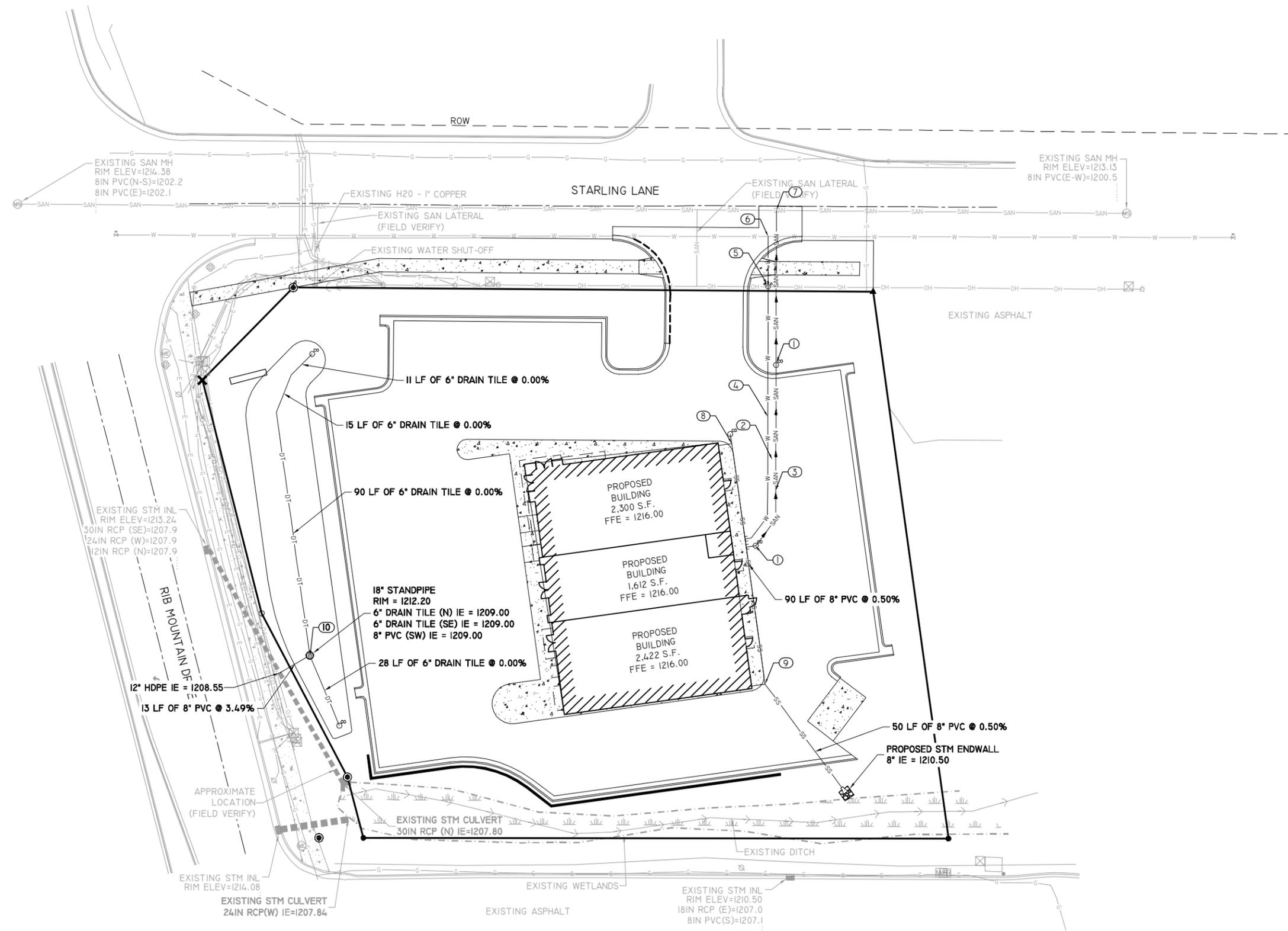
EXTERIOR FINISH KEY NOTES									
KEY NOTE									
BRICK-1	BRICK: MFR: T.B.D. JOINTS: STD. 3/8" JOINTS, COLORED MORTAR TO MATCH MASONRY. COLOR: T.B.D. (BROWN)	CMU-2	COLOR INTEGRAL CMU (SPLIT-FACE): MFR: COUNTY MATERIALS STYLE: SPLIT-FACE, COLOR INTEGRAL, WITH INTEGRAL BLOCK SEALER. (FULL BLOCK) JOINTS: STD. CONCAVE JOINTS WITH MORTAR COLORED TO MATCH FINAL MASONRY UNIT COLOR SELECTED. COLOR: AS SELECTED FROM FULL COLOR RANGE (A, B, OR C) NOTE: GRAFFITI-GUARD TO BE APPLIED TO ALL MASONRY.	ASF-1	ALUMINUM STOREFRONT SYSTEM: MFR: KAWNEER (BASIS OF DESIGN) STYLE: 451-T OR EQUAL, THERMALLY BROKEN (REFER TO EXTERIOR ELEVATIONS & FRAME ELEVATIONS) REINFORCED MULLIONS AS REQUIRED, VERIFIED AND ENGINEERED BY CURTAINWALL MFR. GLAZING: 1" INSULATED, PPS, SOLARBAN 60, CLEAR FINISH/COLOR: CLEAR ANODIZED	AVN-1	FABRIC AWNING: MANUFACTURER: AS PROVIDED BY TENANT REQUIREMENTS STYLE: REFER TO EXT. ELEV. FINISH/COLOR: RED	BLT-1	BUILDING EXTERIOR LIGHTING: MANUFACTURER: T.B.D. STYLE/TYPE: LED, TUBULAR, UP-DOWN, SCENCE LIGHT POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO REQUIREMENTS BY FINAL FIXTURE SELECTED.
BRICK-2	BRICK: MFR: T.B.D. JOINTS: STD. 3/8" JOINTS, COLORED MORTAR TO MATCH MASONRY. COLOR: T.B.D. (TAN)	MSD-1	MANUFACTURED WOOD SIDING: MFR: T.B.D. STYLE: 6" WIDE JOINTS: LAP TYPE COLOR: PAINTED, COLOR T.B.D. (SAND)	D-1	ALUMINUM ENTRANCE OR MAN DOOR W/ INSUL. GLAZING: MANUFACTURER: KAWNEER OR EQUAL STYLE: REFER TO DOOR SCHEDULE & ELEVATIONS (MED. STYLE) GLAZING: 1" INSULATED, PPS, SOLARBAN 60, CLEAR FINISH/COLOR: CLEAR ANODIZED	AVN-2	FABRIC AWNING: MANUFACTURER: AS PROVIDED BY TENANT REQUIREMENTS STYLE: REFER TO EXT. ELEV. FINISH/COLOR: BLACK	BLT-2	BUILDING EXTERIOR LIGHTING: MANUFACTURER: T.B.D. STYLE/TYPE: LED, GOOSE-NECK POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO REQUIREMENTS BY FINAL FIXTURE SELECTED.
BRICK-3	BRICK: MFR: T.B.D. JOINTS: STD. 3/8" JOINTS, COLORED MORTAR TO MATCH MASONRY. COLOR: T.B.D. (SAND)	EIFS-1	EXTERIOR INSULATION FINISH SYSTEM: MFR: STO OR EQUAL TYPE: SMOOTH FINISH WITH INTEGRAL COLOR AND REVEAL PATTERN. COLOR/TEXTURE: COLOR T.B.D. (BROWN)	D-2	STEEL DOOR INSUL. PAINTED: MANUFACTURER: T.B.D. STYLE: REFER TO DOOR SCHEDULE & ELEVATIONS PAIN. COLOR: T.B.D., TO BLEND WITH BLDG. COLORS	CNP-1	PRE-FIN. MTL. CANOPY: MANUFACTURER: SITE-BUILT STYLE: REFER TO EXT. ELEV. FINISH/COLOR: BLACK	CSS-1	CAST STONE SILL: MFR: T.B.D. STYLE: SMOOTH FINISH, CUSTOM SILL JOINTS: STD. CONCAVE JOINTS WITH MORTAR COLORED TO MATCH FINAL MASONRY UNIT COLOR SELECTED. COLOR: AS SELECTED FROM FULL COLOR RANGE (A, B, OR C) NOTE: GRAFFITI-GUARD TO BE APPLIED TO ALL MASONRY.
CMU-1	COLOR INTEGRAL CMU (SPLIT-FACE): MFR: COUNTY MATERIALS STYLE: SPLIT-FACE, COLOR INTEGRAL, WITH INTEGRAL BLOCK SEALER. (FACE BLOCK) JOINTS: STD. CONCAVE JOINTS WITH MORTAR COLORED TO MATCH FINAL MASONRY UNIT COLOR SELECTED. COLOR: AS SELECTED FROM FULL COLOR RANGE (A, B, OR C) NOTE: GRAFFITI-GUARD TO BE APPLIED TO ALL MASONRY.	EIFS-2	EXTERIOR INSULATION FINISH SYSTEM: MFR: STO OR EQUAL TYPE: SMOOTH FINISH WITH INTEGRAL COLOR AND REVEAL PATTERN. COLOR/TEXTURE: COLOR T.B.D. (BLACK)	CF-1	METAL GAP FLASH SYSTEM (WALL COPING): MFR: REFER TO SPEC. FINISH/COLOR: T.B.D., TO BLEND/MATCH WITH EXTERIOR WALL COLORS. LOCATION: REFER TO EXTERIOR ELEVATIONS.	BES-1	BUILDING EXTERIOR SIGNAGE: MANUFACTURER: BY TENANT SELECTED SIGN MFR. STYLE/TYPE: VARIES, REFER TO EXTERIOR ELEVATIONS POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO TENANT REQUIREMENTS. NOTE: CONTRACTOR TO PROVIDE REQUIRED BLOCKING (BLOCKING TO BE PAINTED, WHERE EXPOSED, TO MATCH WALL PANEL COLOR)	SSM-1	STANDING SEAM METAL ROOF: MFR: T.B.D. STYLE: PRE-FIN. METAL ROOF, STD. 12" RIB SPACING COLOR: AS SELECTED FROM MFR. STD. COLORS.

KEYED NOTES

1. INSTALL 4" SANITARY CLEANOUT. SEE DETAIL A/C3.1.
2. SANITARY SEWER & WATER SERVICE TRENCH. SEE DETAIL F/C3.1.
3. INSTALL 130 LF OF 4" SANITARY SERVICE LATERAL @ 1.00% MINIMUM. SEE DETAIL C/C3.1.
4. INSTALL 116 LF OF 2" WATER SERVICE LATERAL.
5. INSTALL 2" WATER SHUT OFF VALVE.
6. CONNECT TO EXISTING WATER MAIN. SEE DETAIL B/C3.1.
7. CONNECT TO EXISTING SANITARY MAIN WITH 8" SADDLE CONNECTION. 8" IE = 1201.0±. FIELD VERIFY ELEVATION. SEE DETAIL H/C3.1.
8. PROVIDE 8" X 6" WYE WITH CLEANOUT AND CONNECT ROOF DRAIN TO STORM MAIN. 8" IE = 1211.20
9. PROVIDE 8" X 6" WYE AND CONNECT ROOF DRAIN TO STORM MAIN. 8" IE = 1210.75
10. 18" DIAMETER STANDPIPE OUTLET STRUCTURE. SEE DETAIL E/C3.1.

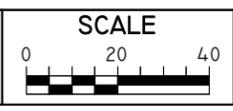
NOTES:

- (A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5' GRADE OVER PROPOSED WATER LINE.
- (B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (D) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A MINIMUM HORIZONTAL CLEARANCE OF 3' BETWEEN SEWER AND WATER LATERAL LINES MEASURED CENTER TO CENTER. WATER CROSSING OVER SEWER SHALL HAVE 12" MINIMUM VERTICAL CLEARANCE AND WATER CROSSING BENEATH SEWER SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18". SEE DETAIL D/C3.1. VERTICAL CLEARANCES ARE MEASURED FROM OUTSIDE PIPE DIAMETER.
- (E) SEE DETAIL G/C3.1 FOR PIPE BEDDING.
- (F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.
- (H) PRIOR TO INSTALLATION OF SANITARY AND WATER SERVICES, CONFIRM SIZE AND LOCATION WITH GENERAL CONTRACTOR.
- (I) THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF SITE UTILITIES SHALL PROVIDE A TEMPORARY CAP OR PLUG AT BUILDING TERMINATION. REFER TO PLUMBING PLANS FOR CONTINUATION OF WORK INSIDE THE BUILDING.
- (J) PIPE LENGTHS PROVIDED ARE GIVEN TO CENTER OF STRUCTURE OR END OF END STRUCTURE.



DRAWING FILE: P:\7800-7899\7806 - STARLING - RIB MOUNTAIN DEVELOPMENT\DWG\PLANS\7806-C3-UTILITIES.DWG LAYOUT: C3
 PLOTTED: NOV 17, 2017 - 1:22PM PLOTTED BY: NATHAN

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



DATE	REVISION	BY	CHK'D

DESIGNED BY: MEM	CHECKED BY: JJB
SURVEYED BY: JLR	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 11/17/2017

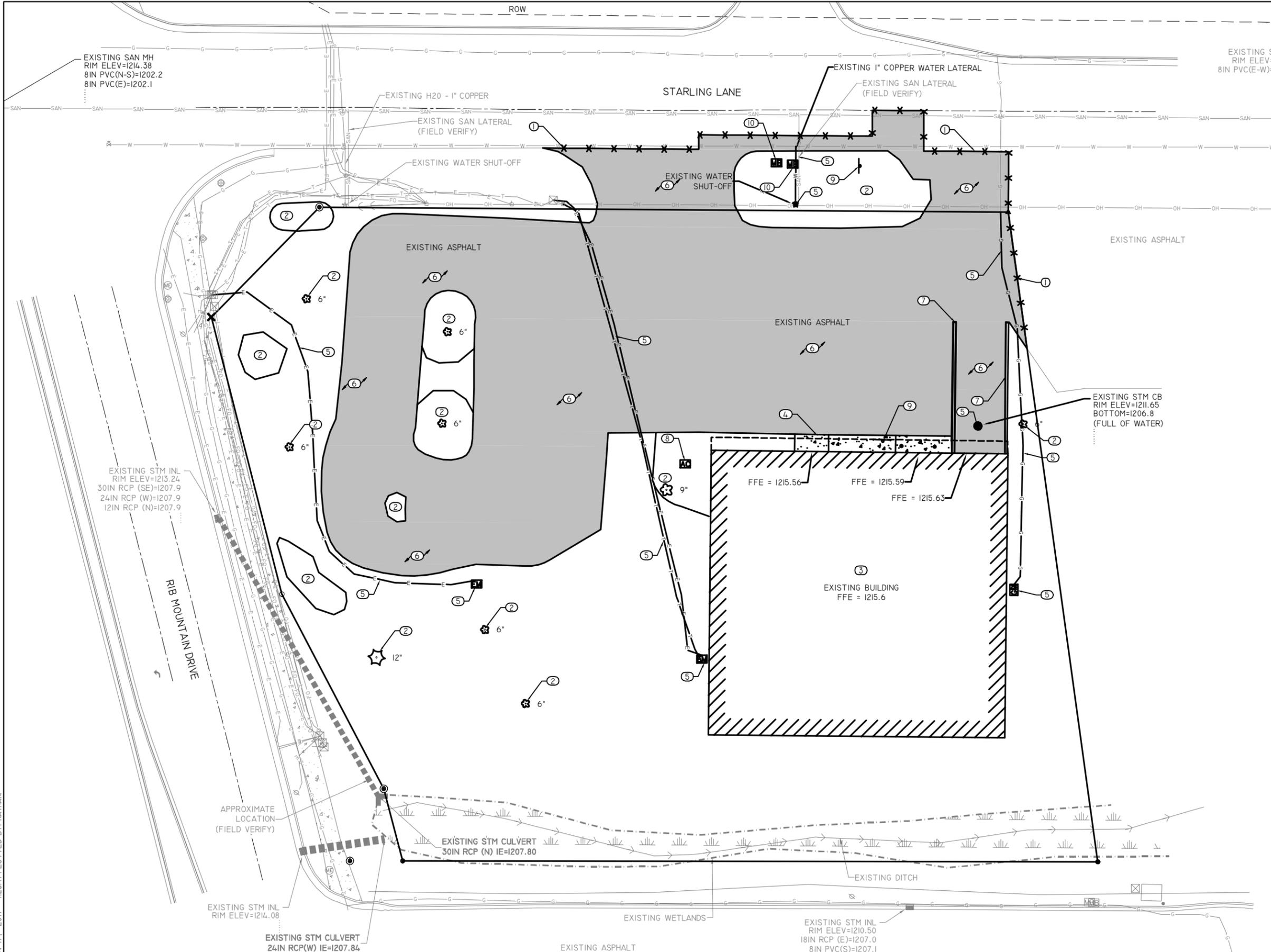
UTILITY PLAN
 R & R ENTERPRISES
 1301 STARLING LANE
 RIB MOUNTAIN, WISCONSIN 54401

REI
 REI No. 7806
 SHEET C3 PG#9

5a-7

KEYED NOTES

1. SAWCUT ASPHALT PAVEMENT.
2. REMOVE LANDSCAPING AND TREES.
3. REMOVE BUILDING.
4. REMOVE CONCRETE SIDEWALK.
5. REMOVE / REROUTE UTILITIES AS NEEDED TO MAKE CONNECTIONS TO PROPOSED BUILDING.
6. REMOVE ASPHALT PAVEMENT.
7. REMOVE RETAINING WALL.
8. REMOVE AIR CONDITIONING UNIT.
9. REMOVE SIGN, TYPICAL.
10. REMOVE AND SALVAGE MAILBOXES. PROVIDE TO OWNER.



EXISTING STM CB
RIM ELEV=1211.65
BOTTOM=1206.8
(FULL OF WATER)

FFE = 1215.56 FFE = 1215.59 FFE = 1215.63

EXISTING BUILDING
FFE = 1215.6

EXISTING SAN MH
RIM ELEV=1214.38
8IN PVC(N-S)=1202.2
8IN PVC(E)=1202.1

EXISTING STM INL
RIM ELEV=1213.24
30IN RCP (SE)=1207.9
24IN RCP (W)=1207.9
12IN RCP (N)=1207.9

EXISTING STM INL
RIM ELEV=1214.08

EXISTING STM CULVERT
24IN RCP(W) IE=1207.84

EXISTING STM CULVERT
30IN RCP (N) IE=1207.80

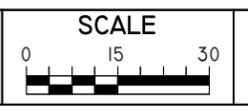
EXISTING STM INL
RIM ELEV=1210.50
18IN RCP (E)=1207.0
8IN PVC(S)=1207.1

DRAWING FILE: P:\7800-7899\7806 - STARLING - RIB MOUNTAIN DEVELOPMENT\DWG\PLANS\7806-00-DEMO.DWG LAYOUT: DO
PLOTTED: NOV 17, 2017 - 1:23PM PLOTTED BY: NATHANP

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



REI CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING



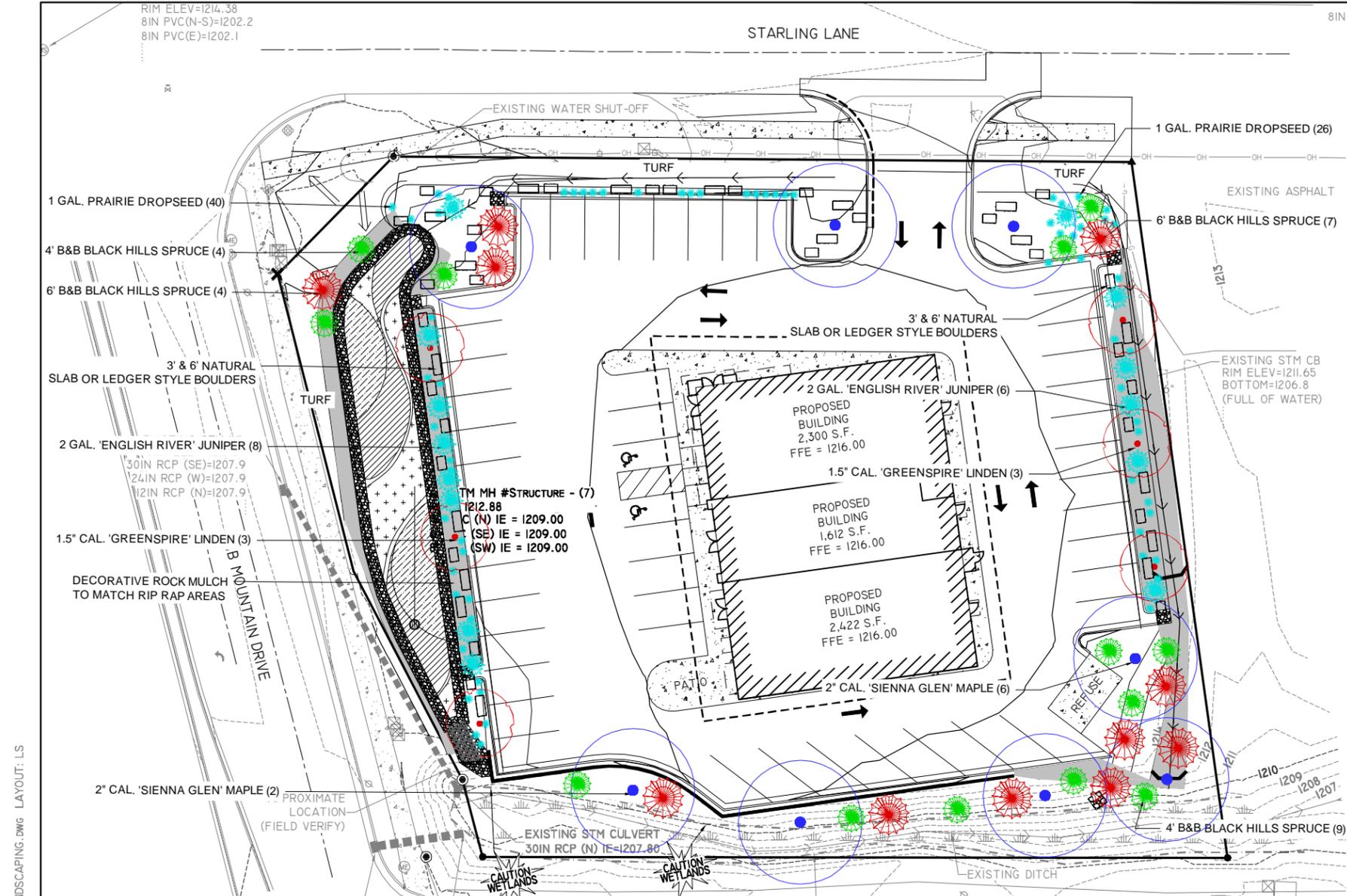
DATE	REVISION	BY	CHK'D

DESIGNED BY: MEM	CHECKED BY: JJB
SURVEYED BY: JLR	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 11/17/2017

DEMO PLAN
R & R ENTERPRISES
1301 STARLING LANE
RIB MOUNTAIN, WISCONSIN 54401

REI
REI No. 7806
SHEET D0 PG#3

5a-8



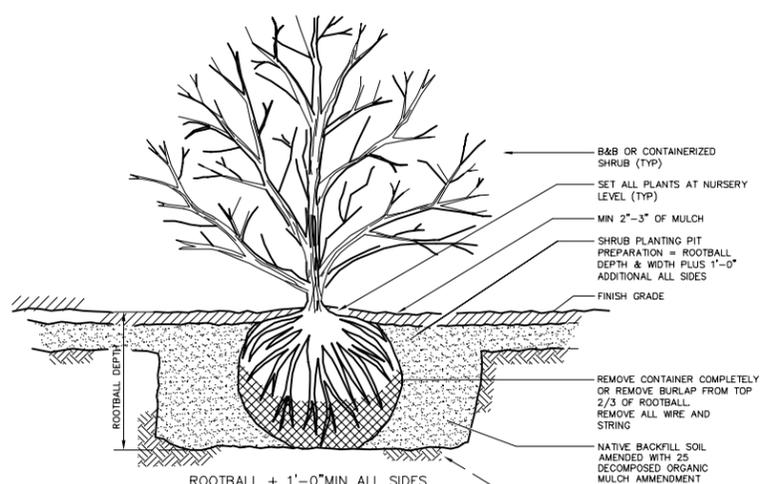
- GENERAL NOTES:**
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
 - 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
 - HYDROSEED/FERTILIZER/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.
 - ALL AREAS CALLED OUT FOR "NO MOW-LOW GROW" TURF SHALL BE PROVIDED AND INSTALLED PER SPEC FROM PRAIRIE NURSERY INC.
 - ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
 - ALL TREES SHALL BE STAKED WITH A MINIMUM OF TWO STAKES.
 - 2'-4" SIZE RANGE FOR DECORATIVE-FRACTURED LANDSCAPE BOULDERS AS NOTED PER PLAN LOCATIONS. FINAL SIZE AND COLOR TO BE CHOSEN BY OWNER.
 - 4"-6" DEPTH OF DECORATIVE-FRACTURED RIP RAP BE PLACED IN SPECIFIED LANDSCAPE PLANTING BEDS. FINAL SIZE AND COLOR TO BE CHOSEN BY OWNER.
 - 3" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH FOR ALL LANDSCAPE PLANTING BEDS/TURF-TREE MULCH RINGS.
 - FILTER FABRIC SHALL BE PLACED BENEATH ALL LANDSCAPE STONE.
 - 1/8" X 4" ALUMINUM EDGING-BRONZE FINISH FOR ALL LANDSCAPE PLANTING BEDS/TURF-TREE RINGS.
 - COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

PLANT SCHEDULE:

TYPE	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
DECIDUOUS TREE	8	2" CAL	ACER X FREEMANII 'SIENNA GLEN'	'SIENNA GLEN' MAPLE
DECIDUOUS TREE	6	1.5" CAL	TILIA CORDATA 'GREENSPIRE'	'GREENSPIRE' LINDEN
EVERGREEN TREE	11	6' B&B	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE
EVERGREEN TREE	13	4' B&B	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE
EVERGREEN SHRUB	14	2 GAL	JUNIPERUS 'ENGLISH RIVER'	'ENGLISH RIVER' JUNIPER
ORNAMENTAL GRASS	66	1 GAL	SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSEED

- *LINEAL FEET OF BUILDING POINTS (256 PTS REQ'D - 280 PTS SHOWN)
- *GROSS SQUARE FEET OF FLOOR AREA POINTS (128 PTS REQ'D - 150 PTS SHOWN)
- *LINEAL FEET OF STREET FRONTAGE POINTS (334 PTS REQ'D - 330 PTS SHOWN)
- *PARKING STALLS PROVIDED POINTS (400 PTS REQ'D - 420 PTS SHOWN)
- *ADDITIONAL SCREENING PROVIDED POINTS (0 PTS REQ'D - 42 PTS SHOWN)
- *3" PLUG SIZE MIX OF PALE PURPLE CONEFLOWER & BLACK EYED SUSAN (334 TOTAL)
- *3" PLUG SIZE MIX OF BEE BALM & NEW ENGLAND ASTER (385 TOTAL)
- *3" PLUG SIZE MIX OF CARDINAL FLOWER & PRAIRIE BLAZING STAR (368 TOTAL)

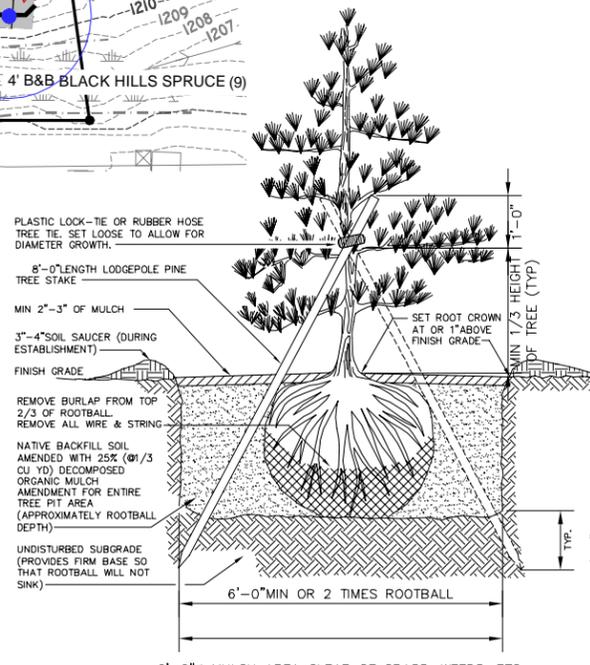
TOTAL PTS REQ'D = 1,118
TOTAL PTS SHOWN = 1,222



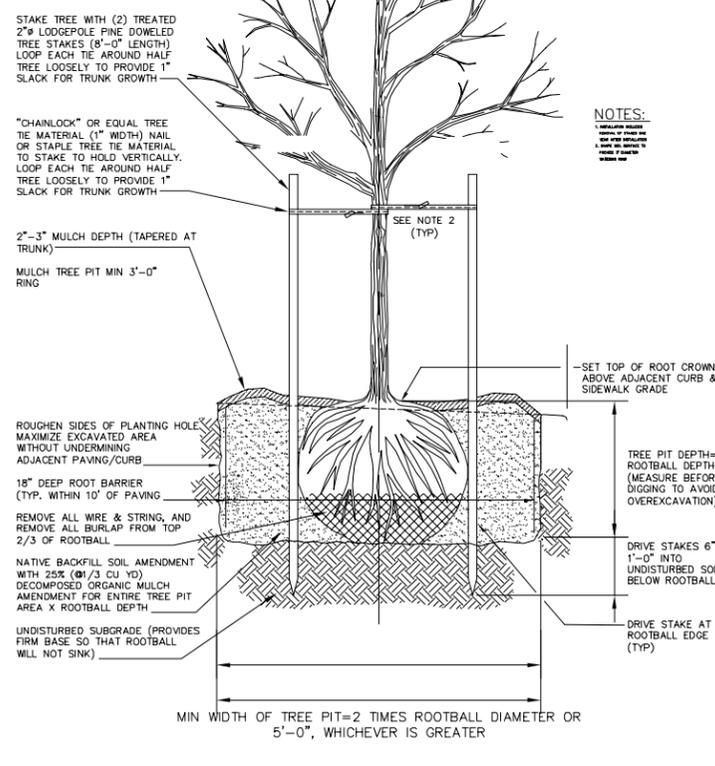
1
101 SHRUB PLANTING DETAIL
NTS

LABELED TURF AREAS TO BE:
Sunny/Shade Seed Mixture
30% Bonaire Kentucky Bluegrass
20% Intrigue Chewings Fescue
30% Boreal Creeping Red Fescue
20% Evening Shade Perennial Ryegrass
Seeding rate: 5-6 lbs. per 1,000 sq. ft.

UN-LABELED TURF AREAS TO BE:
No-Mow Seed Mixture
*See Prairie Nursery's Direct Requirements



1
101 EVERGREEN PLANTING DETAIL
NTS

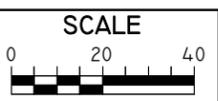


1
101 DECIDUOUS TREE PLANTING DETAIL
NTS

DRAWING FILE: P:\17800-7899\7806 - STARLING - RIB MOUNTAIN DEVELOPMENT\DWG\PLANS\7806-LANDSCAPING.DWG LAYOUT: LS
PLOTTED: NOV 17, 2017 - 1:23PM PLOTTED BY: NATHAN

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM

REI CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING

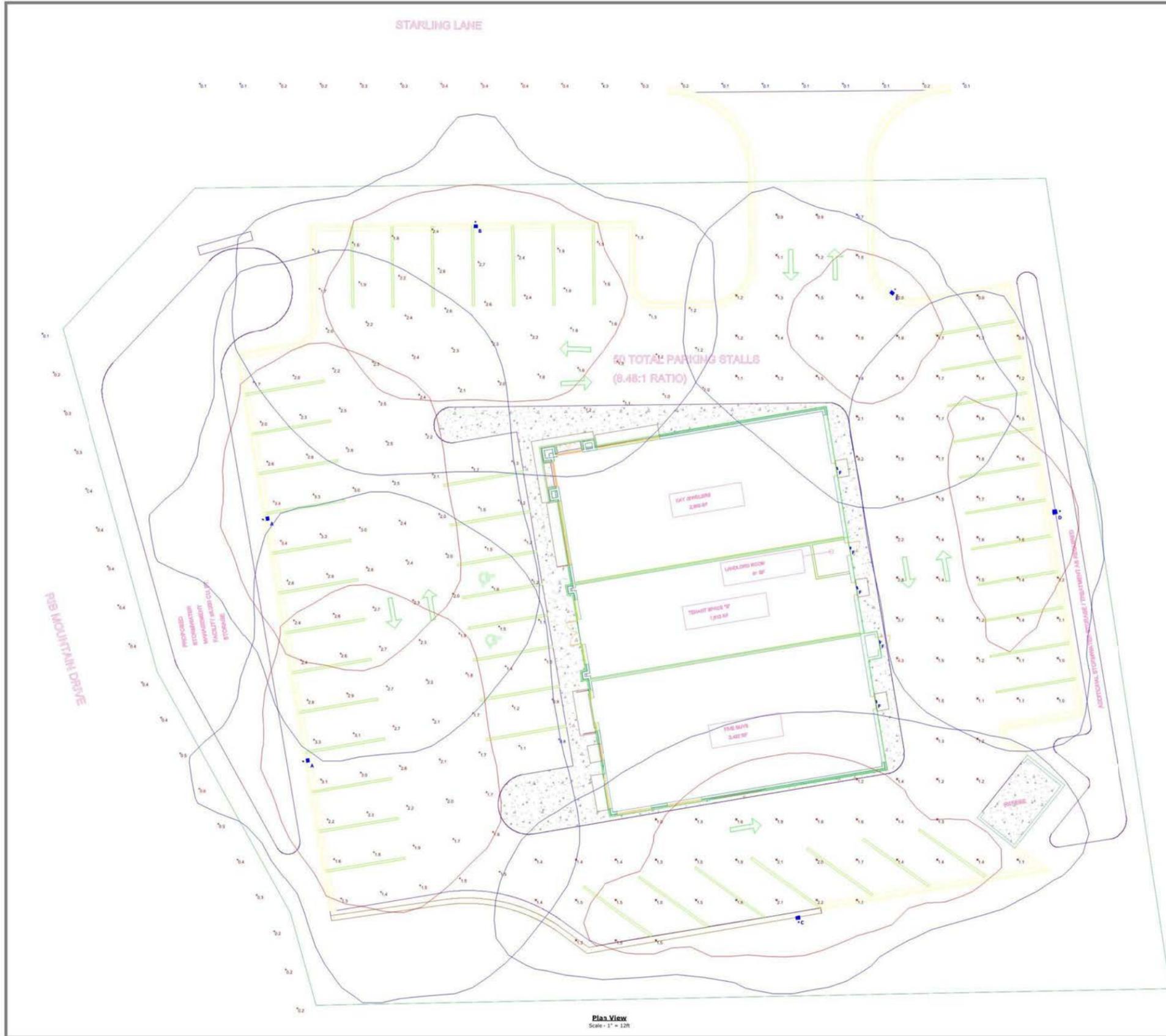


DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: JJB
				SURVEYED BY: JLR	APPROVED BY: JJB
				DRAWN BY: NAP	DATE: 11/17/2017

LANDSCAPING PLAN
R & R ENTERPRISES
1301 STARLING LANE
RIB MOUNTAIN, WISCONSIN 54401

REI
REI No. 7806
SHEET LS PG#11

5a-9



Plan View
Scale: 1" = 12ft

Symbol	Label	Quantity	Manufacturer	Catalog Number
□	A	2	Lithonia Lighting	DSX1 LED
□	B	1	Lithonia Lighting	DSX1 LED
□	C	1	Lithonia Lighting	DSX1 LED
□	D	1	Lithonia Lighting	DSX1 LED
□	E	1	Lithonia Lighting	DSX1 LED
□	F	5	Lithonia Lighting	OLWX1 LED

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FRONT PARKING	+	2.0 ft	3.4 ft	0.8 ft	4.3:1	2.5:1
REAR/SIDE PARKING	X	1.6 ft	4.3 ft	0.7 ft	6.1:1	2.3:1
RIB MOUNTAIN DR.	+	0.3 ft	0.6 ft	0.1 ft	6.0:1	3.0:1
STARLING LANE	+	0.2 ft	0.4 ft	0.1 ft	4.0:1	2.0:1

Designer
Date: 11/17/2017
Scale: Not to Scale
Drawing No.
Summary



RIB MOUNTAIN DR RETAIL SPACE
RIB MOUNTAIN DRIVE & STARLING LN
WAUSAU, WI



©Copyright - This Print Computer File is the Exclusive Property of Gries Architectural Group, Inc. Use Only For Purpose Which Licensed. Copying Or Reproducing is Prohibited. Return Upon Request.

A NEW BUILDING AT:
RIB MOUNTAIN DRIVE & STARLING LANE
TOWN OF RIB MOUNTAIN, WISCONSIN

date: 11/16/17
job: 17-086
d. by: BUS
rev: _____

PH1

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director

DATE: January 20, 2017

SUBJECT: Pre-Application Conference for potential Unified Development District (UDD) Project

APPLICANT: Riverside Land Surveying, agent

PROPERTY OWNER: Farmhouse Fitness LLC

PROPERTY ADDRESS(S): 1501 Bluebird Lane

REQUEST: Pre-Application conference regarding a potential UDD project for duplex development.

CURRENT ZONING: Suburban Commercial (SC)

ADJACENT ZONING: SC (West & South), SR-3 (North, South, East & West)

PROPOSED ZONING: UDD

FUTURE LAND USE DESIGNATION: Commercial

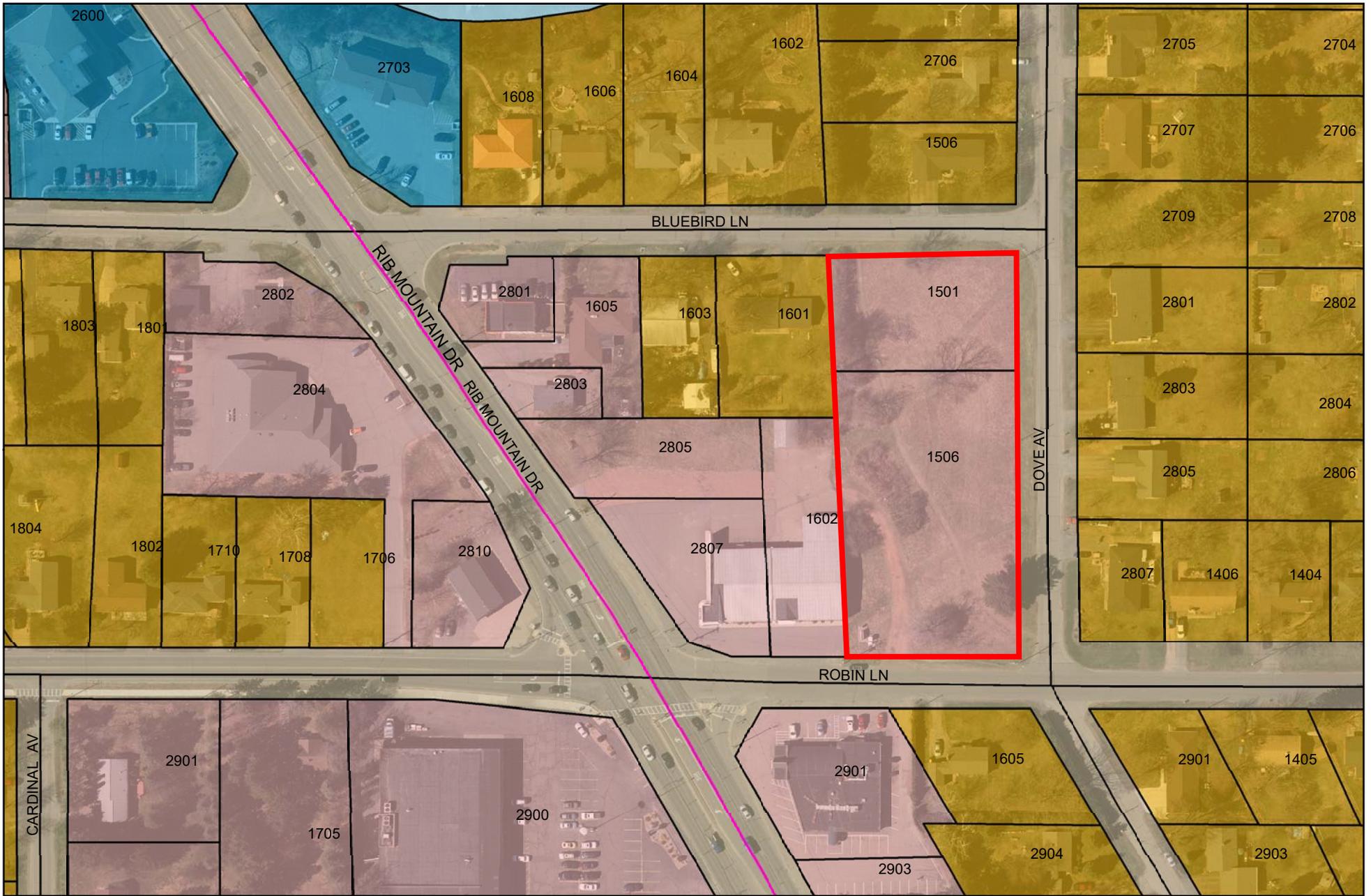
NARRATIVE:

The applicant seeks Plan Commission feedback on the concept of a duplex development on the properties immediately east of the 'Lift Athletics' fitness facility (see attached map). The property is currently zoned Suburban Commercial, which does not permit residential development, either by right or conditional use. As a result, the property would need to be rezoned in order to be considered for this style development.

The Mixed Residential-4 (MR-4) district allows for duplex style development by right at a density of four (4) dwelling units per acre. The Urban Residential-8 district allows for up to eight (8) dwelling units per acre; however, it requires conditional use approval on top of the rezoning for duplexes. The applicant desires to construct four (4) duplexes on the 1.48-acre property (or 5.4 units per acre), making the UDD process is likely the most realistic option.

The Plan Commission discussed this concept for a different applicant earlier this year (see attached minutes). These comments were shared with the applicant.

POSSIBLE ACTION: No action to be taken. Item is for discussion purposes only.



5b-2

Rib Mountain: "Where Nature, Family, and Sport Come Together"

MI-TECH
www.mi-tech.us

Map Printed: 1/20/2017

<ul style="list-style-type: none"> Parcel Outline Road Type US Interstate State Hwy State Park County Hwy County Forest 	<ul style="list-style-type: none"> Local Private Water Feature Zoning Districts Unzoned 	<ul style="list-style-type: none"> CR-5ac Countryside Residential EO Estate Office ER-1 Estate Residential MR-4 Mixed Residential 	<ul style="list-style-type: none"> NC Neighborhood Commercial OR Outdoor Recreation RA-1 Rural Agricultural RA-2 Rural Agricultural 	<ul style="list-style-type: none"> ROW RR Rural Residential SC Suburban Commercial SI Suburban Industrial 	<ul style="list-style-type: none"> SO Suburban Office SR-2 Suburban Residential SR-3 Suburban Residential UC Urban Commercial 	<ul style="list-style-type: none"> UDD Unified Development UR-8 Urban Residential
---	---	---	---	---	---	---

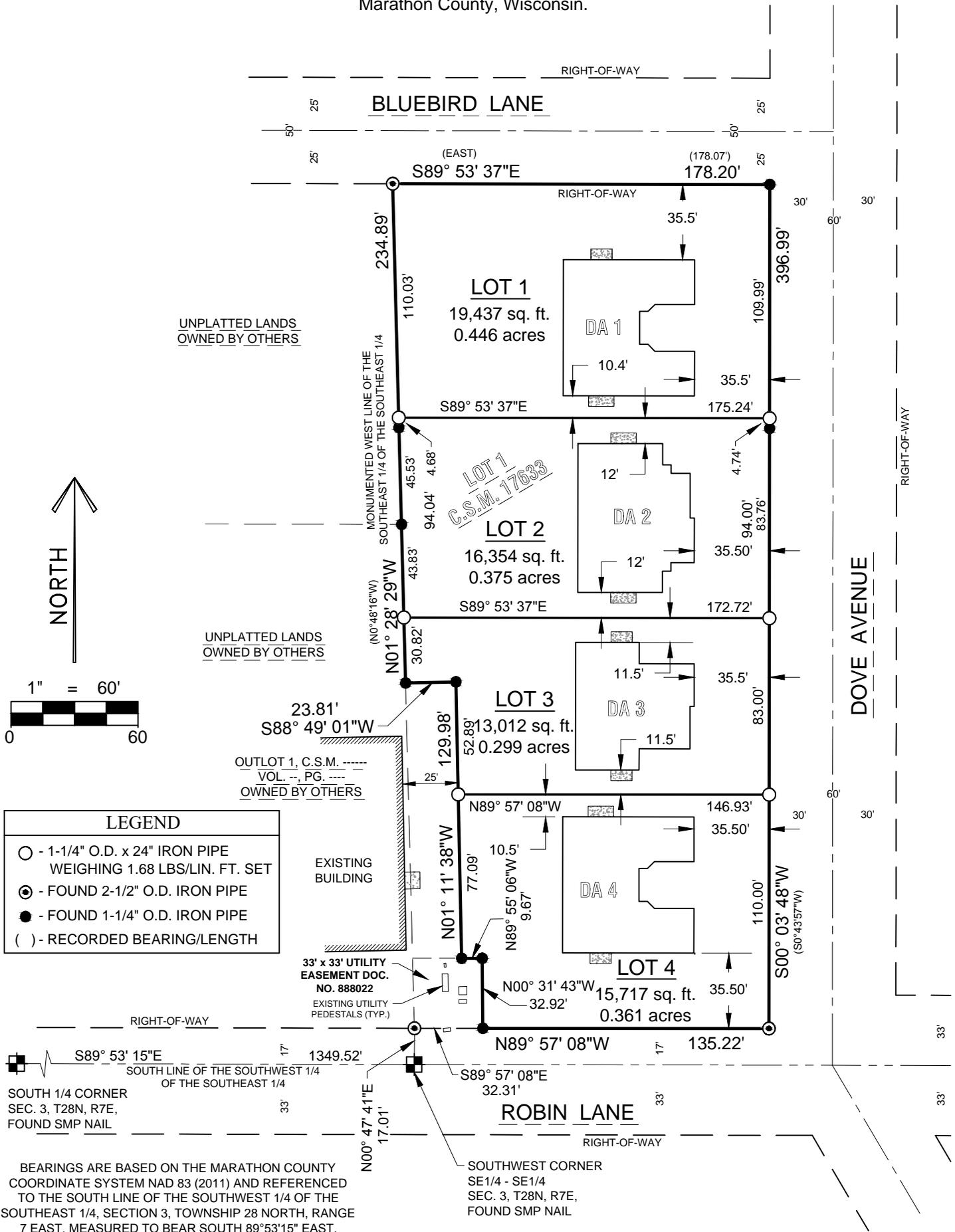
0 50 100 Feet

DISCLAIMER: The information and depictions contained herein are for informational purposes only. Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained.

PRELIMINARY

MARATHON CO. CERTIFIED SURVEY MAP NO. _____

Of Lot 1 of Certified Survey Map Number 17633 recorded in Volume 85 of Certified Survey Maps on Page 8 located in part of the Southeast 1/4 of the Southeast 1/4 of Section 3, Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.



RIVERSIDE LAND SURVEYING LLC 6304 KELLY PLACE WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894 email - mail@riversidelandsurveying.com	DRAWN BY M.F.L.	DATE NOVEMBER 16, 2017
	CHECKED BY K.J.W.	PROJECT NO. 2503
	PREPARED FOR: DENYON HOMES	

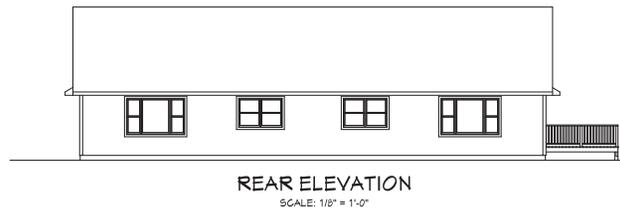
DA4

no plot needed
but hlc please

only difference (currently)
between DA1 and
DA4 is the switching of
patio sizes



FLOORING AREA = 1185 SF
GARAGE AREA = 916 SF



These drawings have been prepared for the use of a professional architect or engineer. The user of these drawings assumes all liability for their use. No responsibility is assumed by the drafter for any errors or omissions. The drafter is not responsible for any building code requirements or other requirements not shown.

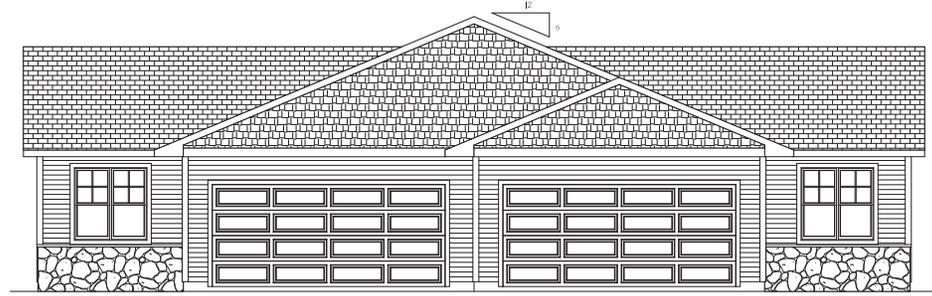
TorBorgs
TORBORGS WAIPAPA LUMBER
HOME SHOWCASE CENTER
1000 W. WAIKANAE BLVD.
WAIKANAE, HI 96791

DATE 02/19/17	DRAWN BY PAUL B	PROJECT PENSION HOMES
REV. 1		DATE 02/19/17
of 4		

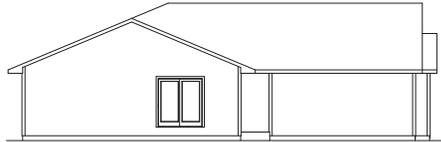
510-4

DA3

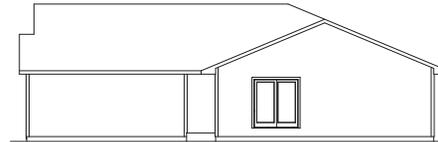
No plot map needed
but plz include HLC



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

FIRST FLOORING AREA PER SITE = 900 SF
 LOWER LEVEL UNFINISHED PER SITE = 575 SF
 GARAGE AREA = 464 & 504 SF



REAR ELEVATION
SCALE: 1/8" = 1'-0"

5b-5

07/14/17
06/21/17
05/26/17

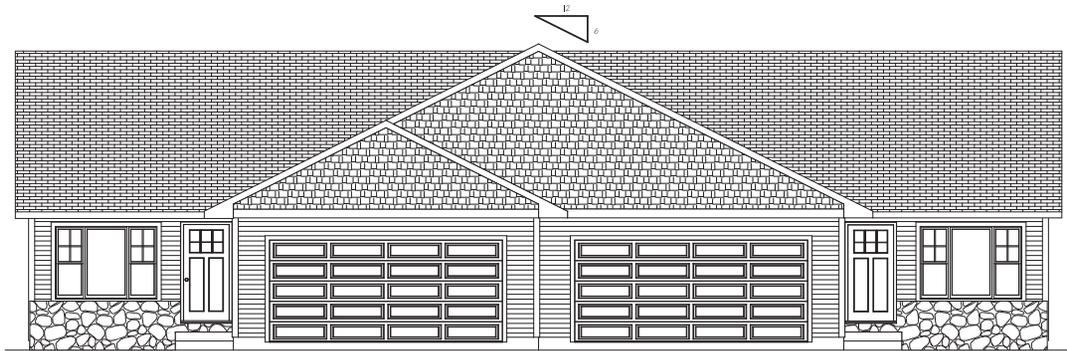
DATE	DRAWN BY
04/28/17	PAIGE B
REV.	PENKON HOMES
05/15/17	ACF
1	
of 4	

These drawings have been prepared by a professional draftsman and printer. The owner is responsible for obtaining all necessary permits and for providing all information necessary for the completion of the drawings. The draftsman and printer are not responsible for any errors or omissions in the drawings or for any consequences arising therefrom.

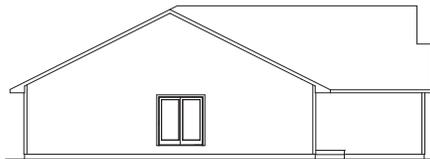
TorBorgs
 TORBORGS WALPACA LUMBER
 HOME SHOWCASE CENTER
 1000 W. WALPACA STREET
 WALPACA, FL 34988

DA2

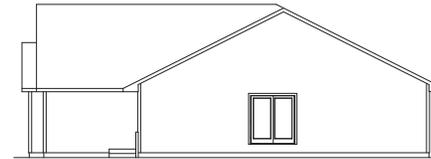
No plot needed



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

BT FLOORING AREA PER SQ. = 124 SF
LOWER LEVEL UNFINISHED PER SQ. = 124 SF
GARAGE AREA = 2003.85 SQ. FT.



REAR ELEVATION
SCALE: 1/8" = 1'-0"

05/30/17
05/26/17

DATE	05/26/17
REV.	05/18/17
DRAWN BY	PRINCE B
	PRINCE HOMES
	PERION

TORBORGS
TORBORGS WALPACA LUMBER
HOME SHOWCASE CENTER
1800 W. 1000 N. SUITE 100
WALPACA, WI 53189

These drawings have been prepared by a professional draftsman and architect. However, they do not constitute a contract. The contractor is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor is also responsible for all utility and drainage and fence requirements for this work.

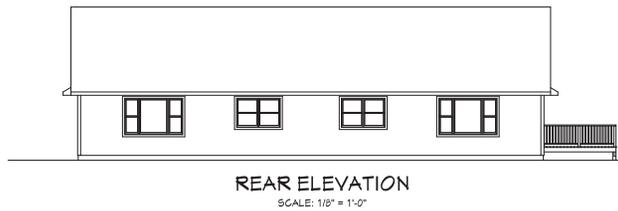
5b-6

DA1

no plot needed
but hlc please



FLOORING AREA = 1185 SF
GARAGE AREA = 916 SF



5b-7

These drawings have been prepared by a professional draftsman and architect. The owner is responsible for obtaining all necessary permits and for verifying that the drawings comply with all applicable codes and regulations. The architect and draftsman are not responsible for any errors or omissions in the drawings or for any consequences arising from their use.

TORBORGS
TORBORGS WAIPAPA LUMBER
HOME SHOWCASE CENTER
1000 W. WAIKANAE BLVD.
WAIKANAE, HI 96767

DATE 02/19/17	DRAWN BY PAUL B	PROJECT PENSION HOMES
REV. 1		PLICE
		of 4

TOWN OF RIB MOUNTAIN
PLANNING COMMISSION MEETING
January 25, 2017

Chairman, Harlan Hebbe, called the meeting to order at 6:30 pm. Other Plan Commission members present included Jay Wittman, Tom Steele, Jim Hampton, Ann Lucas, Ryan Burnett, and Laura McGucken. Also present were Community Development Director, Steve Kunst, and Building Inspector / Assistant Zoning Administrator, Paul Kufahl.

MINUTES:

Jim Hampton asked staff to review and amend the previous meetings minutes to better reflect William Bursaw's comments regarding Rib Mountain State Park access. Paul Kufahl, Building Inspector/Assistant Zoning Administrator, agreed to review the previous meetings recordings and amend the minutes to match Mr. Bursaw's statement.

Motion by Tom Steele, seconded by Jim Hampton to approve the minutes of the December 14, 2016 Plan Commission, as amended. Motion carried 5-0, with Harlan Hebbe and Laura McGucken abstaining.

NEW BUSINESS:

- a. *Pre-application conference for potential rezoning and development at the properties addressed 1501 Bluebird Lane and 1506 Robin Lane, Parcel #34.412.003.001.00.00 and #34.032807.016.003.00.00 Docket #2017-01.*

Community Development Director Kunst opened the discussion by clarifying the location of the subject parcels and introducing the potential multi-family use. Mike Lewandowski, applicant representative from Riverside Land Surveying, presented the Plan Commission with two preliminary certified survey maps. The first indicated a combination of the two subject parcels and the creation of an outlot to be combined with the adjacent Lift Athletics parcel. The second showed four (4) lots being created for the development of 4 duplexes and the transfer of the previously created outlot to the adjacent property owner to create conforming side yard setbacks with the existing building.

Kunst described the potential zoning districts and the density standards that could be used for this development and noted that similar projects have used the UDD zoning district. Plan Commission members discussed the land use proposed and the density of housing units they felt comfortable with, as well as, other areas of concern. The following is a list of items discussed with Plan Commission's feedback.

- Multifamily land use is generally acceptable in this transitional area.
- Six (6) dwelling units were preferred, are were open to eight (8) dwelling units depending on their design/appearance.

- Density would dictate what Zoning District would be needed. Six (6) units may allow for MR-4 but eight (8) units would be UDD.
- Plan Commission discussed potential UDD for the six (6) units so they had some control over the design and impact on the neighbors across Dove.
- Plan Commission would like to see an example of the building designs.
- Would require shared driveways for each duplex to minimize access points onto Dove.

The applicant’s representative felt comfortable with the direction of Plan Commission and asked staff to send Heath Tappe notes from the meeting.

OLD BUSINESS:

a. Discussion on the Rib Mountain Comprehensive Plan Update Project. Docket #2016-41.

Kunst began the discussion by noting the Town Board’s approval of the work plan with the Regional Planning Commission and stated the Board wishes to hold a joint meeting with Plan Commission on February 22nd to kick-off the project.

Kunst noted the first meeting with the Regional Planning Commission and Town Board will be focused on setting the stage for future meetings and would include discussion of the mission and vision for the comprehensive plan and the presentation of initial data. Plan Commission members indicated they would like to have a joint meeting with Town Board on a yearly basis.

CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

- a. Hall Farm - Kunst stated Town Board had approved both preliminary plats with the condition that trail connections are made from both Royal Ridge and Royal View Estates to South Mountain School. He also noted that Plan Commission will likely see the Final Plat at the February 8th meeting. Commissioner Hampton expressed concern for the stormwater management practices required and began a discussion with other members about how the Town can ensure that the proposal is successful. Kunst explained the third-party review process, while other Plan Commission members suggested Hampton review the submittal.
- b. Connections Place –Kunst noted the Town Board has signed a letter of intent to work with the Connections Group for use of the Municipal Center property for a potential development of a 55 and better active senior center. The Connections Place group is currently in the financing and design phase for the 20,000 square foot building and is looking for front end membership. The Town held a neighborhood meeting with nearby residents to address any immediate concerns.
- c. Dog Park –Kunst noted Plan Commission will be seeing the Dog Park proposal again in the near future. He also noted Supervisor Klein and staff held a neighborhood meeting with residents to address any immediate concerns. Kunst stated land acquisitions still need to be completed and the intent is to fundraise for the project.

TOWN OF RIB MOUNTAIN
Marathon County, Wisconsin
DRAFT 2018 Plan Commission Schedule

The Planning Commission normally meets on the second and fourth Wednesday of each month. All meetings are held at the Rib Mountain Municipal at 6:30 p.m. Petitioners or their representative should be present to answer questions and to avoid having their item tabled or laid over.

The Meeting agenda closes at 12:00 P.M. noon on Wednesday, two weeks prior to the meeting date, unless otherwise noted. A meeting date may change if a quorum cannot be assembled or as the result of another conflict. For this reason, we ask applicants check with the Clerk’s Office on the day of the meeting.

Agenda Date	Meeting Date	Agenda Date	Meeting Date
December 27, 2017	January 10, 2018	June 13, 2018	June 27, 2018
January 10, 2018	January 24, 2018	June 27, 2018	July 11, 2018
January 31, 2018	February 14, 2018	July 5, 2018	July 25, 2018
February 14, 2018	February 28, 2018	July 25, 2018	August 8, 2018
February 28, 2018	March 14, 2018	August 8, 2018	August 22, 2018
March 14, 2018	March 28, 2018	August 29, 2018	September 12, 2018
March 28, 2018	April 11, 2018	September 13, 2018	September 26, 2018
April 11, 2018	April 25, 2018	September 26, 2018	October 10, 2018
April 25, 2018	May 9, 2018	October 10, 2018	October 24, 2018
May 9, 2018	May 23, 2018	October 31, 2018	November 14, 2018
May 30, 2018	June 13, 2018	November 28, 2018	December 12, 2018

The Plan Commission reviews and approves Site Plans and makes recommendations to the Town Board for action on the following:

1. Division or combination of property.
2. Request for a change of zone or conditional use (Class II notice required – add three weeks prior to agenda date*).
3. Creation of a subdivision*.
4. Amendments to the Zoning Ordinance (Class II notice required – add three weeks prior to agenda date*).
5. Items requiring staged approval (e.g. UDD Plans – plan six to eight weeks approval time*)
6. Items specified by the Town Board.

Petitioners, their agents and surveyors should be aware of all ordinances relative to their request. The ordinances governing most items specify time intervals between approval stages that the petitioner must take into consideration with the meeting schedule.

* Items requiring consultant review may require an additional two weeks.