



TOWN OF RIB MOUNTAIN

Where Nature, Family & Sport Come Together

www.townofribmountain.org

3700 North Mountain Road
Wausau, Wisconsin 54401
(715) 842-0983
Fax(715) 848-0186

PLAN COMMISSION

OFFICIAL NOTICE & AGENDA

A meeting of the Town of Rib Mountain Plan Commission will be held on **Wednesday, December 12th, 2018; 6:00 P.M. at the Town of Rib Mountain Municipal Center, 3700 North Mountain Road.** The Town Board may attend for purposes of gathering information. Subject matter for consideration and possible action follows:

- 1.) Call to Order
- 2.) Roll Call
- 3.) Minutes
 - a. **Approval of minutes from the 11-14-2018 Plan Commission meeting.**
- 4.) New Business:
 - a. **Mark Bradfish, agent, requests conditional use approval for an indoor maintenance use to operate a towing company at the property addressed 4802 Swan Avenue. Parcel #34.142807.006.030.00.00. Docket #2018-53.**
 - b. **Halle Properties LLC, owner, requests General Development Plan and Precise Implementation Plan approval for a Zoning Map Amendment at the property addressed 4201 Rib Mountain Drive for an indoor maintenance use. Parcel #34.112807.011.016.00.00. Docket #2018-54.**
 - c. **Discussion and possible action on 2019 Plan Commission schedule.**
- 5.) Correspondence/ Questions/ Town Board Update:
- 6.) Public Comment
- 7.) Adjourn

TOWN OF RIB MOUNTAIN
PLANNING COMMISSION MEETING
November 14, 2018

Chairperson Harlan Hebbe called the meeting of the Plan Commission to order at 6:00 pm. Other Plan Commission members present included Jay Wittman, Jim Hampton, Ryan Burnett, Tom Steele, and Laura McGucken. Also present were Community Development Director, Steve Kunst and Building Inspector / Assistant Zoning Administrator, Paul Kufahl.

MINUTES:

Motion by Tom Steele, second by Jim Hampton to approve the minutes of the October 24, 2018 Plan Commission meeting. Motion carried 6-0.

OLD BUSINESS:

- a. *Discussion on potential zoning ordinance amendments related to small-scale nonmetallic mining operations. Docket #2018-26.*

Community Development Director Kunst indicated the discussion is intended to build upon conversations from previous meetings and Plan Commission members had a draft ordinance and minutes available for review. Kunst noted initial concerns from previous meetings were related to setbacks from property lines to activity areas and whether this type of use should be allowed in the ER-1 Zoning District. Kunst also noted the Jansen Non-Metallic Mine on Bittersweet Rd initiated the conversation.

Plan Commissioners initially identified noise, appearance, traffic, activity duration and property line setbacks as key concerns. Commissioners noted a need to establish strong boundaries to protect neighboring properties while still giving land owners who are seeking ponds, options to remove the materials.

Commissioners discussed and clarified the differences between pond creation and non-metallic mining as it relates to Marathon County's involvement, reclamation bonding, and the Town's role in approval and enforcement. That discussion led to the Plan Commission identifying three different land uses; large scale extraction or non-metallic mining, pond creation with removal of excavated material, and pond creation with all materials staying on site.

Commissioners indicated they were comfortable with the draft ordinance language for the Large-Scale Extraction Use in which new activity area, duration and setback requirements were established. They also noted acceptance with the current pond procedure as well, and continued discussion about the small-scale operations.

Plan Commission members discussed limiting the duration of the small-scale activity, the potential of additional bonding requirements, zoning district limitations and the procedure required for approval. The general consensus was small-scale operations where a pond is the final outcome and the property owner

would like to remove the excavated material from the site would be handled as a conditional use within the Drainage Structure Accessory Use section of the zoning code. They noted the duration should be limited to two (2) years with an option for the applicant to apply to the Plan Commission for a one (1) year extension. Where projects required surety bonding with Marathon County the town would not require additional bonds; and the land use could be allowed in ER-1 and larger zoning districts outside of existing subdivisions with an established effective date.

*b. Discussion on potential zoning ordinance amendments related to short-term rental operations.
Docket #2018-07.*

Kunst noted the Plan Commission discussed the concept of implementing an ordinance specific to short-term rentals earlier this year. At that time, the Commission recommend leaving the Town's current regulations in place, effectively prohibiting rentals of less than 30 days outside of hotels and bed and breakfasts. He indicated this recommendation was subsequently shared with the Town Board; however, the Board directed the Plan Commission to draft an ordinance regulating short-term rentals. Additionally, recent State legislative changes altered the way municipalities are able to regulate this use, by prohibiting local governments from enacting ordinances prohibiting the rental of a residential dwelling for seven (7) consecutive days or longer. To aid in the discussion, Kunst provided an example short-term rental ordinance from the Town of Minocqua and Tom Steele provided an article from Bloomberg Businessweek.

Commissioner Hampton referenced issues with AirBNB type rentals in the Lake DuBay area and asked staff to review Marathon County's decision and related ordinances. Plan Commissioners noted Rib Mountain's recreational opportunities make it a prime location for short-term rentals and they need to create a balance between property owners, users, and residents. They identified the following concerns or possible regulatory measures.

- Increased traffic volume in residential neighborhoods
- Total number of vehicles parked at a property
- Establish a total occupancy of the building based on bedroom and bath facilities
- Find a way to limit excessive noise/partying
- Make the process and fees significant enough so that owners take the responsibility seriously
- Establish a maximum number of stays per year
- Maintain neighborhood comfort and stability
- Possible challenges with enforcement of regulations

CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

Next Meeting – Kunst noted the next meeting will be on December 12th.

Election Day – Kunst indicated staff received a variety of general comments and questions and had numerous conversations with residents about the Future Land Use and Zoning Maps at the election day booth they had setup. There were no concerns with the Future Land Use Map from residents.

PUBLIC COMMENT:

Max Rea, 6401 Magnolia Ave, indicated he is part of the Wisconsin Realtors Association and is interested in providing input and information on the topic of Short-Term Rentals/AirBNB as the Plan Commission continues discussion and ordinance creation. He noted it is important to find a balance between limiting neighborhood impact and still allowing the property owner to use their property.

ADJOURN:

Motion by Tom Steele, second by Jay Wittman to adjourn the Plan Commission Meeting. Motion carried 6-0. Meeting adjourned at 7:05 pm.

Respectfully Submitted,

Paul Kufahl, Building Inspector / Assistant Zoning Administrator

DRAFT

REPORT TO: PLAN COMMISSION

FROM: Steve Kunst, Community Development Director

DATE: December 7, 2018

SUBJECT: Conditional Use Review – Jerry’s Towing

APPLICANT: Mark Bradfish, agent

PROPERTY OWNER: Ryder Truck Rental Inc.

PROPERTY ADDRESS: 4802 Swan Avenue

PARCEL #: 34.142807.006.030.00.00

REQUEST: Conditional Use approval for an Indoor Maintenance Use to operate a towing company.

ZONING: Urban Commercial (UC)

ADJACENT ZONING: UC (North, South, and West); UDD (East); SR-3 (East)

FUTURE LAND USE MAP DESIGNATION: Commercial

NARRATIVE:

The applicant seeks Plan Commission recommendation on a conditional use request for an indoor maintenance use to operate a towing company out of the former Badger Utility building. The proposal would utilize the existing building and gravel parking lot. The applicant is also interested in installing a fence between the building and west property line. Zoning code standards for indoor maintenance are found below.

INDOOR MAINTENANCE STANDARDS:

Indoor Maintenance Service. Description: Indoor maintenance services include all land uses which perform maintenance services (including repair) and contain all operations (except loading) entirely within an enclosed building. Because of the noise, odor, dust, and outside storage associated with certain types of vehicle and other repair businesses, all indoor maintenance service and repair activities are a conditional use in the commercial zoning districts listed below:

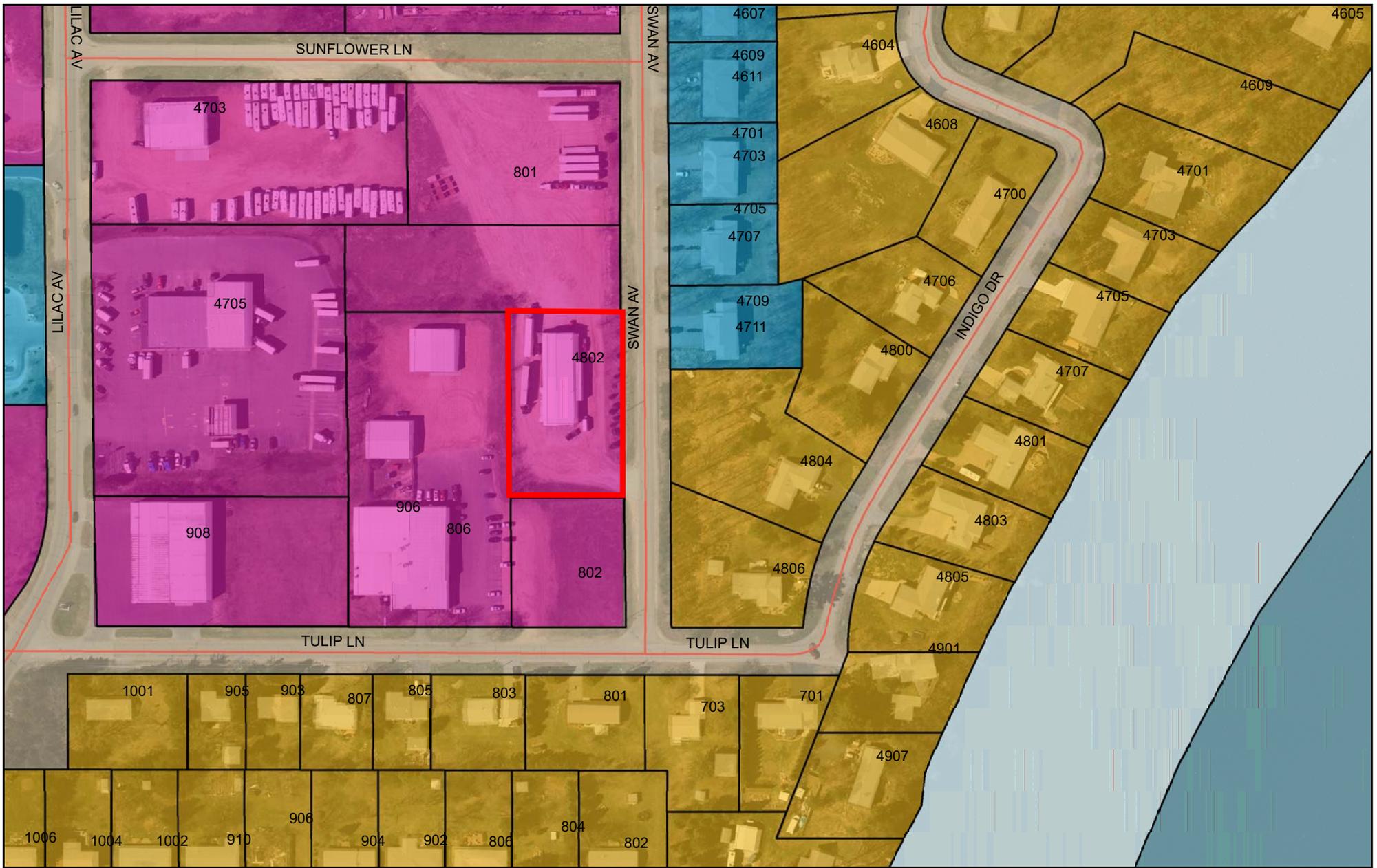
1. Permitted by Right {SI, UI, HI}
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations: {NC, SC, UC, CC}
 - a. Outside vehicle storage shall be restricted to licensed vehicles waiting to be repaired. Junk vehicles or vehicles which are being used for parts are not allowed to be stored outside.

ADDITIONAL CONSIDERATION(S):

- o At the time this report was generated, no fencing plans were submitted.
 - o Any approval should include the extent of permitted fencing, as well as appropriate materials.

ACTIONS TO BE TAKEN:

1. Recommend approval of the conditional use for an indoor maintenance use at the property addressed 4802 Swan Avenue, as presented.
2. Recommend approval of the conditional use for an indoor maintenance use at the property addressed 4802 Swan Avenue, with conditions/modifications.
3. Recommend denial of the conditional use for an indoor maintenance use at the property addressed 4802 Swan Avenue.



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Prepared by:
www.mi-tech.us

Map Printed: 12/6/2018

Parcel Outline	EO Estate Office	OR Outdoor Recreation	RR Rural Residential	SR-2 Suburban Residential	UR-8 Urban Residential
Parcel Address	ER-1 Estate Residential	RA-1 Rural Agricultural	SC Suburban Commercial	SR-3 Suburban Residential	Building Outline
Zoning Districts	MR-4 Mixed Residential	RA-2 Rural Agricultural	SI Suburban Industrial	UC Urban Commercial	Road Centerline
Unzoned	CR-5ac Countryside Residential	RA-2 Rural Agricultural	SO Suburban Office	UDD Unified Development	Water Feature
CR-5ac Countryside Residential	NC Neighborhood Commercial	ROW			

DISCLAIMER: The information and depictions contained herein are for informational purposes only; Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained. There is no Statement of Accuracy for any parcel data; the parcel layer is considered an Index Parcel Layer not a Cadastral Parcel Layer. For planning purposes only.

REPORT TO: PLAN COMMISSION

FROM: Steve Kunst, Community Development Director

DATE: December 6, 2018

SUBJECT: General Development and Precise Implementation Plan Review

APPLICANT: Halle Properties LLC

PROPERTY OWNER: Halle Properties LLC

PROPERTY ADDRESS: 4201 Rib Mountain Drive

PARCEL #: 34.112807.011.016.00.00

REQUEST: General Development Plan (GDP) and Precise Implementation Plan (PIP) approval for a new Discount Tire facility.

CURRENT ZONING: Suburban Commercial (SC)

REQUESTED ZONING: Unified Development District

ADJACENT ZONING: SC (North, South, and East); UDD (West)

FUTURE LAND USE MAP DESIGNATION: Commercial

NARRATIVE:

The applicant seeks Plan Commission recommendation on a GDP/PIP request for a new Discount Tire facility at the property addressed 4201 Rib Mountain Drive (currently vacant). The facility is proposed as an 8,192 square foot building with three auto bays. Earlier this year, the Town approved the new facility as a conditional use within the Suburban Commercial zoning district. Since the original approval, the applicant identified concerns over the proximity of a water line to the wetlands and potential future disturbance activities in the event of maintenance work.

As such, the revised submittal requests moving the building 10 feet to the west. Due to the right-of-way along this stretch of Rib Mountain Drive being greater than 100 feet, the zoning ordinance typically requires a 45-foot setback (proposed to be 35 for the southwest corner of the building). The revised plan also includes a reduction in overall impervious area of approximately 3,000 square feet. The subject property does contain delineated wetlands proposed to be disturbed as part of the development. The applicant received a letter from the Wisconsin Department of Natural Resources approving the disturbance.

INDOOR MAINTENANCE STANDARDS:

Indoor Maintenance Service. Description: Indoor maintenance services include all land uses which perform maintenance services (including repair) and contain all operations (except loading) entirely within an enclosed building. Because of the noise, odor, dust, and outside storage associated with certain types of vehicle and other repair businesses, all indoor maintenance service and repair activities are a conditional use in the commercial zoning districts listed below:

1. Permitted by Right {SI, UI, HI}
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations: {NC, SC, UC, CC}
 - a. Outside vehicle storage shall be restricted to licensed vehicles waiting to be repaired. Junk vehicles or vehicles which are being used for parts are not allowed to be stored outside.

Current Land Use: Vacant Land

Proposed Land Use: Indoor Maintenance Service & Indoor Sales and Service

Proposed Site Visitors (combined):

- 1) Employees: 15
- 2) Daily Customers: 100 per day, 600 per week

Hours of Operation: Monday – Friday 8:00 am – 6:00 pm / Saturday 8:00 am – 5:00 pm

Ingress/Egress Access:

- Access to the property is available from northbound Rib Mountain Drive (right in / right out) as well as the private access road to the east, which is accessible from Morning Glory and Cloverland Lanes.

Parking (1 space per 300 ft² of floor area + 1 space per employee at largest shift):

- 1) Total Parking Required = 43 spaces
- 2) Total Parking Provided = 49 spaces

Landscaping

- 1) Landscape Surface Ratio
 - Required - 0.25
 - Proposed - 0.46
- 2) Landscape Points
 - Building Foundation
 - Required – 308
 - Provided – 309
 - Developed Lots
 - Required – 164
 - Provided – 180
 - Street Frontage
 - Required – 236
 - Provided – 245
 - Paved Areas or Parking Stalls
 - Required – 489
 - Provided – 490
 - Total
 - Required – 1,197
 - Provided – 1,224

ZONING STANDARDS NOT MET BY THE PROPOSAL:

The RMMC requires listing zoning standards not being met by a proposed UDD request for the purpose of helping the Plan Commission by providing information necessary to determine the relative merits of the project in regard to the private vs. public benefits. Below is a list of the staff identified code non-compliances when compared to the ‘Suburban Commercial’ zoning classification:

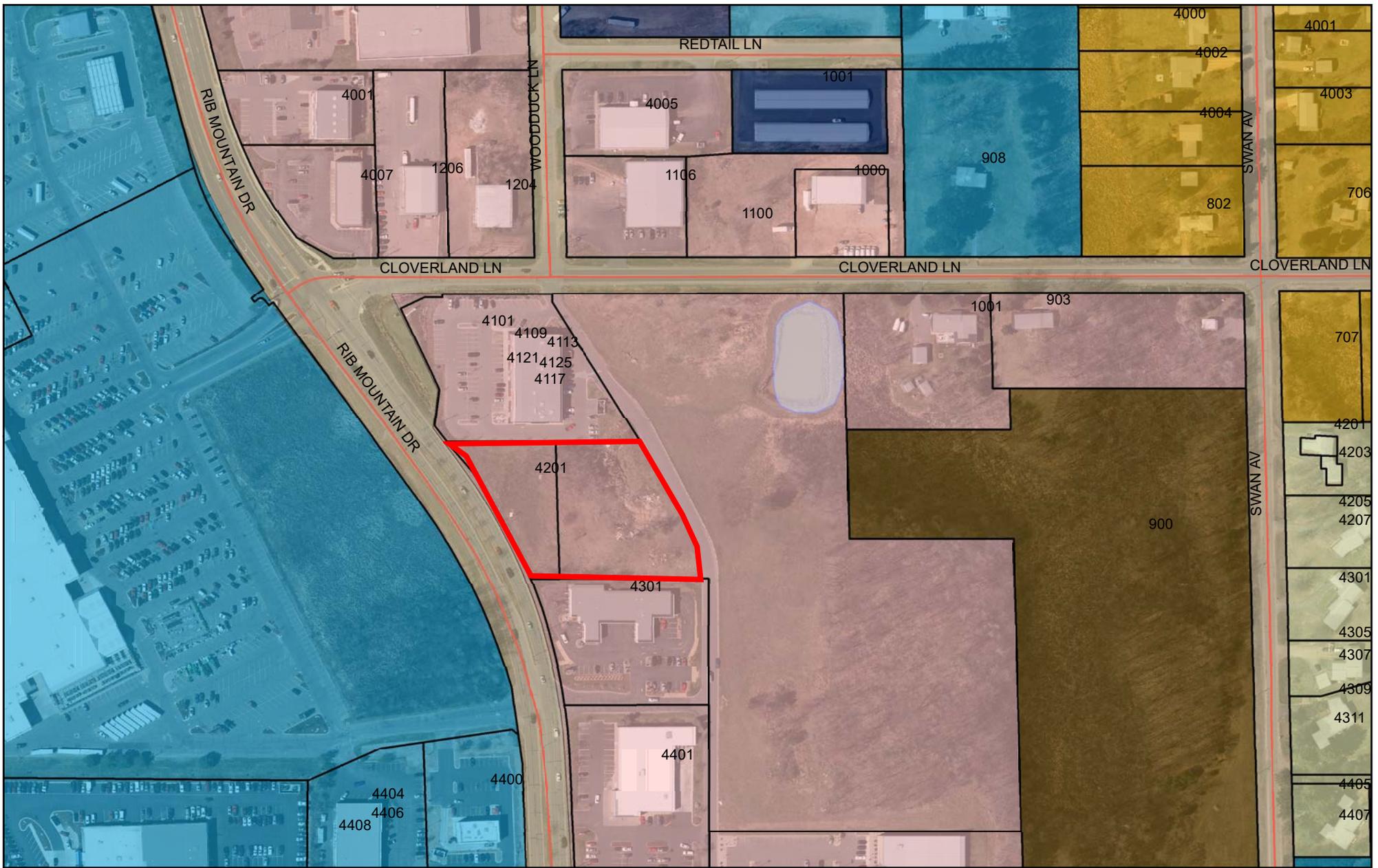
- Front yard setback: The proposal calls for a front yard setback of 35 feet, which is typical in most instances within Town. However, the right-of-way along this stretch of Rib Mountain Drive is greater than 100 feet, which requires an additional 10 feet in setback (45 feet).
- Signage: The proposed sign plan exceeds typical code maximums for both overall sign area and number of wall signs. The attached sign plan does not include a detail for the monument sign identified in the site plan; however, previous correspondence with the applicant indicated a 50 square foot sign.
 - **Typical Permitted Sign Area: 150 ft²**
 - Proposed Sign Area: 244 ft²
 - **Typical Permitted Wall Sign: 2**
 - Proposed Wall Signs: 3

ADDITIONAL CONSIDERATION(S):

- A revised stormwater management plan was submitted and approved by the Street and Park Superintendent
- Approval should be conditioned on approval of a stormwater management maintenance agreement approved by the Street and Park Superintendent
- Approval of any sign plan needs to consider provisions for the identified monument sign.

ACTIONS TO BE TAKEN:

1. Recommend approval of the GDP/PIP a new Discount Tire facility at the property addressed 4201 Rib Mountain Drive, as presented.
2. Recommend approval of the GDP/PIP for a new Discount Tire facility at the property addressed 4201 Rib Mountain Drive, with conditions/modifications.
3. Recommend denial of the GDP/PIP for a new Discount Tire facility at the property addressed 4201 Rib Mountain Drive.



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Prepared by: **mi-TECH**
www.mi-tech.us

Map Printed: 4/19/2018

<ul style="list-style-type: none"> ▭ Parcel Outline ▭ Parcel Address Zoning Districts ▭ Unzoned ▭ CR-5ac Countryside Residential 	<ul style="list-style-type: none"> ▭ EO Estate Office Residential ▭ ER-1 Estate Residential ▭ MR-4 Mixed Residential ▭ NC Neighborhood Commercial 	<ul style="list-style-type: none"> ▭ OR Outdoor Recreation ▭ RA-1 Rural Agricultural ▭ RA-2 Rural Agricultural ▭ ROW 	<ul style="list-style-type: none"> ▭ RR Rural Residential ▭ SC Suburban Commercial ▭ SI Suburban Industrial ▭ SO Suburban Office 	<ul style="list-style-type: none"> ▭ SR-2 Suburban Residential ▭ SR-3 Suburban Residential ▭ UC Urban Commercial ▭ UDD Unified Development 	<ul style="list-style-type: none"> ▭ UR-8 Urban Residential ▭ Building Outline ▭ Road Centerline ▭ Water Feature
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0 155 310

Feet

N

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November 27, 2018

**Town of Rib Mountain
3700 North Mountain Road
Wausau, WI 54401**

Re: Discount Tire

Dear Mr. Kunst,

On behalf of Halle Properties, LLC and Discount Tire, raSmith is seeking to discuss utilizing the Unified Development District process for the soon to be built Discount Tire at 4201 Rib Mountain Drive. Specifically we seek to site the building, as shown in the attached drawings, to allow for a building set back that will preserve and protect the wetlands from further impact. Not only will this protect the wetlands, but will also allow for the building to have a frost proof fire line. Additionally this setback will also provide adequate room to allow for any future maintenance on the fire line, without disrupting the wetlands.

Sincerely,

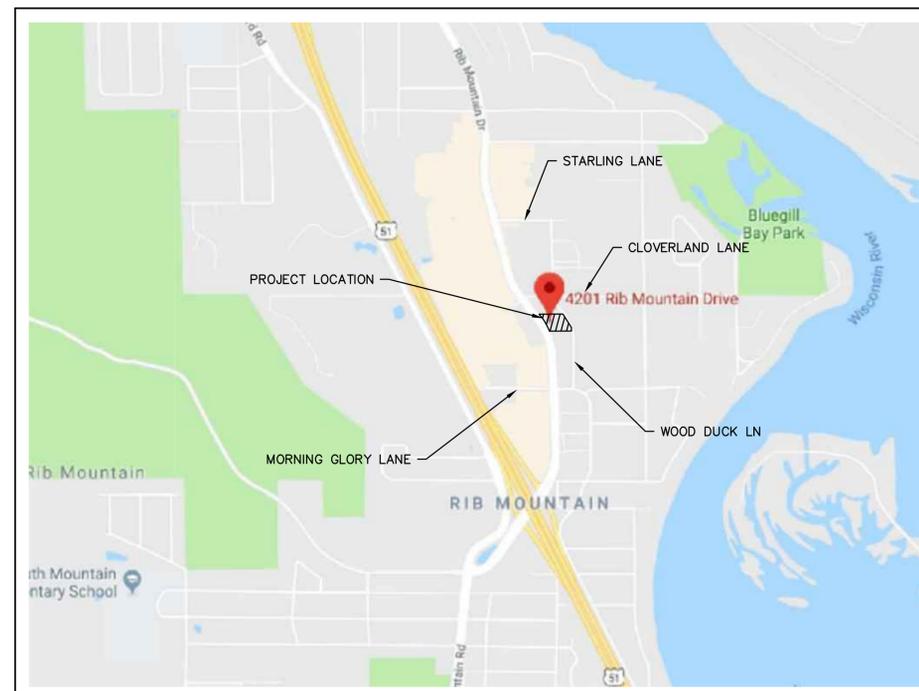
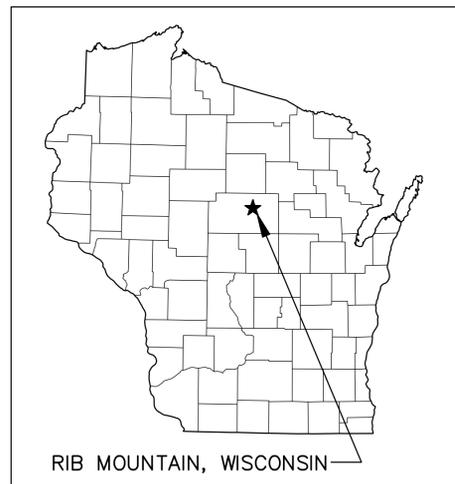
raSmith, Inc.



**Todd Mosher
Senior Development Director**

DISCOUNT TIRE

4201 RIB MOUNTAIN DRIVE
TOWN OF RIB MOUNTAIN
MARATHON COUNTY, WISCONSIN
ENGINEERING PLANS
VICINITY MAP



UTILITY CONTACTS / TOWN OF RIB MOUNTAIN DEPARTMENT CONTACTS:

SANITARY SEWER UTILITY:
RIB MOUNTAIN SANITARY DISTRICT
MICHAEL HEYROTH
UTILITY DIRECTOR
PH: (715) 359-6177
EMAIL: MHEYROTH@RMSD1.COM

WATER UTILITY:
RIB MOUNTAIN SANITARY DISTRICT
MICHAEL HEYROTH
UTILITY DIRECTOR
PH: (715) 359-6177
EMAIL: MHEYROTH@RMSD1.COM

FIRE DEPARTMENT:
MARTIN CHRISTIANSEN
FIRE MARSHALL
SOUTH AREA FIRE AND EMERGENCY RESPONSE
PH: (715) 581-0904
EMAIL: MCHRISTIANSEN@SAFERDISTRICT.ORG

PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET & PROJECT INFORMATION
1 OF 2	ALTA/NSPS LAND TITLE SURVEY
2 OF 2	ALTA/NSPS LAND TITLE SURVEY
C100	DEMOLITION & INITIAL EROSION CONTROL PLAN
C200	DIMENSIONED SITE PLAN
C201	TRUCK MANEUVER PLAN
C300	SITE INTERIM EROSION CONTROL & GRADING & DRAINAGE PLAN
C400	UTILITY PLAN
C500	DETAILS
C501	DETAILS
C502	DETAILS
C503	DETAILS
C600	SPECIFICATION
L100	LANDSCAPE PLAN
L200	LANDSCAPE NOTES & DETAILS

DEVELOPER/OWNER:

HALLE PROPERTIES, LLC
20225 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85255
PH.: (480) 606-6000
FAX: (480) 606-4370

CIVIL ENGINEER/LANDSCAPE ARCHITECT:

raSmith
CREATIVITY BEYOND ENGINEERING
16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

ARCHITECT

EI DESIGN INC.
1260 CORONA POINTE
SUITE 301
CORONA, CA 92879
PHONE: (951)444-5642



DESCRIPTION
DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

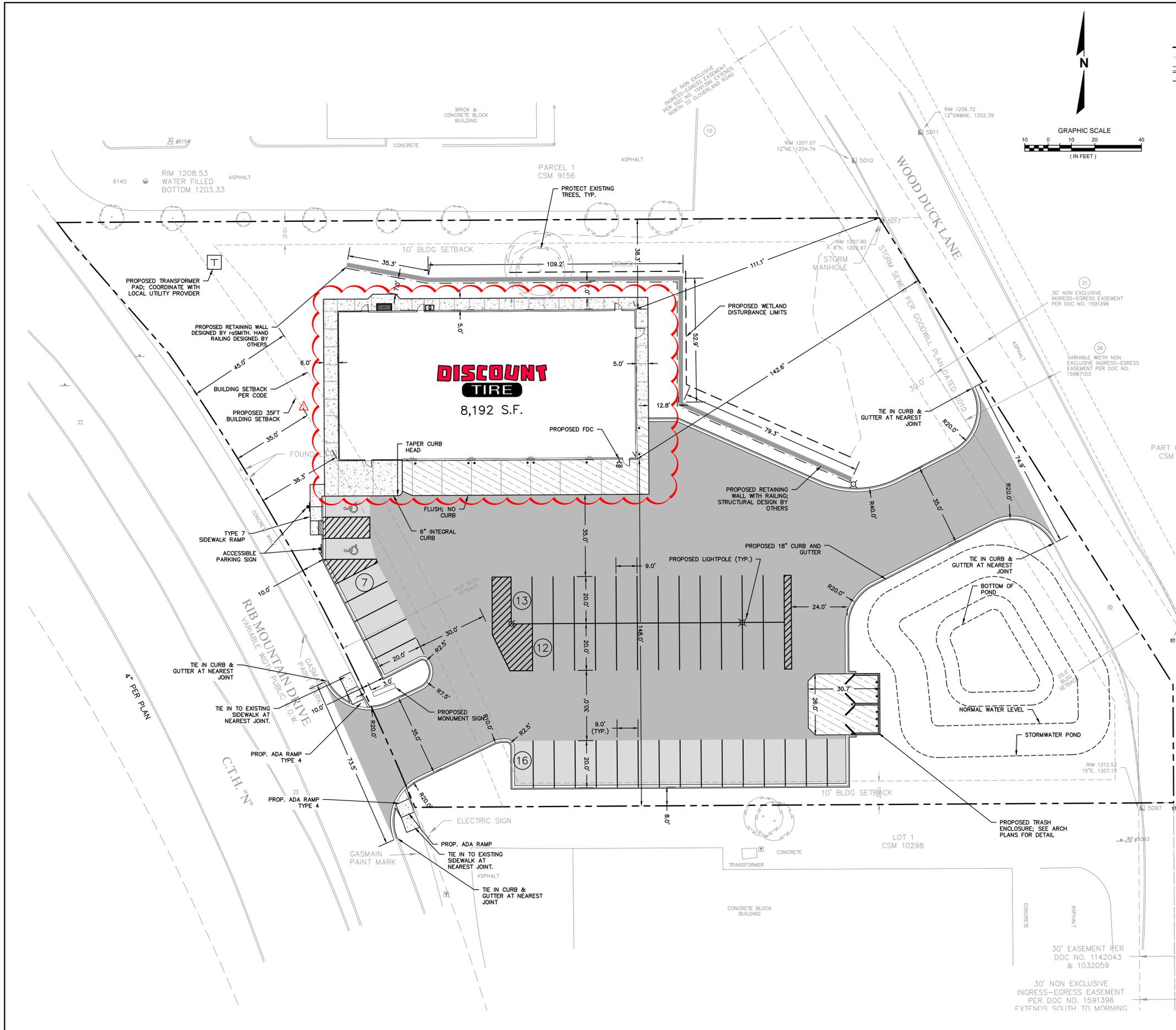
raSmith
CREATIVITY BEYOND ENGINEERING
Brookfield, WI | Appleton, WI | Madison, WI | Cedarburg, WI | Mount Pleasant, WI
Naperville, IL | Pittsburgh, PA | Irvine, CA

DISCOUNT TIRE - WIW 01
RIB MOUNTAIN, WI
TITLE SHEET AND
PROJECT INFORMATION

© COPYRIGHT 2018
R.A. Smith, Inc.
DATE: 11/14/2018
SCALE: N.T.S.
JOB NO. 3180037
PROJECT MANAGER:
ROBERT J. HARLEY, P.E.
DESIGNED BY: CBW
CHECKED BY: JAH
SHEET NUMBER
C000

PLAN DATE: NOVEMBER 16, 2018

REVISION	ISSUE DATE	ISSUED SHEETS	ISSUED FOR
1	11-26-2018	C200-C400, L100	SETBACK VARIANCE



- LEGEND**
- PROPERTY LINE
 - - - EXISTING WETLAND LINE
 - PROPOSED 18" CURB & GUTTER
 - PROPOSED RAILING
 - HEAVY-DUTY CONCRETE PAVEMENT
 - CONCRETE SIDEWALK
 - HEAVY-DUTY ASPHALT PAVEMENT
 - STANDARD-DUTY ASPHALT PAVEMENT
 - PROPOSED ACCESSIBLE PAVEMENT MARKING
 - VAN ACCESSIBLE STALL
 - ⊙ STALL PARKING COUNT
 - ⊗ PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN)

PARKING CALCULATIONS

	PROPOSED	REQUIRED
STANDARD SPACES	46	41 (1 PER 300 S.F. + 15 EMPLOYEES)
ACCESSIBLE SPACES	2	2
TOTAL PARKING SPACES	48	43

GENERAL NOTES:

EXISTING TOPOGRAPHY OBTAINED BY raSmith, DATED 5/14/2018.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF RIB MOUNTAIN EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

ALL WORK IN THE PUBLIC ROW SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER OF THE CONDITION EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION.

ALL DAMAGED PAVEMENT DUE TO CONSTRUCTION RELATED ACTIVITIES IN RIB MOUNTAIN DRIVE OR WOOD DUCK LANE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH CITY'S PAVEMENT PATCHING CRITERIA.

SITE STATISTICS

	SQFT	AC	COVERAGE
PARCEL AREA	85,345	1.96	
EXISTING BUILDING AREA	0	0.00	00.0%
EXISTING PERVIOUS AREA	82,700	1.90	96.9%
EXISTING IMPERVIOUS AREA	2,645	0.06	3.1%
PROPOSED BUILDING AREA	8,192	0.19	9.6%
PROPOSED PERVIOUS	40,275	0.92	47.2%
PROPOSED IMPERVIOUS	36,878	0.85	43.2%

DIGGERS HOTLINE
 Toll Free (800) 242-8611
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF RIB MOUNTAIN EROSION CONTROL ORDINANCE, THE WISCONSIN DNR STORMWATER CONSTRUCTION AND POST CONSTRUCTION TECHNICAL STANDARDS, THESE DOCUMENTS, THE MOST STRINGENT TO APPLY.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

	DESCRIPTION	
DATE	11-26-2018	SETBACK VARIANCE
 16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com		
DISCOUNT TIRE - WW 01 RIB MOUNTAIN, WI DIMENSIONED SITE PLAN		
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 11/14/2018 SCALE: 1" = 20' JOB NO. 3180037 PROJECT MANAGER: ROBERT J. HARLEY, P.E. DESIGNED BY: CBW CHECKED BY: JAH		
SHEET NUMBER		C200

PIPE CROSSING TABLE						
CROSSING I.D.	BOTTOM OF TOP PIPE	TOP OF BOTTOM PIPE	SEPARATION (FT)			
1	STO HDPE 12" 1208.92	SAN PVC 8" 1208.03	0.89			
2	STO HDPE 8" 1209.49	SAN PVC 8" 1209.15	0.35			
3	STO HDPE 18" 1205.97	WAT PVC 8" 1202.77	3.20			

LEGEND

- STO— PROPOSED STORM SERVICE
- S— PROPOSED SANITARY SERVICE
- S— PROPOSED INSULATED SANITARY SERVICE
- W— PROPOSED WATER SERVICE
- T— PROPOSED TELEPHONE SERVICE
- E— PROPOSED ELECTRIC SERVICE
- G— PROPOSED GAS SERVICE
- F— PROPOSED FINGER DRAIN
- STO— EXISTING STORM SERVICE
- S— EXISTING SANITARY SERVICE
- W— EXISTING WATER SERVICE
- T— EXISTING TELEPHONE SERVICE
- E— EXISTING ELECTRIC SERVICE
- G— EXISTING GAS SERVICE
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED STORM MANHOLE

GENERAL NOTES:

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER LATERAL CROSSES UNDER SEWER. MAINTAIN MINIMUM 12" CLEARANCE WHEN WATER LATERAL CROSSES OVER SEWER. PROVIDE INSULATION BETWEEN WATER MAIN & LATERALS AND SEWER CROSSINGS WHERE THE VERTICAL SEPARATION IS LESS THAN 2.0'.

WATER SERVICE AND ASSOCIATED STRUCTURES ARE TO CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

PROVIDE GRANULAR BACKFILL FOR WATER MAIN IN ALL PAVED AREAS. PROVIDE SPOIL BACKFILL FOR WATER MAIN OUTSIDE OF PAVED AREAS.

ALL WATER SERVICE JOINTS SHALL BE RESTRAINED WITH MEGALUGS.

THE WATERMAIN LOCATION AND ELEVATION NEEDS TO BE LOCATED BY POTHOLES PRIOR TO CONSTRUCTION. IF IT VARIES FROM THIS PLAN, CONTACT DESIGN ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

INSTALL TEE FACING UPWARDS IN PIPE FOR ACCESS DURING MAINTENANCE; SUPPORT PIPE WITH RIPRAP.

EMERGENCY OVERFLOW SPILLWAY @ 1210.50 WITH PERMANENT TURF REINFORCEMENT MAT



Know what's below.
Call before you dig.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF RIB MOUNTAIN EROSION CONTROL ORDINANCE, THE WISCONSIN DNR STORMWATER CONSTRUCTION AND POST CONSTRUCTION TECHNICAL STANDARDS, THESE DOCUMENTS, THE MOST STRINGENT TO APPLY.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

DESCRIPTION

DATE

11-26-2018 SETBACK VARIANCE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Appleton, WI | Madison, WI | Cedarburg, WI | Mount Pleasant, WI
Naperville, IL | Pittsborough, PA | Irvine, CA

DISCOUNT TIRE - WW 01
RIB MOUNTAIN, WI

UTILITY PLAN

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R.A. Smith, Inc.

DATE: 11/14/2018

SCALE: 1" = 20'

JOB NO. 3180037

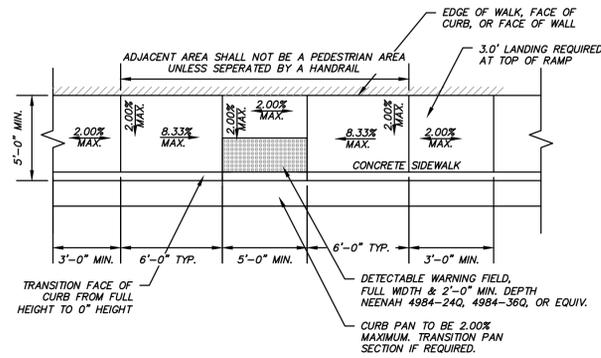
PROJECT MANAGER:
ROBERT J. HARLEY, P.E.

DESIGNED BY: CBW

CHECKED BY: JAH

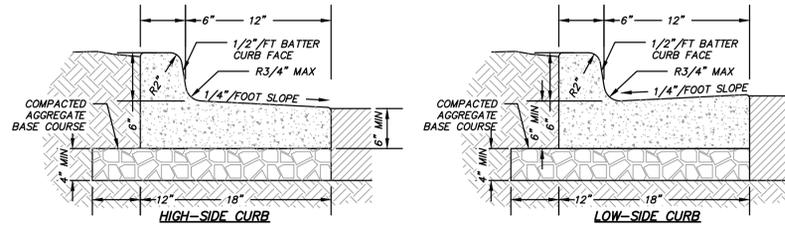
SHEET NUMBER

C400



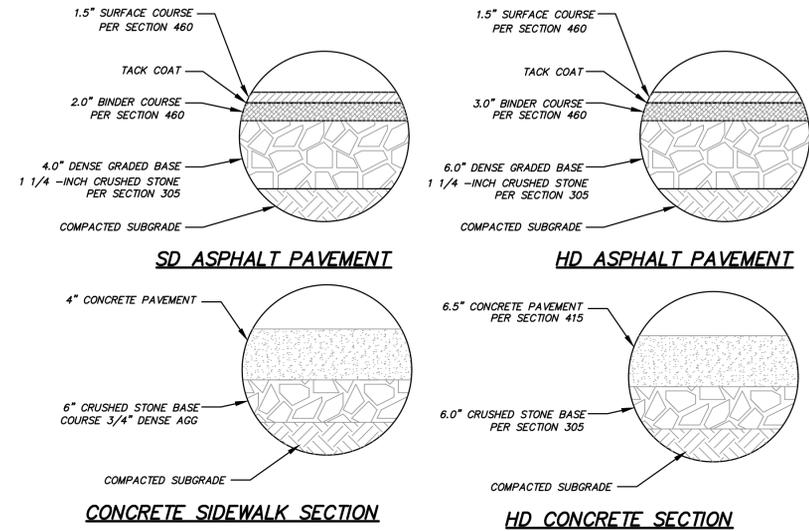
TYPE 7 CURB RAMP

NOTES:
1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.

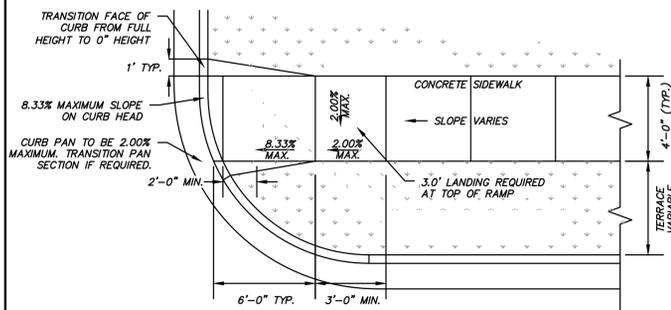


NOTES:
A) 3500 PSI CONCRETE SHALL BE USED IN CONSTRUCTION OF THE CURB & GUTTER.
B) THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE SLOPE OF THE GUTTER PAN.
C) FOR DEPRESSED CURB HEAD SLOPE, USE THE SAME SLOPE AS ADJACENT SIDEWALK.
D) THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDE MINIMUM 6" GUTTER THICKNESS MAINTAINED. TRANSVERSE CONTRACTION JOINTS SHALL BE CUT OR SAWS AT MAXIMUM 20 FOOT INTERVALS.
E) 1/2" PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED TRANSVERSELY IN THE CURB ABUTTING EXISTING CURB AND SIDEWALK, WALLS OR BUILDINGS, AND AT INTERVALS NOT TO EXCEED 300 FEET, WITH PREFERRED LOCATIONS BEING AT RADIUS POINTS OR ANGLE POINTS.

CONCRETE CURB & GUTTER DETAIL

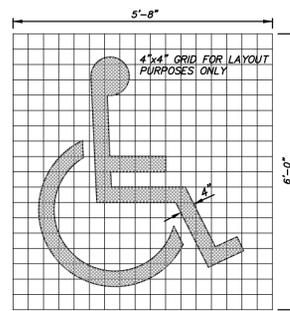


PAVEMENT RECOMMENDATIONS PER GEOTECH REPORT FROM GILES DATED 05/31/2018



TYPE 4 CURB RAMP

NOTES:
1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.



YELLOW PAINTED SYMBOL

FOR ALL ACCESSIBLE AND VAN ACCESSIBLE SPACES



R7-B

12" x 18"

VAN ACCESSIBLE

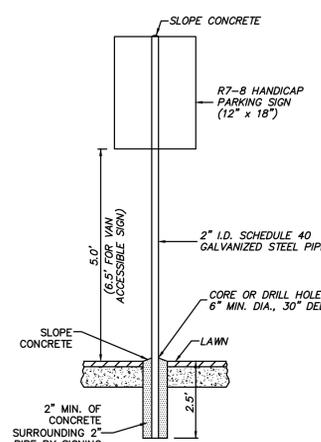
R7-Bb

12" x 6"

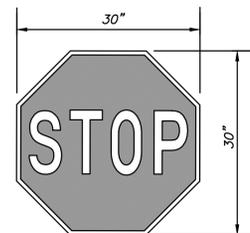
PENALTY SIGN WITH WORDING AS REQUIRED BY STATE OR LOCAL LAW

12" x 9"

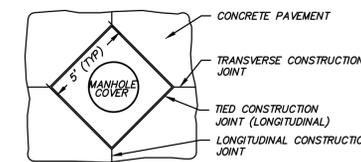
STATE OF WISCONSIN ACCESSIBLE PARKING SIGNS



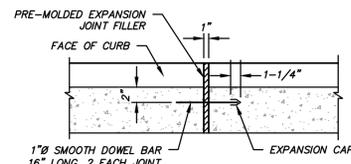
ACCESSIBLE PARKING SIGN AND POST INSTALLATION



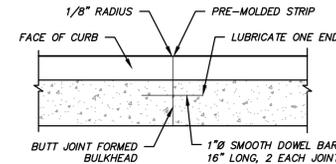
"STOP" SIGN



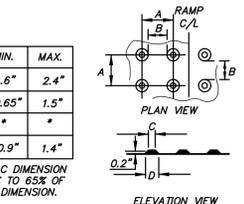
CONCRETE ISOLATION JOINT (NOT TO SCALE)



CURB & GUTTER EXPANSION JOINT (SEE SPECS FOR SPACING) (NOT TO SCALE)

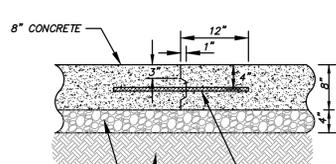


CURB & GUTTER CONSTRUCTION JOINT (SEE SPECS FOR SPACING) (NOT TO SCALE)

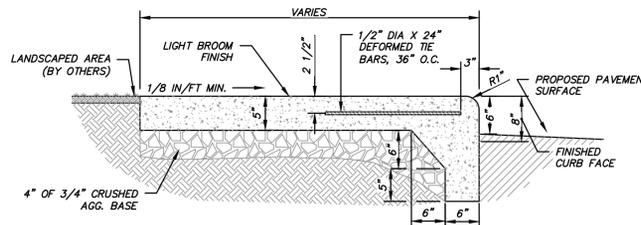


DETECTABLE WARNING FIELD (TRUNCATED DOMES)

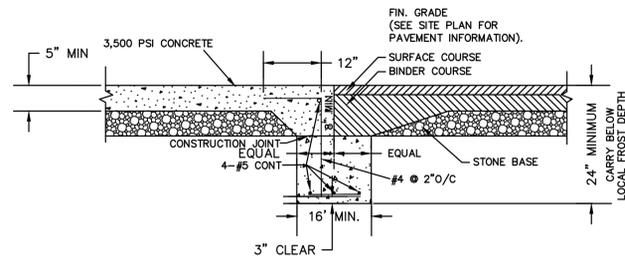
NOTES:
1. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
2. DETECTABLE WARNING FIELDS SHALL BE "NEENAH DETECTABLE WARNING PLATES" 4984-XXX, OR EQUIV.
3. CURB RAMP DETECTABLE WARNING FIELDS TO BE INSTALLED 6 TO 8 INCHES FROM THE FACE OF CURB.



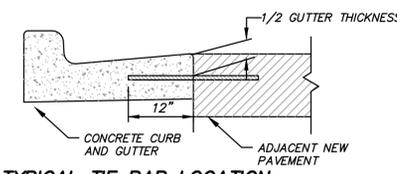
CONSTRUCTION JOINT



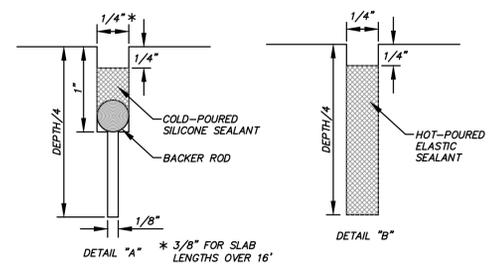
CONCRETE WALK W/ INTEGRAL CURB DETAIL



CONCRETE/ASPHALT JOINT DETAIL

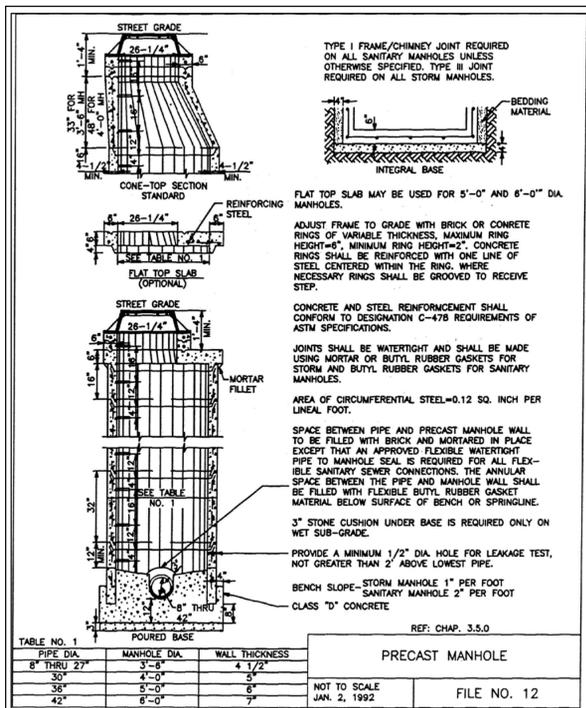


TYPICAL TIE BAR LOCATION
No. 4x2'-0" TIE BARS SPACED AT 3'-0" C-C

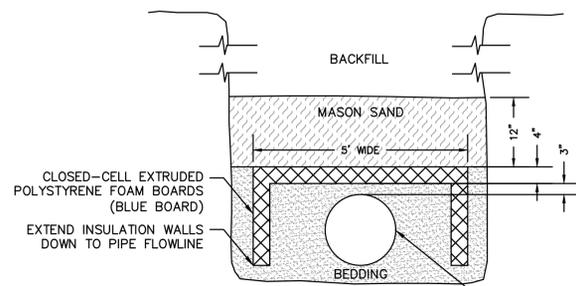


CONTRACTION JOINT

DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com raSmith CREATIVITY BEYOND ENGINEERING	
DISCOUNT TIRE - WW 01 RIB MOUNTAIN, WI DETAILS	
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 11/14/2018 SCALE: N.T.S. JOB NO. 3180037 PROJECT MANAGER: ROBERT J. HARLEY, P.E. DESIGNED BY: CBW CHECKED BY: JAH SHEET NUMBER C500	



MANHOLE/INLET STRUCTURE DETAIL PER FILE NO. 12. STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN



POLYSTYRENE PIPE INSULATION (BOXED) (PER FILE NO. 48)

TO BE PLACED OVER 6" DIA SANITARY SEWER WHERE LESS THAN 5' OF COVER IS PROVIDED; LOCATION NOTED ON THE PLANS

STORM MANHOLE & INLET NOTES:

NOTES:

INLET (INL)

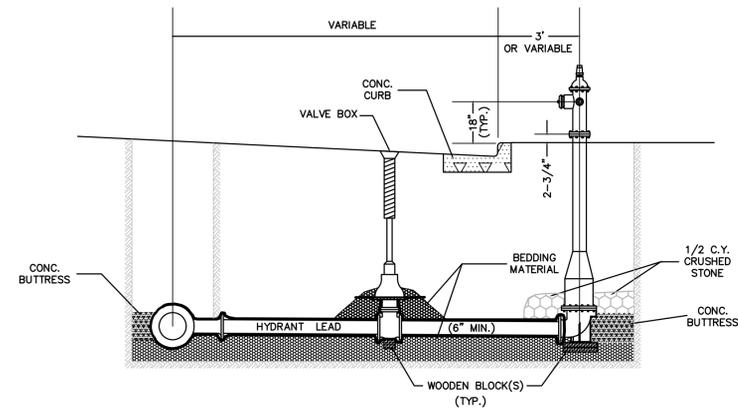
REFER TO FILE NO. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, DETAIL ON THIS SHEET), EXCEPT:

- A. CONSTRUCT WITH 24" SUMP
- B. USE CASTING AS INDICATED BELOW:
 - 1.) CATCH BASINS IN CURB - NEENAH R-3229-L (ON-GRADE)
 - 2.) CATCH BASINS IN PAVEMENT - NEENAH R-2501-C
 - 3.) CATCH BASINS IN GRASS AREAS - NEENAH R-4349-C
- C. USE 42" MINIMUM DIAMETER UNLESS INDICATED OTHERWISE ON PLAN
- D. CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- E. FOR STORM INLET R-15A AND R-15AA, REFER TO DETAIL ON THIS SHEET.

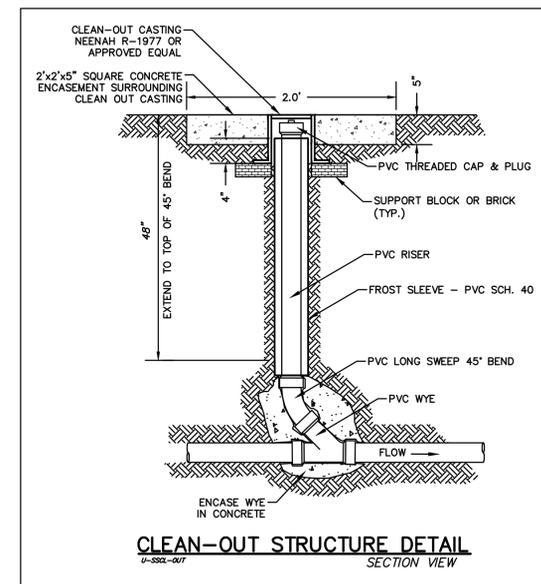
MANHOLE (MH)

REFER TO FILE NO. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN), EXCEPT:

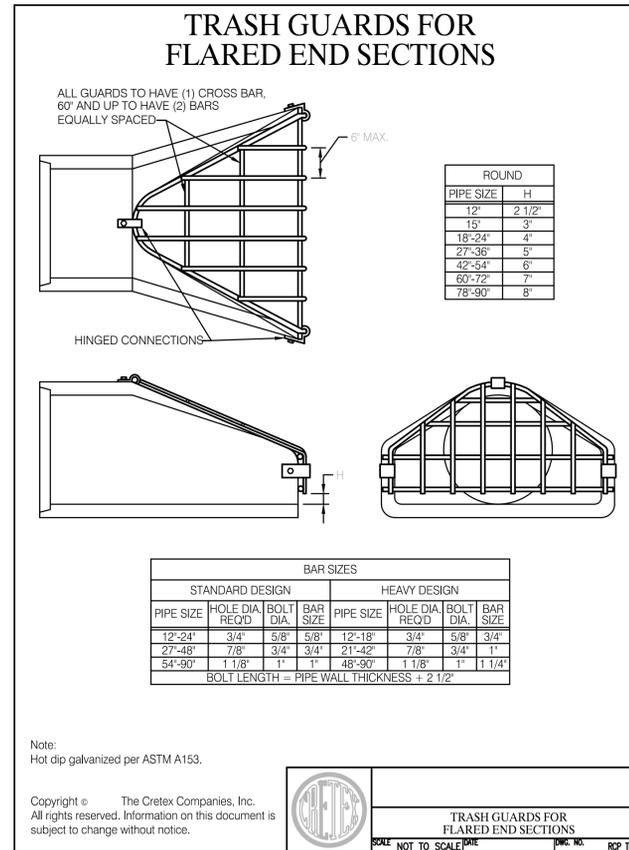
- A. USE CASTING AS INDICATED BELOW:
 - ALL MANHOLES - NEENAH R-1642
- B. USE 48" MINIMUM DIAMETER UNLESS INDICATED OTHERWISE ON PLAN
- C. CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- D. FOR PRECAST MANHOLE TEE, REFER TO FILE NO. 16 & SECTION 3.5.6 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN).



TYPICAL HYDRANT SETTING



CLEAN-OUT STRUCTURE DETAIL SECTION VIEW



DESCRIPTION
DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Appleton, WI | Madison, WI | Cedarburg, WI | Mount Pleasant, WI
Naperville, IL | Pittsborough, PA | Irvine, CA

DISCOUNT TIRE - WW 01
RIB MOUNTAIN, WI

DETAILS

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R.A. Smith, Inc.

DATE: 11/14/2018

SCALE: N.T.S.

JOB NO. 3180037

PROJECT MANAGER:
ROBERT J. HARLEY, P.E.

DESIGNED BY: CBW

CHECKED BY: JAH

SHEET NUMBER
C503

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

SPECIFICATIONS

A. GENERAL

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN THEIR PROPOSAL. THE CONTRACTOR SHALL BASE THEIR BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT THEIR WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF THEIR INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- SUBMITTALS:
 - SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION
 - IS DIFFERENT FROM THAT SPECIFIED OR
 - IS PART OF THE WORK THAT WILL BE DEDICATED AS A PUBLIC UTILITY OR ROADWAY AT THE END OF THE PROJECT OR
 - IF REQUIRED BY THE MUNICIPAL ENGINEER.
 - FOR UTILITY OR ROAD WORK THAT WILL BE DEDICATED TO A MUNICIPALITY, CONTRACTOR MUST MAKE SUBMITTALS TO THE MUNICIPALITY AS WELL AS ENGINEER.
 - ALL DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC. RELATED TO THE DESIGN HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATINGS FOR DIFFERENT SIZE BENDS. HIGHLIGHT THE PRESSURE CLASS & SIZE TO BE USED ON THE PROJECT. ALL SUBMITTALS NOT PROPERLY IDENTIFYING THE SPECIFIC MATERIAL BEING USED WILL BE REJECTED.
 - ALL DOCUMENTS SUBMITTED FOR REVIEW MUST INDICATE WHAT PART OF THE DESIGN THEY RELATE TO.
 - CONTRACTOR SHALL ALLOW A MINIMUM OF 10 WORKING DAYS FOR SUBMITTAL REVIEW.
 - SUBSTITUTION REQUESTS
 - IF A SUBSTITUTION IS REQUESTED, CONTRACTOR SHALL SUBMIT A SHOP DRAWING AND/OR MANUFACTURER'S DATA AND AN EXPLANATION AS TO EXACTLY HOW THE PROPOSED SUBSTITUTION MEETS THE PROPOSED DESIGN TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED.
 - THE CONTRACTOR SHALL ALSO INDICATE WITH THE SUBSTITUTION REQUEST THE AMOUNT THAT WILL BE CREDITED FROM THE CONTRACT AMOUNT TO THE OWNER IF THE SUBSTITUTION IS APPROVED.
 - THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN.

B. EROSION CONTROL

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WDES DISCHARGE PERMITS (IF APPLICABLE), AND THE RIB MOUNTAIN EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
- ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
- ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE DNR WDES GENERAL PERMIT.
- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
- TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WSDOT STANDARD SPECIFICATIONS. USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
- DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
- SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE. THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
- DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
- FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.

C. GRADING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE GEOTECHNICAL REPORT AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
- SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AN ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
- ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- TOPSOIL IN PARKING ISLANDS: ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 18" BY GRADING CONTRACTOR TO INSURE LONG TERM PLANT HEALTH. CROWN ALL PLANTING ISLANDS A MINIMUM OF 6" TO PROVIDE PROPER DRAINAGE, UNLESS OTHERWISE SPECIFIED.

D. PAVING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS, AND THE GEOTECHNICAL REPORT.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (1 1/4-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
- HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE CLASSIFIED AS LT IN ACCORDANCE WITH SECTION 460 AND TABLE 460-2 OF THE STANDARD SPECIFICATIONS.
- ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE (58-34), AND LOWER LAYERS SHALL BE (58-28 S).
- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE 12.5MM, AND THE LOWER LAYER PAVEMENT SHALL BE 19.0MM.
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.050-0.070 GAL/SY.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS: SECTION 415 FOR CONCRETE PAVEMENT, SECTION 601 FOR CONCRETE CURB AND GUTTER, AND SECTION 602 FOR CONCRETE SIDEWALKS.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
 - PARKING STALLS: WHITE
 - PEDESTRIAN CROSSWALKS: WHITE
 - LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
 - LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
 - ADA SYMBOLS: BLUE OR PER LOCAL CODE
 - FIRE LANES: PER LOCAL CODE
 - EXTERIOR SIDEWALK CURBED, LIGHTPOLE BASES, AND GUARD POSTS: YELLOW

E. PRIVATE UTILITIES

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
- PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
- MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS:
 - STORM SEWER PIPE 30" OR LARGER SHALL BE REINFORCED CONCRETE, ASTM C-76, CLASS III OR GREATER, WITH ELASTOMERIC SEALS CONFORMING TO ASTM C-443.
 - STORM SEWER PIPE 24" OR LESS SHALL BE EITHER:
 - HIGH DENSITY POLYETHYLENE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS, SUCH AS ADS N-12 WT. HDPE PIPE SHALL CONFORM TO ASTM F2648 AND F2306. JOINTS SHALL BE WATER TIGHT CONFORMING TO ASTM D3212 WITH ELASTOMERIC SEALS (GASKETS) CONFORMING TO ASTM F477.
 - POLYVINYL CHLORIDE (PVC) PIPE, ASTM D-3034, SDR 35, WITH ELASTOMERIC PUSH-ON JOINTS CONFORMING TO ASTM D-3212.
 - REINFORCED CONCRETE, ASTM C-76, CLASS III OR GREATER, WITH ELASTOMERIC SEALS CONFORMING TO ASTM C-443.
 - TRENCH SECTION SHALL BE CLASS "C" FOR CONCRETE AND CLASS "B" FOR ALL OTHER MATERIALS.
 - INLETS SHALL BE SOLID CONCRETE BLOCK OR PRE CAST REINFORCED CONCRETE, ASTM C-478.
- MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS:
 - SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212.
 - TRENCH SECTION SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. PREFABRICATED WYE CONNECTIONS ARE REQUIRED FOR SANITARY LATERALS
- MATERIALS FOR WATER SERVICE SHALL BE AS FOLLOWS:
 - WATER SERVICE SHALL BE PVC, SDR-18, CLASS 235, AWWA C-900, WITH ELASTOMERIC JOINTS (ASTM D-3139), WITH A VALVE AT THE SUPPLY MAIN.
 - ALL FITTINGS SHALL BE MECHANICAL JOINT, DUCTILE IRON CONFORMING TO AWWA C-111.
 - HYDRANTS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
 - GATE VALVES SHALL BE RESILIENT WEDGE TYPE, AWWA C-509, AND SHALL BE INSTALLED WITH AN ADJUSTABLE VALVE BOX AND COVER MARKED "WATER".
 - TRENCH SECTION SHALL CONFORM TO SECTION 4.3.C, FILE NO. 38 OF THE STANDARD SPECIFICATIONS. SAND OR STONE CHIP BEDDING MATERIAL IS REQUIRED.
- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS. TRACER WIRE SHALL ALSO BE INSTALLED ON ALL BURIED NON-METALLIC WATER SERVICES AND PRIVATE WATER MAINS CONNECTED TO MUNICIPAL SUPPLY SYSTEMS. TRACER WIRE SHALL BE IN ACCORDANCE WITH COMM 82.30(11)(c). TRACER WIRE SHALL BE A MINIMUM OF 18-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER.

DESCRIPTION	DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Appleton, WI | Madison, WI | Cedarburg, WI | Mount Pleasant, WI
Naperville, IL | Pittsburgh, PA | Irvine, CA

**DISCOUNT TIRE - WW 01
RIB MOUNTAIN, WI
SPECIFICATION**

© COPYRIGHT 2018 R.A. Smith, Inc.
DATE: 11/14/2018
SCALE: N.T.S.
JOB NO. 3180037
PROJECT MANAGER: ROBERT J. HARLEY, P.E.
DESIGNED BY: CBW
CHECKED BY: JAH
SHEET NUMBER
C600

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

LANDSCAPE CALCULATIONS

SECTION 17.144 - Landscaping Requirements for Building Foundations

- Required - 80 points per 100 LF of foundation = $80 \times \frac{384}{100} = 308$ points
- Provided - Low Evergreen Trees 8 x 12 = 96
- Med Deciduous Shrubs 36 x 3 = 108
- Ex. Med Dec. Shrubs 35 x 3 = 105 (in wetland)
- Total 309 points

SECTION 17.145 - Landscaping Requirements for Developed Lots

- Required - 20 points per 1000 sf of GFA = $20 \times \frac{8192}{1000} = 164$ points
- Provided - Tall Evergreen Trees 1 x 30 = 30
- Existing Tall Dec. Trees 5 x 30 = 150
- Total 180 points

SECTION 17.146 - Landscaping Requirements for Street Frontages

- Required - 80 points per 100 LF of street frontage = $80 \times \frac{288}{100} = 236$ points
- Provided - Climax/ Tall Trees must be at least 50% of points
- Med / Low Trees must be at least 30% of points
- Provided - Climax Trees 5 x 35 = 175
- Low Dec Trees 7 x 10 = 70
- Total 245 Points

Climax / Tall Trees = 175 points or 71% of total points
 Low Trees = 80 points or 29% of total points

SECTION 17.147 - Landscaping Requirements for Paved Areas

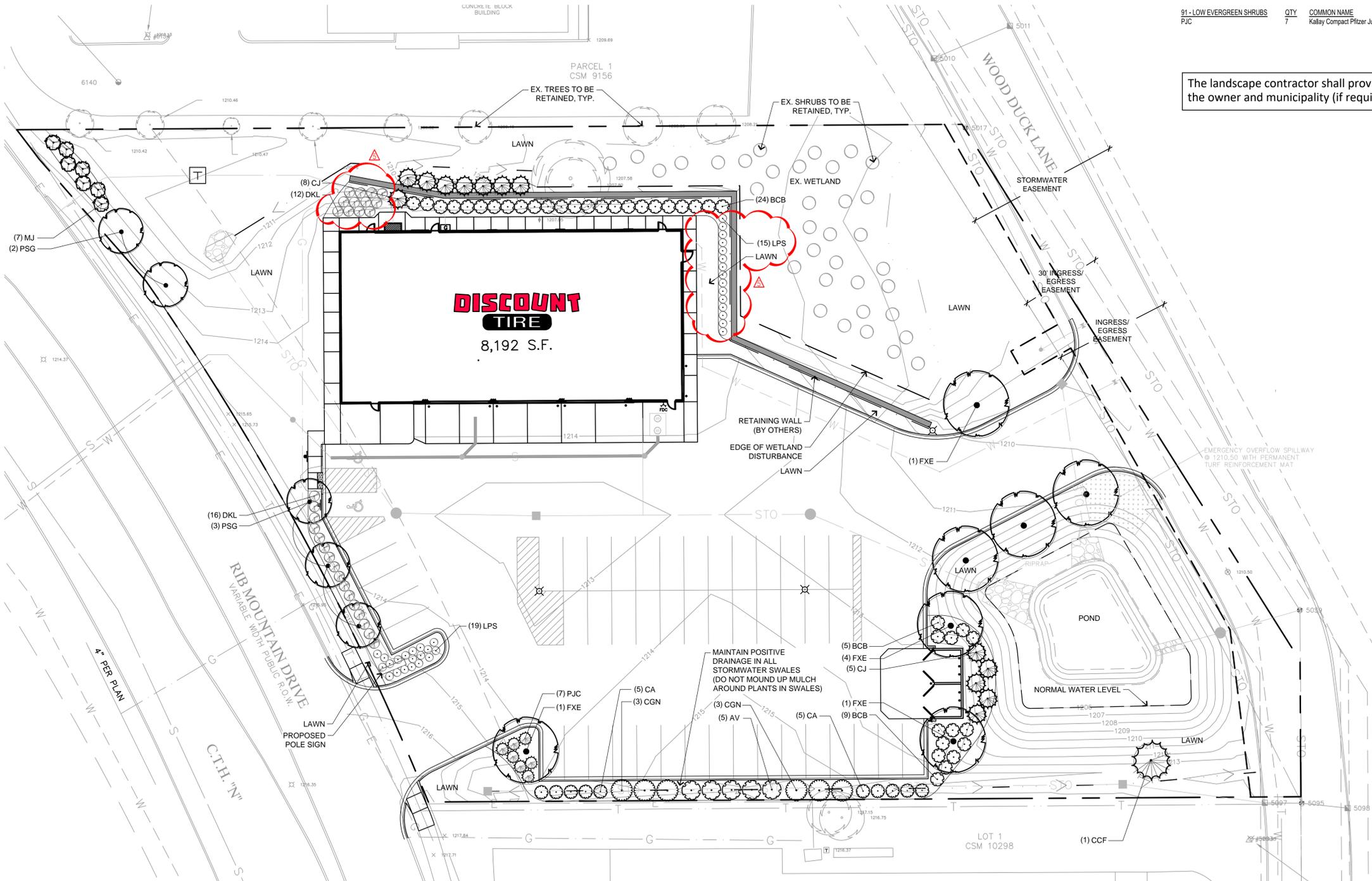
- Required - 160 points per 10,000 sf of paved area = $160 \times \frac{30639}{10000} = 489$ points
- Provided - Med / Low Trees must be at least 30% of points
- Shrubs must be at least 40% of points
- Med Dec Trees 7 x 15 = 105
- Tall EG Trees 3 x 30 = 90
- Low EG Trees 5 x 12 = 60
- Tall Dec Shrubs 21 x 5 = 105
- Med Dec Shrubs 30 x 3 = 90
- Low Dec Shrubs 19 x 1 = 19
- Low EG Shrubs 7 x 3 = 21
- Total 490 points

Med / Low Trees = 165 points or 33% of total points
 Shrubs = 235 points or 48% of total points

PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CCF	1	White Fir	Abies concolor	7-8 HT	B&B	Semi-sheared, fully branched to ground
1 - CLIMAX TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PSG	5	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	2 1/2' CAL	B&B	Full, matching heads
3 - MEDIUM DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
FXE	7	Frontier Elm	Ulmus x 'Frontier'	2 1/2' CAL	B&B	Full, matching heads
4 - LOW DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
MJ	7	Emerald Spire Crabapple	Malus x 'Jelgreen'	6' HT	CONT.	
6 - LOW EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CJ	13	Canaert Juniper	Juniperus virginiana 'Canaertii'	6' HT	B&B	Semi-sheared, fully branched to ground
7 - TALL DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA	10	Dwarf Red Twig Dogwood	Cornus sericea 'Alleman's Compact'	3' HT	CONT.	
CGN	6	Center Glow Ninebark	Physocarpus opulifolius 'Center Glow'	3' HT	CONT.	
AV	5	Arrowwood Viburnum	Viburnum dentatum	3' HT	B&B	
8 - MEDIUM DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
BCB	38	Black Chokeberry	Aronia melanocarpa	24" HT	CONT.	
DKL	28	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	24" HT	CONT.	
9 - LOW DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
LPS	34	Little Princess Spirea	Spiraea x japonica 'Little Princess'	18" HT	CONT.	
91 - LOW EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	7	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT.	

The landscape contractor shall provide a design / build irrigation construction plan to the owner and municipality (if required), see note 14 on sheet L200



DATE	DESCRIPTION
11-26-2018	SETBACK VARIANCE

16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
 rasmith.com

raSmith
 CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Appleton, WI | Madison, WI | Cedarburg, WI | Mount Pleasant, WI
 Naperville, IL | Pittsburgh, PA | Irvine, CA

DISCOUNT TIRE - WIW 01
 RIB MOUNTAIN, WI

LANDSCAPE PLAN

© COPYRIGHT 2018
 R.A. Smith, Inc.
 DATE: 11/14/2018
 SCALE: 1" = 20'
 JOB NO. 3180037
 PROJECT MANAGER:
 ROBERT J. HARLEY, P.E.
 DESIGNED BY: ALS
 CHECKED BY: LJH
 SHEET NUMBER
 L100

811
 Know what's below.
 Call before you dig.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

DISCOUNT TIRE

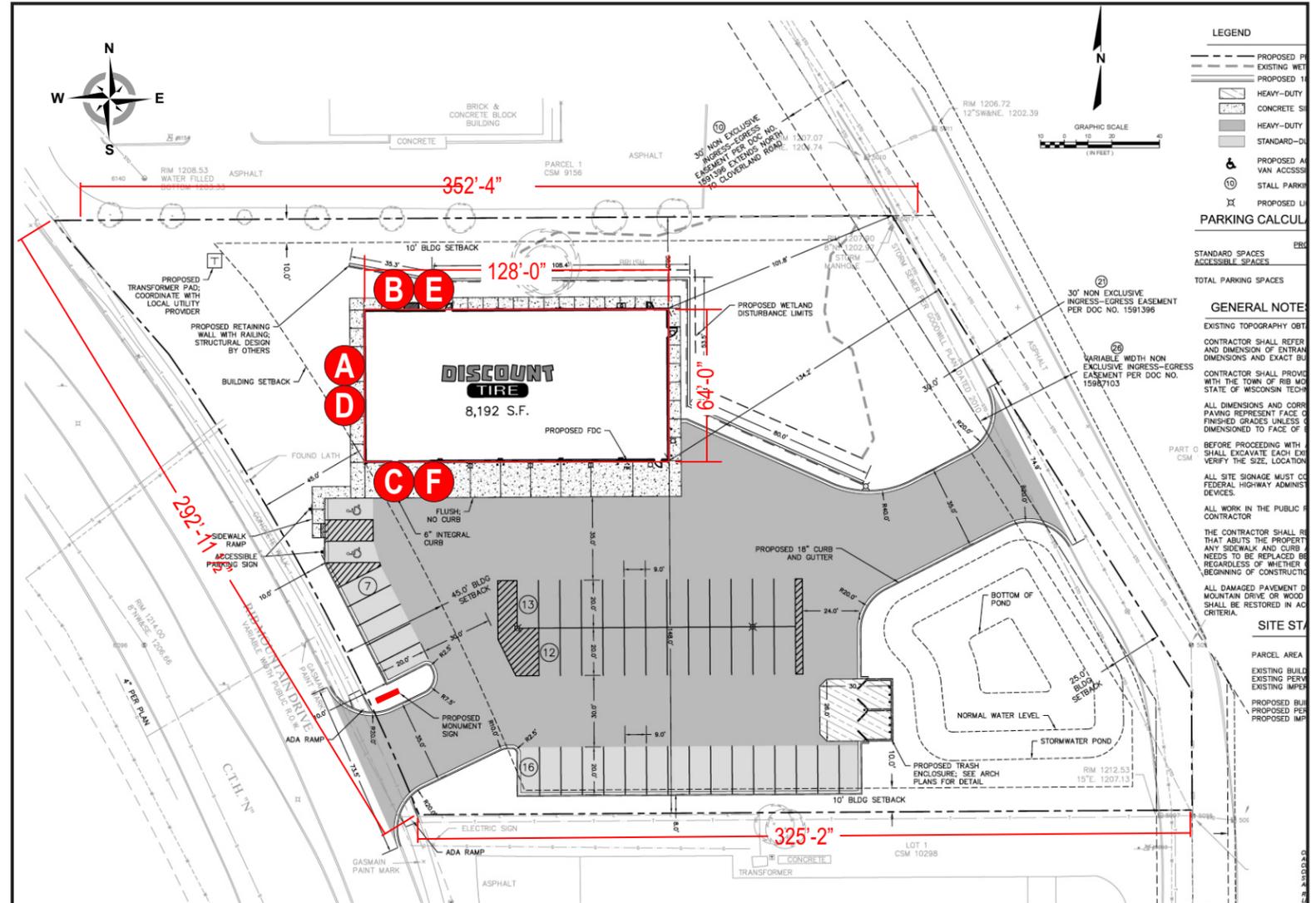
PROJECT SITE:

STORE 11675
4201 RIB MOUNTAIN DR
WAUSAU, WI 54401

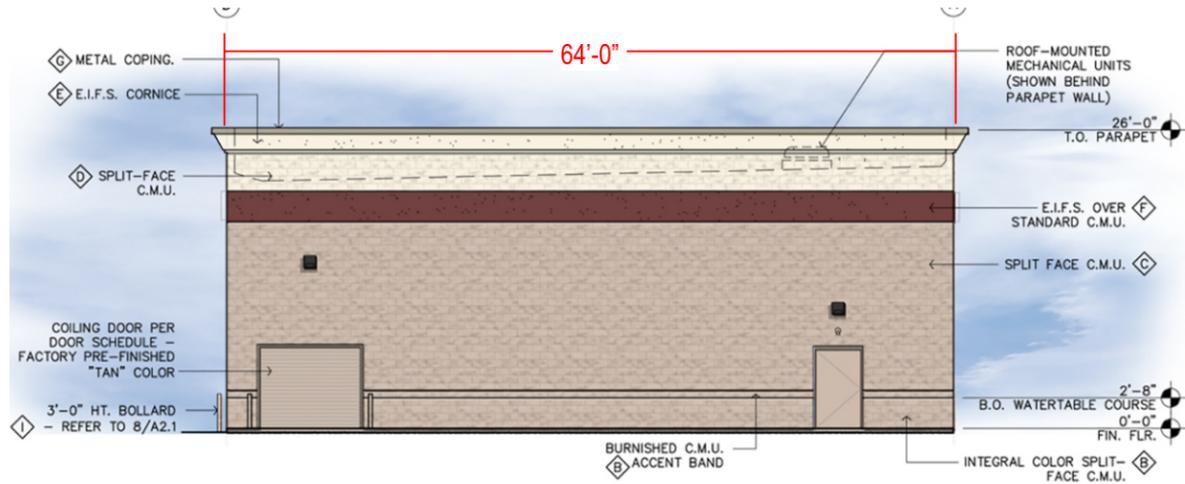
=====**SIGN PACKAGE**=====



AERIAL VIEW
Scale: NTS



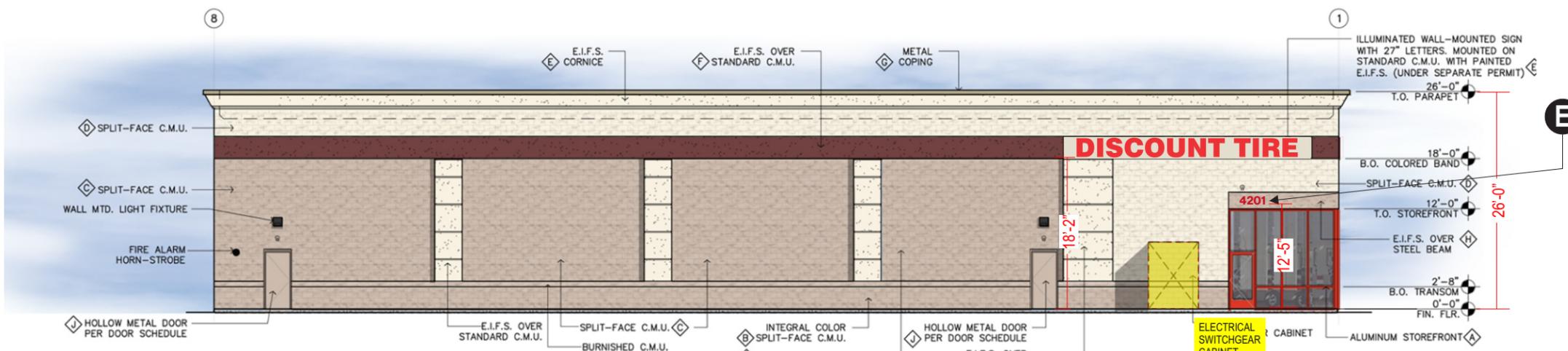
SITE PLAN
Scale: 1/64" = 1'-0"



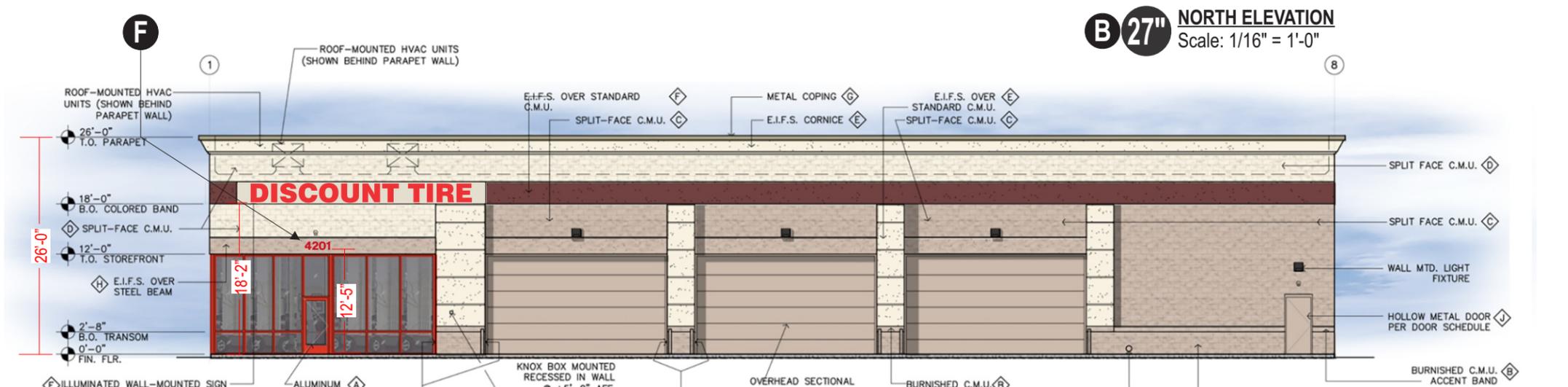
EAST ELEVATION
Scale: 1/16" = 1'-0"



A 30" WEST ELEVATION
Scale: 1/16" = 1'-0"



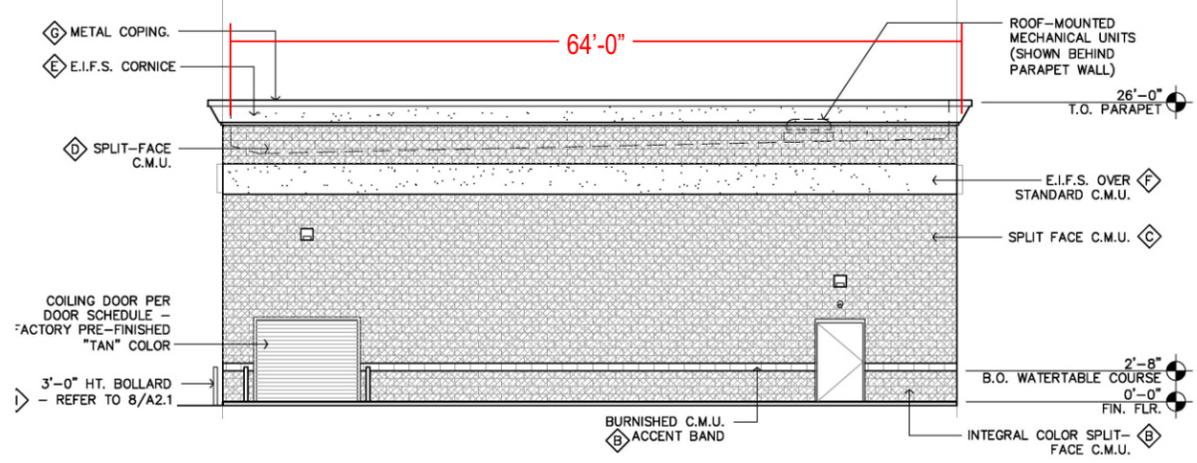
B 27" NORTH ELEVATION
Scale: 1/16" = 1'-0"



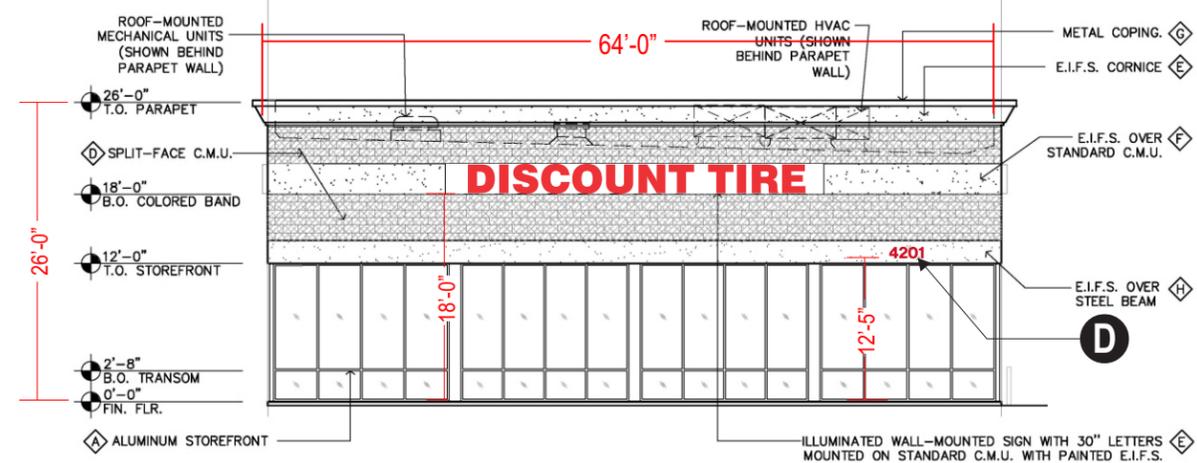
C 27" SOUTH ELEVATION
Scale: 1/16" = 1'-0"



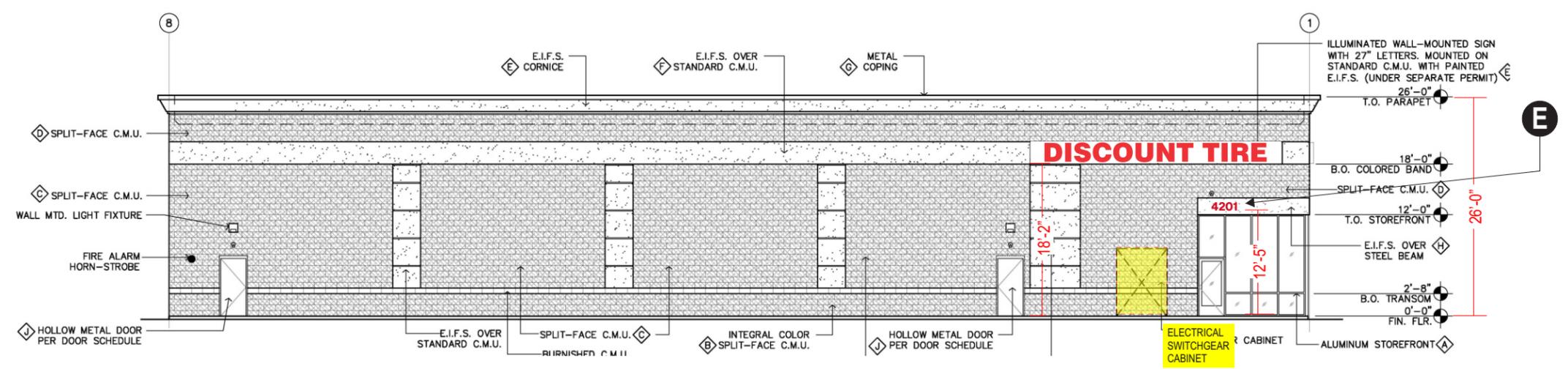
FINISH LEGEND	
A	ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
B	INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) COLOR TO MATCH "OAK BARREL"
C	GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS #7714 "OAK BARREL"
D	GRAY SPLIT-FACE CMU- PAINT SHERWIN WILLIAMS "ANTIQUE WHITE"
E	PAINT - SHERWIN WILLIAMS #6119 "ANTIQUE WHITE"
F	E.I.F.S. BAND PAINT SHERWIN WILLIAMS SW#7585 "SUNDRIED TOMATO"
G	METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH BERRIDGE "SIERRA TAN" COLOR
H	EXPOSED STEEL / EIFS - PAINTED TO MATCH "OAK BARREL"
I	STEEL BOLLARDS - PAINTED TO MATCH "OAK BARREL"
J	HOLLOW METAL DOORS - PAINTED TO MATCH "OAK BARREL"
K	ELECTRICAL SWITCHGEAR CABINET - PAINTED TO MATCH "OAK BARREL"



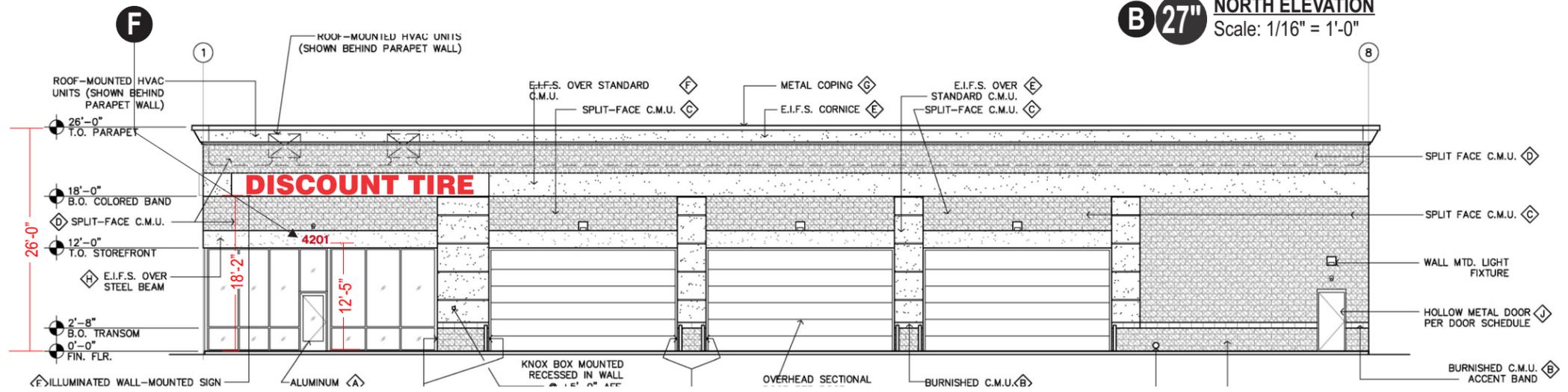
EAST ELEVATION
Scale: 1/16" = 1'-0"



30" WEST ELEVATION
Scale: 1/16" = 1'-0"



27" NORTH ELEVATION
Scale: 1/16" = 1'-0"



27" SOUTH ELEVATION
Scale: 1/16" = 1'-0"

FINISH LEGEND	
A	ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
B	INTEGRAL COLOR C.M.U. (SPLIT-FACE OR BURNISHED AS NOTED) COLOR TO MATCH "OAK BARREL"
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10101 Reunion Place
Suite 500
San Antonio, TX 78216
P. 210. 886. 0644
waltonsignage.com
© 2017 WALTON ALL RIGHTS RESERVED

Client: **DISCOUNT TIRE**
Address (1): **4201 RIB MOUNTAIN DR.**
Address (2):
City/State: **WAUSAU, WI 54401**
Sales: _____ Designer: **MSB**
Date: **06/22/18** PM **TG**

This is an original drawing created by Walton. It is submitted for your personal use, however, it shall at all times remain the property of Walton. It may be used in connection with the project being planned for you by Walton, but not otherwise. You are not authorized to show these drawings to anyone outside your organization, nor is it to be reproduced, used, copied or exhibited in any fashion.

Revision:
R1) 06/27/18 - JD
R2) 07/10/18 Insert new site plan - JD

Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
PAGE SIZE: 11" x 17"

Approvals:
Sales: _____ Date: _____
P.M.: _____ Date: _____
Design: _____ Date: _____
Client: _____ Date: _____

CID161121-BDG

29'-6 1/2"

9 7/8"

2'-6"

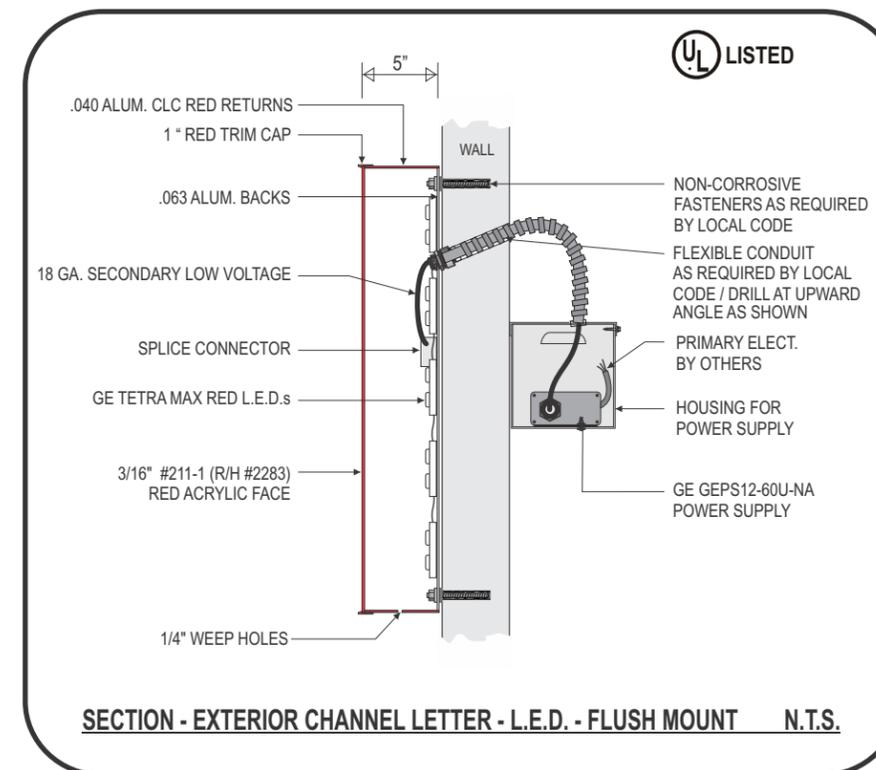
DISCOUNT TIRE

J-BOX PROVIDED BY GC
CENTER ON LETTERS INSIDE WALL

A 30" FRONT VIEW OF ILLUMINATED CHANNEL LETTERS - FLUSH MOUNT - "DISCOUNT TIRE" - 73.85 SQ. FEET Scale: 1/2" = 1' -0"

GENERAL SPECIFICATIONS

- ACRYLIC FACE LIT CHANNEL LETTERS
- .063 ALUM. BACKS W/.040 ALUM. RETURNS
(BACKS TO HAVE 3 HOLES FOR ELECTRICAL PENETRATION OPTIONS - BOTTOM, MIDDLE, TOP)
- 1" "JEWELITE" RED TRIM CAP
- 5" PRE-FINISHED CLC RED RETURNS
- 3/16" #211-1 (R/H 2283) RED ACRYLIC FACE
- INTERNAL ILLUMINATION WITH RED GE L.E.D.s
- 12VDC SECONDARY WIRING
- REMOTE 120 VAC TO 12VDC GE LED POWER SUPPLIES
- 120 VOLT PRIMARY TO SIGN LOCATIONS BY OTHERS



INSTALLATION NOTES:

WHEN INSTALLING LETTERS, USE CLEAR SILICONE AROUND SECONDARY AND WALL PENETRATIONS. RUN A BEAD OF SILICONE ACROSS THE TOPS OF ALL LETTERS, IN ORDER TO PREVENT LEAKS.

DRILL AT UPWARD ANGLE INTO WALL FOR CONDUIT (AS SHOWN IN SECTION)



10101 Reunion Place
Suite 500
San Antonio, TX 78216
P. 210. 886. 0644
waltonsignage.com
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Client: **DISCOUNT TIRE**
 Address (1): **4201 RIB MOUNTAIN DR.**
 Address (2):
 City/State: **WAUSAU, WI 54401**
 Sales: _____ Date: **06/22/18**
 Designer: **MSB** PM **TG**

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Revision:
 R1) 06/27/18 - JD
 R2) 07/10/18 Insert new site plan - JD

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This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

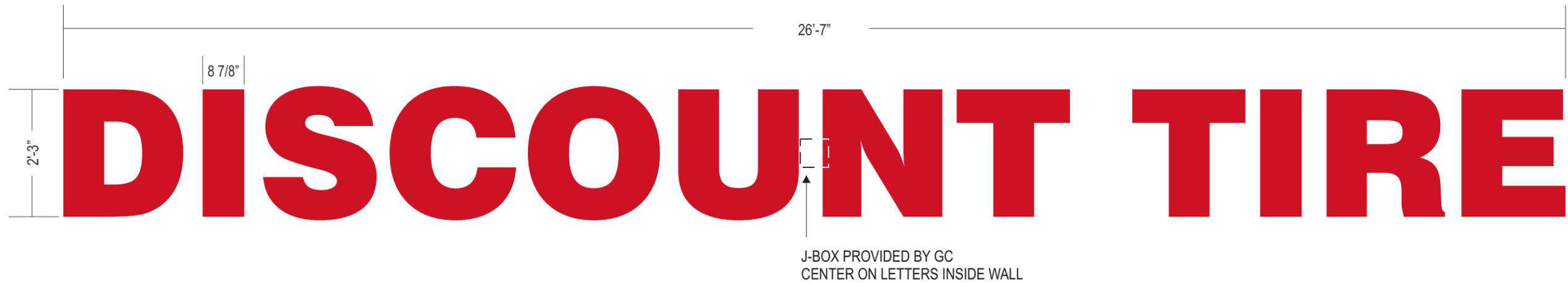
Approvals:

Sales: _____ Date: _____
 P.M.: _____ Date: _____
 Design: _____ Date: _____
 Client: _____ Date: _____

CID161121-BDG

Sheet: 5 of 7

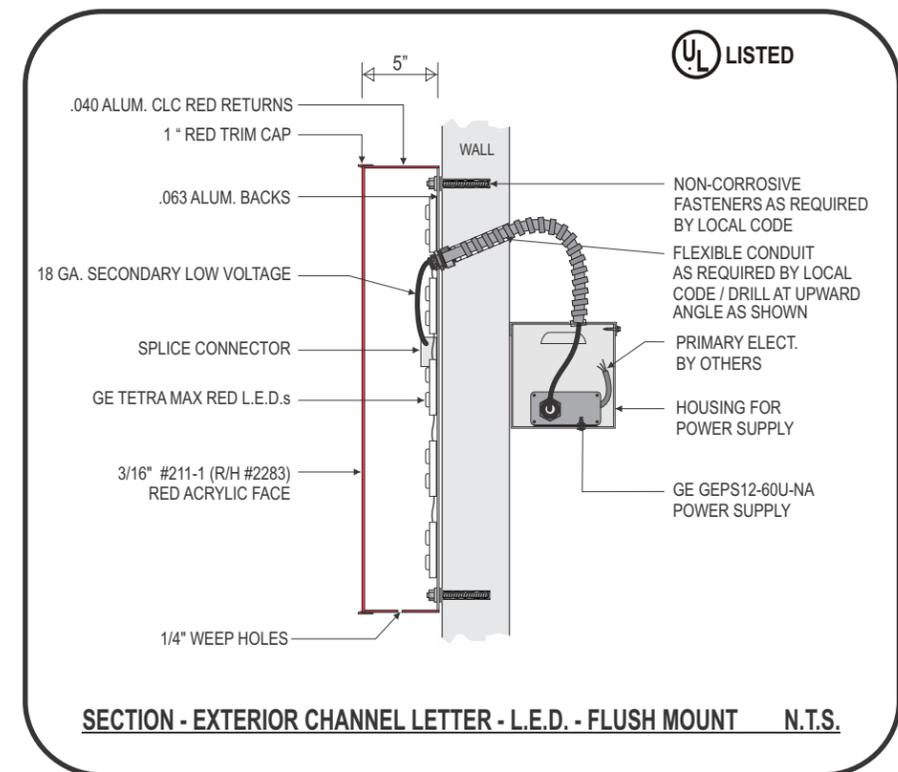
PAGE SIZE: 11" x 17"



B C 27" FRONT VIEW OF ILLUMINATED CHANNEL LETTERS - FLUSH MOUNT - "DISCOUNT TIRE" - 59.81 SQ. FEET
Scale: 1/2" = 1' -0"

GENERAL SPECIFICATIONS

- ACRYLIC FACE LIT CHANNEL LETTERS
- .063 ALUM. BACKS W/.040 ALUM. RETURNS
(BACKS TO HAVE 3 HOLES FOR ELECTRICAL PENETRATION OPTIONS - BOTTOM, MIDDLE, TOP)
- 1" "JEWELITE" RED TRIM CAP
- 5" PRE-FINISHED CLC RED RETURNS
- 3/16" #211-1 (R/H 2283) RED ACRYLIC FACE
- INTERNAL ILLUMINATION WITH RED GE L.E.D.s
- 12VDC SECONDARY WIRING
- REMOTE 120 VAC TO 12VDC GE LED POWER SUPPLIES
- 120 VOLT PRIMARY TO SIGN LOCATIONS BY OTHERS



INSTALLATION NOTES:

WHEN INSTALLING LETTERS, USE CLEAR SILICONE AROUND SECONDARY AND WALL PENETRATIONS. RUN A BEAD OF SILICONE ACROSS THE TOPS OF ALL LETTERS, IN ORDER TO PREVENT LEAKS.

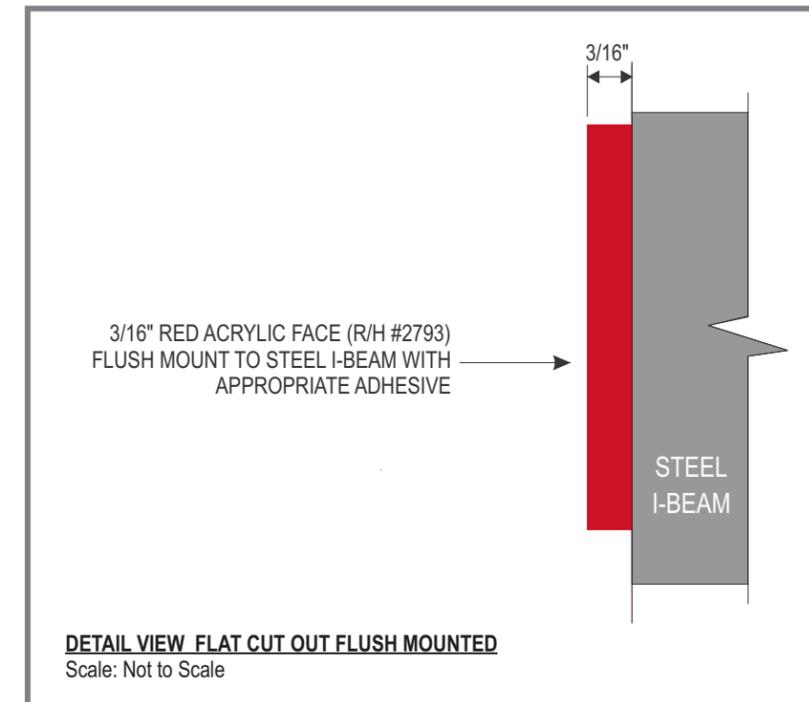
DRILL AT UPWARD ANGLE INTO WALL FOR CONDUIT (AS SHOWN IN SECTION)

12" **4201**

DEF NON-ILLUMINATED BUILDING ADDRESS NUMBERS - RED
 Scale: 1 1/2" = 1' -0"

- FABRICATE AND INSTALL THREE (3) SETS OF FLAT LASER CUT ACRYLIC ADDRESS NUMBERS
- RED R/H #2793
- HELVETICA FONT
- FLUSH MOUNT TO STEEL I-BEAM WITH APPROPRIATE ADHESIVE

NOTE:
 FIELD VERIFY THERE
 ARE NO OBSTRUCTIONS
 PRIOR TO INSTALLATION



TOWN OF RIB MOUNTAIN
 Marathon County, Wisconsin
DRAFT 2019 Plan Commission Schedule

The Plan Commission meets regularly on the second and fourth Wednesday of each month. All meetings are held at the Rib Mountain Municipal at 6:00 p.m. Petitioners or their representative should be present to answer questions and to avoid having their item tabled or laid over.

The Meeting agenda closes at 12:00 P.M. noon on Wednesday, two weeks prior to the meeting date, unless otherwise noted. A meeting date may change if a quorum cannot be assembled or as the result of another conflict. For this reason, we ask applicants check with the Clerk’s Office on the day of the meeting.

Agenda Date	Meeting Date	Agenda Date	Meeting Date
December 26, 2018	January 9, 2019	June 12, 2019	June 26, 2019
January 9, 2019	January 23, 2019	June 26, 2019	July 10, 2019
January 30, 2019	February 13, 2019	July 10, 2019	July 24, 2019
February 13, 2019	February 27, 2019	July 31, 2019	August 14, 2019
February 27, 2019	March 13, 2019	August 14, 2019	August 28, 2019
March 13, 2019	March 27, 2019	August 28, 2019	September 11, 2019
March 27, 2019	April 10, 2019	September 11, 2019	September 25, 2019
April 10, 2019	April 24, 2019	September 25, 2019	October 9, 2019
April 24, 2019	May 8, 2019	October 9, 2019	October 23, 2019
May 8, 2019	May 22, 2019	October 30, 2019	November 13, 2019
May 29, 2019	June 12, 2019	November 27, 2019	December 11, 2019

The Plan Commission reviews and approves Site Plans and makes recommendations to the Town Board for action on the following:

1. Division or combination of property.
2. Request for a change of zone or conditional use (Class II notice required – add three weeks prior to agenda date*).
3. Creation of a subdivision*.
4. Amendments to the Zoning Ordinance (Class II notice required – add three weeks prior to agenda date*).
5. Items requiring staged approval (e.g. UDD Plans – plan six to eight weeks approval time*)
6. Items specified by the Town Board.

Petitioners, their agents and surveyors should be aware of all ordinances relative to their request. The ordinances governing most items specify time intervals between approval stages the petitioner must take into consideration with the meeting schedule.

* Items requiring consultant review may require an additional two weeks.