



TOWN OF RIB MOUNTAIN

Where Nature, Family & Sport Come Together

www.townofribmountain.org

3700 North Mountain Road
Wausau, Wisconsin 54401
(715) 842-0983
Fax(715) 848-0186

PLAN COMMISSION

OFFICIAL NOTICE & AGENDA

A meeting of the Town of Rib Mountain Plan Commission will be held on **Wednesday, January 24th, 2018; 6:30 P.M. at 3700 North Mountain Road, Town of Rib Mountain Municipal Center.** The Town Board may attend for purposes of gathering information. Subject matter for consideration and possible action follows:

- 1.) Call to Order
- 2.) Roll Call
- 3.) Minutes
 - a. **Approval of minutes from the 1-10-2018 Plan Commission meeting.**
- 4.) Public Hearing(s)
 - a. **Riverside Land Surveying LLC, agent, requests General Development Plan and Precise Implementation Plan approval for the property addressed 1501 Bluebird Lane for development of four duplex structures. Parcel #34.412.003.001.01.00. Docket #2018-01.**
- 5.) Certified Survey Map(s)
 - a. **Riverside Land Surveying, agent, requests Certified Survey Map approval for a land division at the property addressed 1501 Bluebird Lane. Parcel #34.412.003.001.01.00. Docket #2018-02.**
- 6.) New Business:
 - a. **Don Hall, agent, requests a pre-application discussion regarding a potential rezoning and minor subdivision development. Docket #2018-03.**
 - b. **Bill Shnowske, owner, requests a pre-application discussion regarding a potential Unified Development District development. Docket #2018-04.**
- 7.) Correspondence/ Questions/Town Board Update:
- 8.) Public Comment
- 9.) Adjourn

TOWN OF RIB MOUNTAIN
PLANNING COMMISSION MEETING
January 10, 2018

Chairperson Harlan Hebbe, called the meeting of the Plan Commission to order at 6:30 pm. Other Plan Commission members present included Ryan Burnett, Jim Hampton, Laura McGucken, Tom Steele and Jay Wittman. Also present were Community Development Director, Steve Kunst, and Building Inspector / Assistant Zoning Administrator, Paul Kufahl.

MINUTES:

Motion by Tom Steele, second by Laura McGucken to approve the minutes of the December 13, 2017 Plan Commission meeting, as presented. Motion carried 4-0. Jay Wittman and Harlan Hebbe abstained from voting.

OLD BUSINESS:

- A. *Discussion on the Rib Mountain Comprehensive Plan project; specifically, land use. Docket #2017-05.*

Community Development Director Kunst stated this is a continuation of the discussion on the Land Use element of the Town's Comprehensive Plan. Kunst indicated the primary goal of staff is for the Land Use chapter to contain more specific goals, objectives, and/or statements pertaining to regular and potential future development patterns.

The Plan Commission members reviewed the included Future Land Use Map and identified the following areas for discussion.

Quarry Redevelopment (Red Bud Rd area)

- Identify areas of active mining/quarry operations
- Better understand the reclamation process/timeframes and how it impacts redevelopment
- Review site conditions related to private onsite water treatment facilities or private wells to help understand possible future residential development
- Would consider rural, non-commercial redevelopment
- Larger estate style lots for residential development or recreational lands
- Find a way to highlight this area on future land use maps

Multi-Family/Duplex Development Areas

- Jay Wittman presented a examples of duplex style condo development. Commissioners agreed single story, owner occupied style development is preferred near traditional residential neighborhoods or in areas similar to the Hall Farm property along South Mountain Rd.

- Multistory Multifamily developments would likely only be considered in transitional areas between commercial and existing residential land uses.

Hall Farm Development

- Reference the Hall Farm Study as part of the comprehensive plan
- Area along South Mountain could allow for single story duplex style development or even low intensity neighborhood commercial
- Highlight the need for a north to south road connection

South Mountain Development

- This area was identified as 40 acres north and south of South Mountain Rd, West of the Hall Farm Property, and outside of the sanitary district boundary
- Larger lot (5+ acre), estate style development would be considered

County Loop Corridor

- Make a statement to revisit future land use for development on Trillium and Foxglove if a Rothschild to Rib Mountain connection is built in the future.

Residential Neighborhood between Hwy 51/29 and Rib Mountain Drive near North Mountain Rd

- Redevelopment of this area needs to be addressed
- Likely to be commercial or mixed use in the future
- Identify similar areas of commercial and residential conflicts throughout Town
- Redevelopment should happen from the outside in
- Change all areas west of Eagle to future Commercial land use

Changes to the Future Land Use Map designations

- Change current Lakeshore apartments area to single family residential
- Change Azalea communication towers property to grassland instead of commercial
- Change area behind current Lift Gym to residential

Public Participation

- Use upcoming elections as a way to generate public feedback on the plan
- Have information available at the Town's Annual Meeting
- Get input from Town Board early in the process to make sure there are shared goals
- Share information with Parks and Bike and Ped Committees

The Plan Commission also noted they would like to make a statement about future Ski Hill expansion and its impact on residents, but would like to get Town Board input first.

CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

Kunst noted the Town Board approved the Gustave A Larson GDP and denied the Conditional Use modification at the last Town Board Meeting, as recommended by the Plan Commission.

2017 Permit Summary: Building Inspector, Paul Kufahl, noted 214 permits were issued in 2017, for an estimated construction value of \$10.6 million. Of which, 19 were new single family homes.

PUBLIC COMMENT: None Received

ADJOURN:

Motion by Tom Steele, second by Jim Hampton to adjourn the Plan Commission Meeting.

Motion carried 6-0. Meeting adjourned at 8:04 pm.

Respectfully Submitted,
Paul Kufahl, Building Inspector / Assistant Zoning Administrator

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: January 17, 2018
SUBJECT: General Development and Precise Implementation Plan Review

APPLICANT: Riverside Land Surveying, agent
PROPERTY OWNER: Farmhouse Fitness LLC

PROPERTY ADDRESS(S): 1501 Bluebird Lane

REQUEST: General Development Plan (GDP) and Precise Implementation Plan (PIP) approval for development of four (4) duplex structures.

CURRENT ZONING: Suburban Commercial (SC)
ADJACENT ZONING: SC (West & South), SR-3 (North, South, East & West)
PROPOSED ZONING: UDD

FUTURE LAND USE DESIGNATION: Commercial

NARRATIVE:

The applicant seeks Plan Commission approval for a duplex development on the properties immediately east of the ‘Lift Athletics’ fitness facility (see attached map). The property is currently zoned Suburban Commercial, which does not permit residential development, either by right or conditional use. As a result, the property would need to be rezoned in order to be considered for this style development. The Mixed Residential-4 (MR-4) district allows for duplex style development by right at a density of four (4) dwelling units per acre. The Urban Residential-8 district allows for up to eight (8) dwelling units per acre; however, it requires conditional use approval on top of the rezoning for duplexes. The applicant desires to construct four (4) duplexes on the 1.48-acre property (or 5.4 units per acre), making the UDD process is likely the most realistic option. The Plan Commission discussed this concept at a pre-application conference on December 13th.

ZONING STANDARDS NOT MET BY THE PROPOSAL:

The RMMC requires listing zoning standards not being met by a proposed UDD request for the purpose of helping the Plan Commission by providing information necessary to determine the relative merits of the project in regard to the private vs. public benefits. Below is a list of the staff identified code non-compliances when compared to the traditional zoning district of MR-4:

- Lot width of proposed Lots 2 and 3 of 83 feet compared to typical 100-foot requirement
- Overall density of the development of 5.4 units per acre compared to the typical four (4)

PUBLIC BENEFITS OF THE PROPOSAL:

- Provides a natural transition from commercial uses to existing residential neighborhoods
- Redevelops a long-underutilized site within one of the highest developed areas of the Town
- The proposed development adds diversity to the Town’s housing stock and could represent a desirable option for those looking to age in place within the Town.

FINDINGS OF FACT

Below are the six questions representing the Plan Commission’s finding of fact to be forwarded to the Town Board as found within the Rib Mountain Code of Ordinances, along with initial staff interpretation.

1. How is the proposed conditional use (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

The Town's Comprehensive Plan identifies goals and objectives of enhancing the quality of the Town's residential living environment, identifying areas for small lot suburban housing, and managing density of residential development to minimize Town development related costs. Policies and strategies related to these goals include concentrating small lot residential development within the boundaries of the Sanitary District and encourage high-quality, attractive development. Another objective within the Comprehensive Plan notes to direct more intensive future growth to areas contiguous to existing developed areas.

2. How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

The proposal addresses a challenge in transitioning from the Town's primary commercial district to existing single-family residential neighborhoods. Past commercial proposals for the subject property were met with strong neighborhood opposition based on anticipated adverse impacts on the longstanding residential neighborhood. The proposal represents a potential transition from existing commercial development to the residential uses. Further, the increase in residential density proposed is consistent with the goals and objectives referenced above.

3. Is it likely that the proposed conditional use, in its proposed location and as depicted on the required site plan (see (3)(d), above), will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Town or other governmental agency having jurisdiction to guide growth and development?

The proposed residential use is consistent with the surrounding neighborhood and likely holds a lesser potential for generating adverse impacts of the neighborhood than uses currently permitted by right in the property's commercial zoning district. Traffic to the subject property will increase from existing levels as the property is currently vacant; however, the traffic levels should be consistent with the adjacent neighborhood.

4. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposal creates a natural transitional area from high intensity commercial development along Rib Mountain Drive to the existing single-family residential subdivisions to the east. The proposed density is greater than the existing neighborhoods, but the use is less intense than what could be permitted by current zoning standards.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The subject property is accessed via Town roads currently serving similar uses in the surrounding area. Further, the property is served by municipal water and sewer.

6. Do the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking

into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

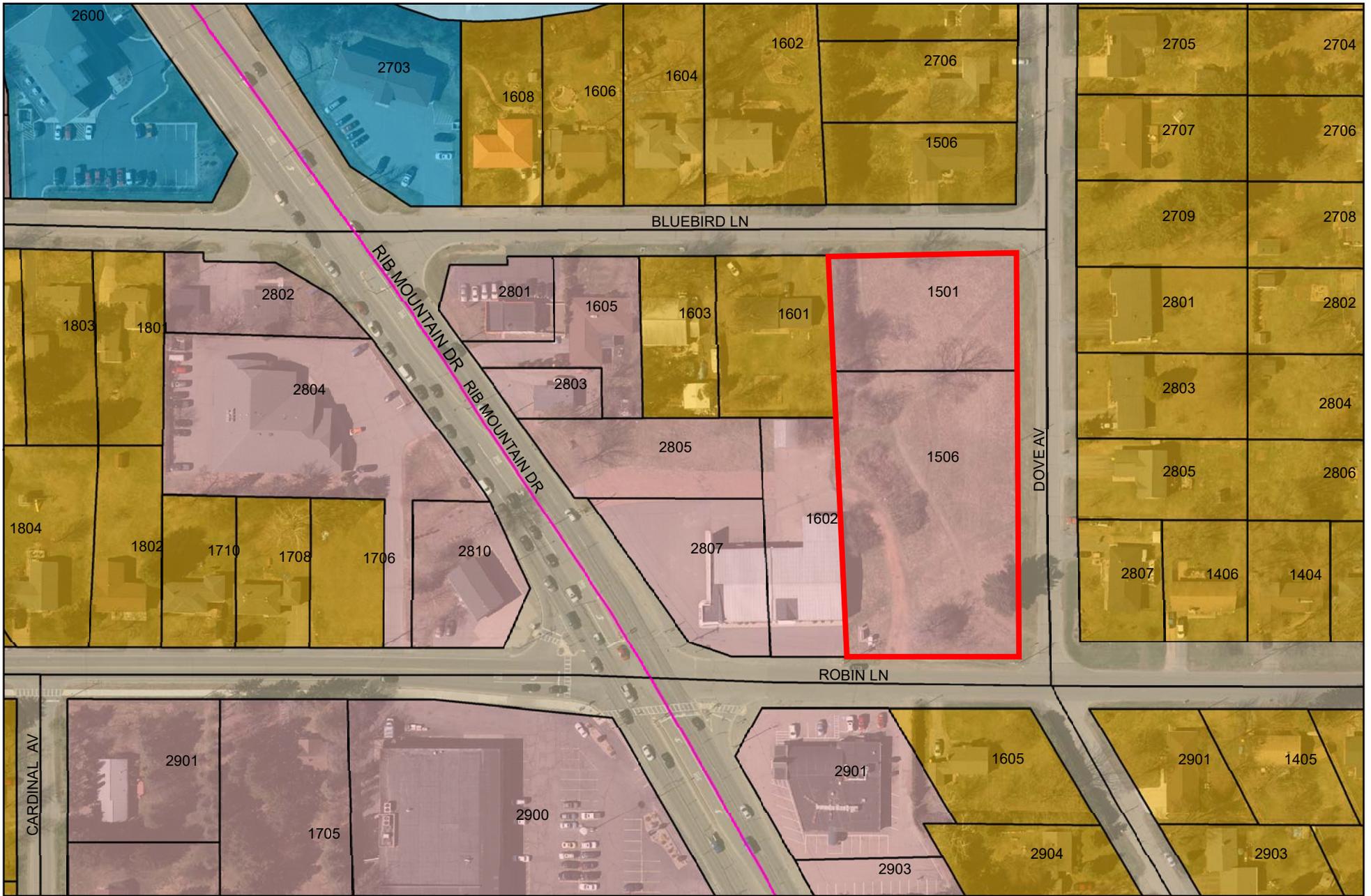
The proposal accomplishes a number goals and objectives of the Town's Comprehensive Plan related to residential development. It also provides a natural transition from the Town's commercial corridor and existing single-family neighborhoods limiting potential adverse impacts from currently permitted commercial uses.

ADDITIONAL CONSIDERATIONS:

- Any approval should be conditioned upon an approved stormwater management plan and/or maintenance agreement
- Consideration could be made for requesting additional right-of-way be dedicated along Robin Lane. Typical Town road right-of-way is 60-66 feet in width. The existing width at the subject property is 50 feet.
- Ensure proper fire separation, per Wisconsin Uniform Dwelling Code
- Ensure proper egress, per Wisconsin Uniform Dwelling Code, for proposed Lots 2 and 3

POSSIBLE ACTION:

1. Recommend approval of the GDP/PIP for the property addressed 1501 Bluebird Lane, as presented.
2. Recommend approval of the GDP/PIP for the property addressed 1501 Bluebird Lane, with conditions / modifications.
3. Recommend denial of the GDP/PIP for the property addressed 1501 Bluebird Lane.



4a-4

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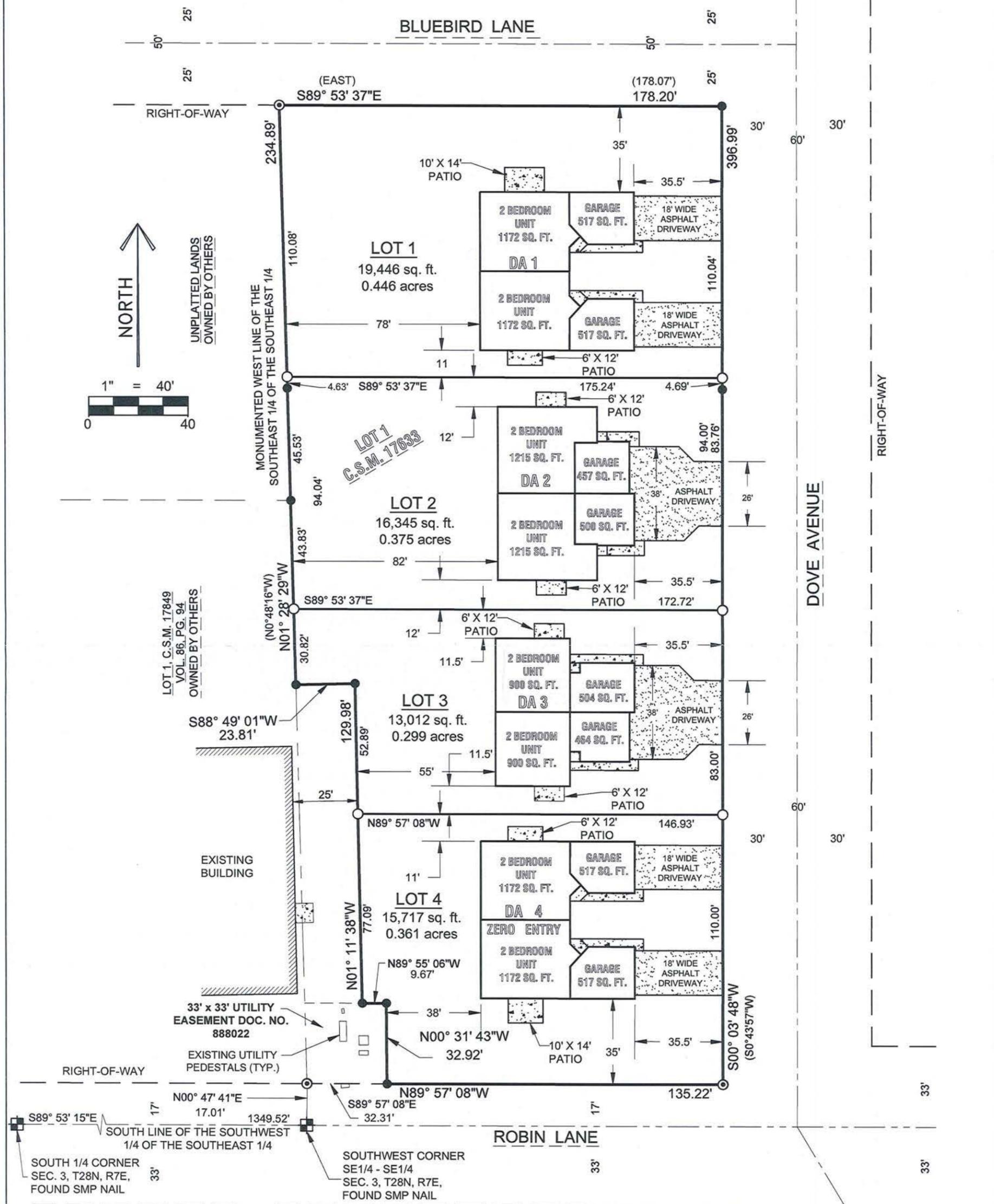
Map Printed: 1/20/2017

| | | | | | | |
|---|---|---|---|---|---|---|
| <ul style="list-style-type: none"> Parcel Outline Road Type US Interstate State Hwy State Park County Hwy County Forest | <ul style="list-style-type: none"> Local Private Water Feature Zoning Districts Unzoned | <ul style="list-style-type: none"> CR-5ac Countryside Residential EO Estate Office ER-1 Estate Residential MR-4 Mixed Residential | <ul style="list-style-type: none"> NC Neighborhood Commercial OR Outdoor Recreation RA-1 Rural Agricultural RA-2 Rural Agricultural | <ul style="list-style-type: none"> ROW RR Rural Residential SC Suburban Commercial SI Suburban Industrial | <ul style="list-style-type: none"> SO Suburban Office SR-2 Suburban Residential SR-3 Suburban Residential UC Urban Commercial | <ul style="list-style-type: none"> UDD Unified Development UR-8 Urban Residential |
|---|---|---|---|---|---|---|

DISCLAIMER: The information and depictions contained herein are for informational purposes only. Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained.

| | Lot 1 | Lot 2 | Lot 3 | Lot 4 |
|--------------------------|-------|-------|-------|-------|
| Floor Area Ratio | 0.17 | 0.21 | 0.21 | 0.21 |
| Impervious Surface Ratio | 0.26 | 0.30 | 0.33 | 0.32 |

See landscape plan for landscape surface area ratios



| LEGEND | |
|--|-------------------------------|
| ○ - 1-1/4" O.D. x 24" IRON PIPE WEIGHING 1.68 LBS/LIN. FT. SET | ▨ - PROPOSED CONCRETE |
| ⊙ - FOUND 2-1/2" O.D. IRON PIPE | ▨ - PROPOSED ASPHALT DRIVEWAY |
| ● - FOUND 1-1/4" O.D. IRON PIPE | |
| () - RECORDED BEARING/LENGTH | |

BEARINGS ARE BASED ON THE MARATHON COUNTY COORDINATE SYSTEM NAD 83 (2011) AND REFERENCED TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, SECTION 3, TOWNSHIP 28 NORTH, RANGE 7 EAST, MEASURED TO BEAR SOUTH 89°53'15" EAST.

SHEET
1 OF 1

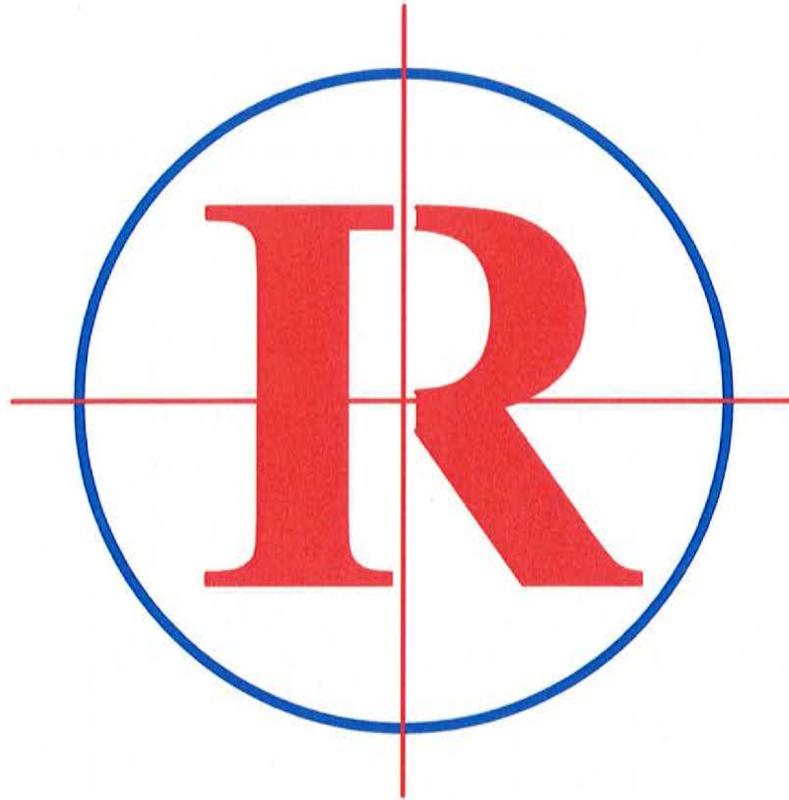
FIGURE 2
DENYON HOMES UDD SITE PLAN
TOWN OF RIB MOUNTAIN

| REVISION |
|--------------------|
| SURVEYED BY: KJW |
| DRAWN BY: MFL |
| CHECKED BY: NJW |
| APPROVED BY: |
| DATE: DEC 26, 2017 |

RIVERSIDE
LAND SURVEYING LLC

6304 KELLY PLACE WESTON, WI 54476
PH 715-241-7500 - FAX 715-355-6894
email - mail@riversidelandsurveying.com

PROJECT No.
2503



**DENYON HOMES
DOVE AVENUE DEVELOPMENT
TOWN OF RIB MOUNTAIN
UDD GENERAL DEVELOPMENT PLAN**

Table of Contents

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- 3.0 Restrictive Covenants

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- Figure 2 UDD Site Plan
- Figure 3 Duplex Plans
- Figure 4 Landscape Plan

UDD General Development Plan

1501 Bluebird Lane

Town of Rib Mountain, WI

1.0 Introduction and Overview

The property consists of 1.48 acres of level open undeveloped land with road frontage along Bluebird Lane, Robin Lane and Dove Avenue. The 1.48 acres doesn't contain any wetlands or other natural features which may raise environmental concerns. The parcel is the only undeveloped property remaining within a ¼ mile of the Robin Lane – Rib Mountain Drive intersection. The subject property is currently zoned Suburban Commercial and abuts Suburban Commercial property on the West and Suburban Residential (SR-3) District on the North, South, and East. The existing residential neighborhoods to the North, South and East are pre 1990 single level homes on .3 to .45 acre lots and the abutting commercial properties are LIFT Gym and Michael's Supper Club. See Figure 1 for aerial / site vicinity map.

2.0 Proposed UDD Development

The proposed development would include four duplexes on four lots. The duplexes would be single story 2 bedroom units, which is consistent with the existing surrounding residential homes. The middle two duplexes (DA 2 and DA 3) would have abutting garages to allow for a shared driveway to reduce the number of entrances onto Dove Avenue. The South duplex (DA 4) would be zero entry on both units to accommodate handicap accessibility or senior housing. The exterior of the all the duplexes would be vinyl sided with shakes on the gable ends facing Dove Avenue. The middle two duplexes (DA 2 and DA 3) would also have some stone on the front. See Figure 2 for site plan and Figure 3 for duplex plans.

The Rib Mountain 2005 future land use map shows the property as commercial but this transitional use would provide a nice buffer between the existing commercial properties along Rib Mountain Drive and the existing residential subdivisions to the North, South and East of the property.

The four duplex lots would range from .3 acres to .45 acres for a total of 8 units on the 1.48 acres parcel or 5.4 units per acre. Floor area ratio and impervious surface area ratios are list below.

Lot 1

Floor area ratio - 0.17

Impervious surface area ratio (driveways, sidewalks and patios) - 0.09

Total impervious surface area ratio – 0.26

Lot 2

Floor area ratio – 0.21

Impervious surface area ratio (driveways, sidewalks and patios) - 0.09

Total impervious surface area ratio – 0.30

Lot 3

Floor area ratio – 0.21

Impervious surface area ratio (driveways, sidewalks and patios) – 0.12

Total impervious surface area ratio – 0.33

Lot 4

Floor area ratio – 0.21

Impervious surface area ratio (driveways, sidewalks and patios) – 0.11

Total impervious surface area ratio – 0.32

We are proposing the rezoning to UDD because the only standard zoning that allows for duplexes is the Mixed Residential (MR-4) District. The MR-4 District allows for four units per acre and the proposed development has 5.4 units per acre. Mr. Tappe has constructed several homes and duplexes in the Town of Rib Mountain and has identified a need for multifamily housing which is close to shopping, health care and great highway access. Mr. Tappe feels the site would be best utilized with four duplexes since this housing type is in such high demand and would help fill a void in that market. This development could also

provide excellent senior housing with its level terrain and close proximity to daily needs. The rezoning to UDD would help with the transition from commercial to residential on a property that has had a controversial history with commercial development.

The proposed development exceeds all zoning requirements of the MR-4 District except the minimum lot width per dwelling unit and units per acre. See residential bulk standards comparison below.

Town of Rib Mountain Residential Bulk Standards

| | <u>MR -4</u> | <u>Proposed Development</u> |
|----------------------|---------------------|------------------------------------|
| Lot Area | 10,000 sq. ft. | 13,012 – 19,446 sq. ft. |
| Lot Width | 100 ft. | 83 – 110.04 ft. |
| Front/Street Setback | 35 ft. | 35 - 35.5 ft. |
| Side Yard | 10 | 11 – 12 ft. |
| Rear Yard | 35 | 38 – 82 ft. |
| Pavement to Lot line | 5 | 5 – 6 ft. |
| Dwelling Separation | 20 | 22.5 – 23.5 ft. |
| Units per acre | 4 | 5.4 |

3.0 Restrictive Covenants

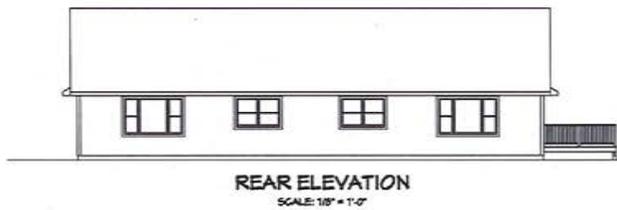
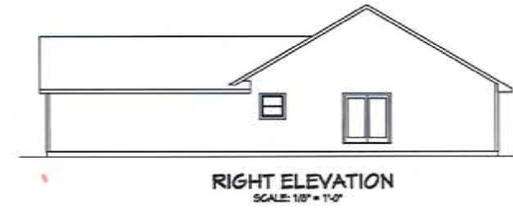
Each lot would have a covenant place upon it restricting two vehicles per unit and one temporary seasonal vehicle for up to 30 days per unit.

DA1

no plot needed
but h/c please



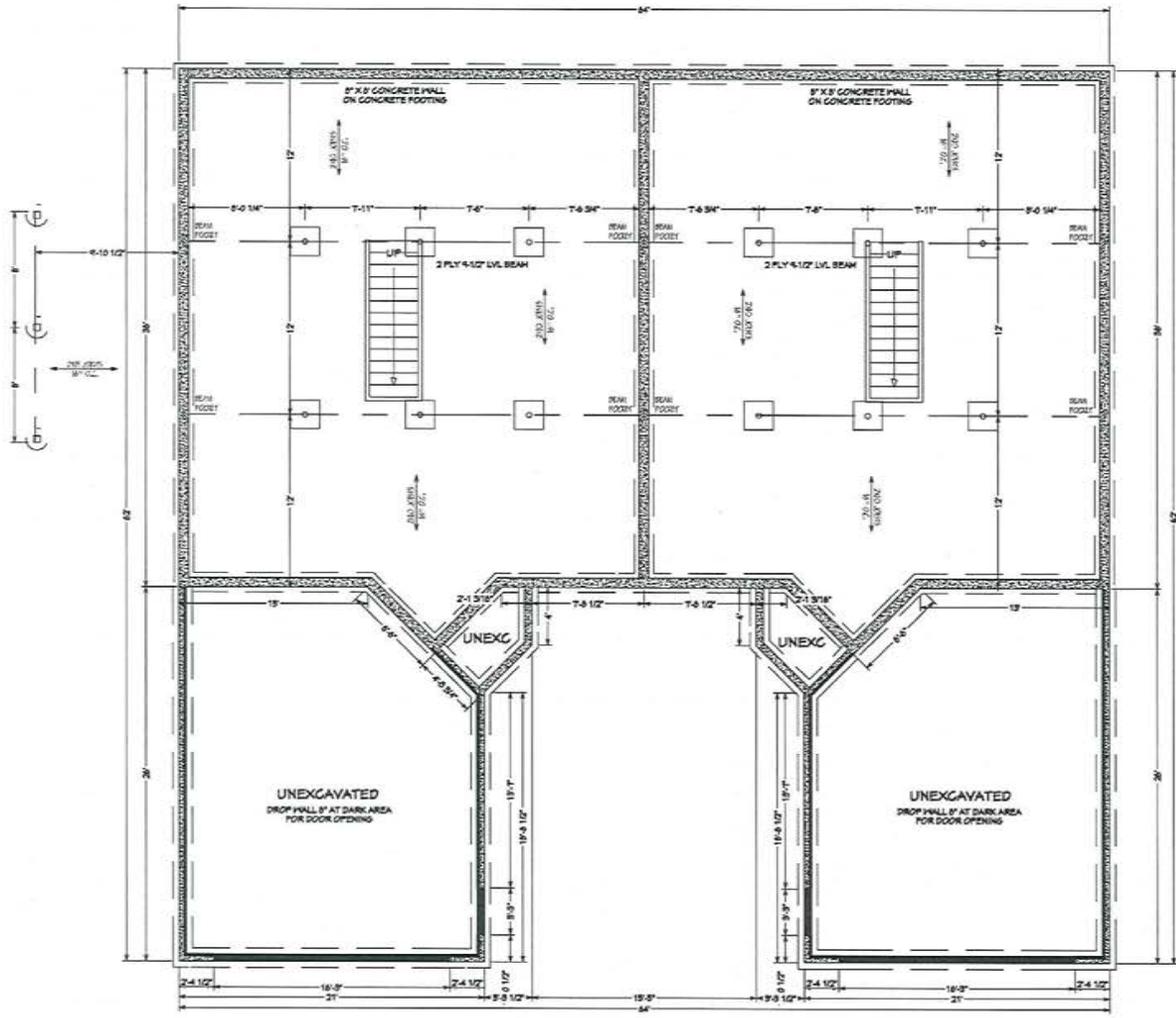
ROOFING - shake
SHEATH - 1/2\"/>



This set of plans has been prepared for your use only. It is not to be used for any other project. All materials and construction methods shown are for general information only. The contractor is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The architect is not responsible for any errors or omissions in these plans.

TorBorgs
TORBORGS MUNICIPAL LUMBER
HOME SHOWCASE CENTER
1400 10th Street
TORBORGS, VA 22085

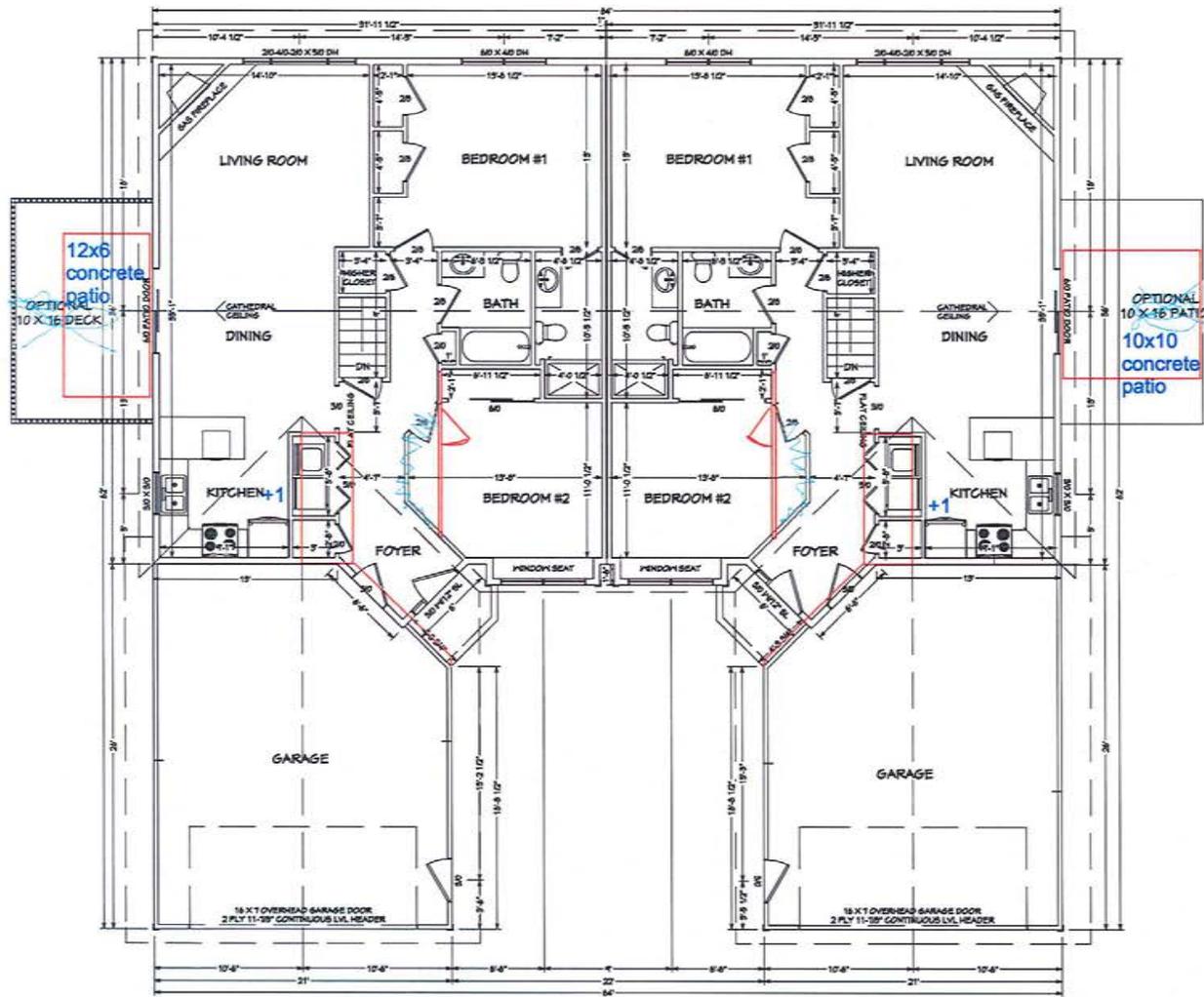
| | | |
|------------------|--------------------|----------------------|
| DATE 02/19/11 | DRAWN BY DAVE B | PERMISSIONS BLAZE |
| REV. | | |



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

| | | |
|------------------|--------------------|--|
| DATE 05/17/11 | DRAWN BY DAVE B |  TORBORGS WALPACALUMBER HOME SHOWCASE CENTER MERRILLVILLE, IN 46551-1448 |
| | REV. 2 | |

This drawing is for informational purposes only. It is not intended to be used for construction. The contractor is responsible for verifying all dimensions and conditions on the job site. The contractor is responsible for obtaining all necessary permits.



FIRST FLOOR PLAN
 1042 1/4" = 1'-0"

NOTES:
 1. 8'-1-1/2" WALL HEIGHT
 2. WINDOWS TO BE SINGLE HUNG UNLESS NOTED OTHERWISE.
 3. HEADERS TO BE 2 PLY 2X10 UNLESS NOTED OTHERWISE.

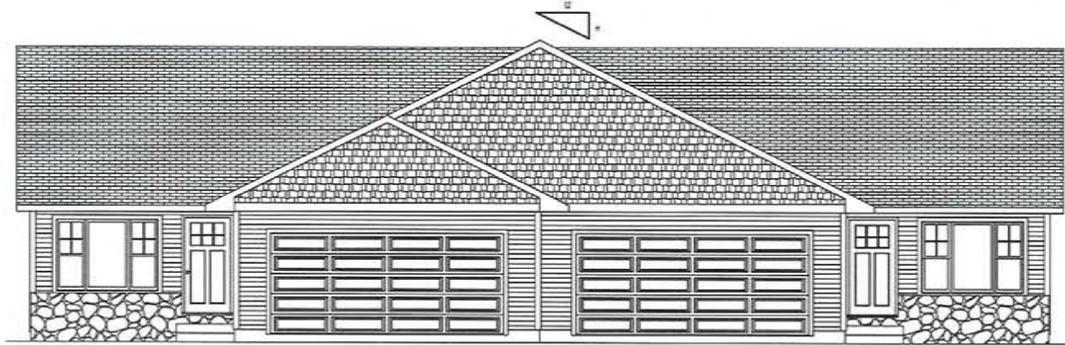
Any changes to this project must be made in writing. It is the responsibility of the client to verify all information and dimensions. The contractor is responsible for obtaining all necessary permits and licenses. The architect is not responsible for construction methods or materials.

TorBores
 TORBORGS WULFACH LUMBER
 HOME SHOWCASE CENTER
 1800 W. 10TH STREET
 TOWSON, MD 21286

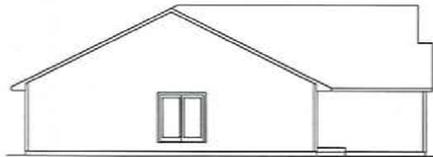
| | |
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| REV. 4 | PERFORMED BY M. JAZE |

DA2

No plot needed

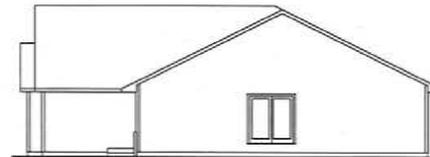


FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

FLOORING AREA 12.36 SQ. FT. - 1.34 SF
LIVING AREA 11.74 SQ. FT. - 1.34 SF
GARAGE AREA - 100.00 SQ. FT.



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



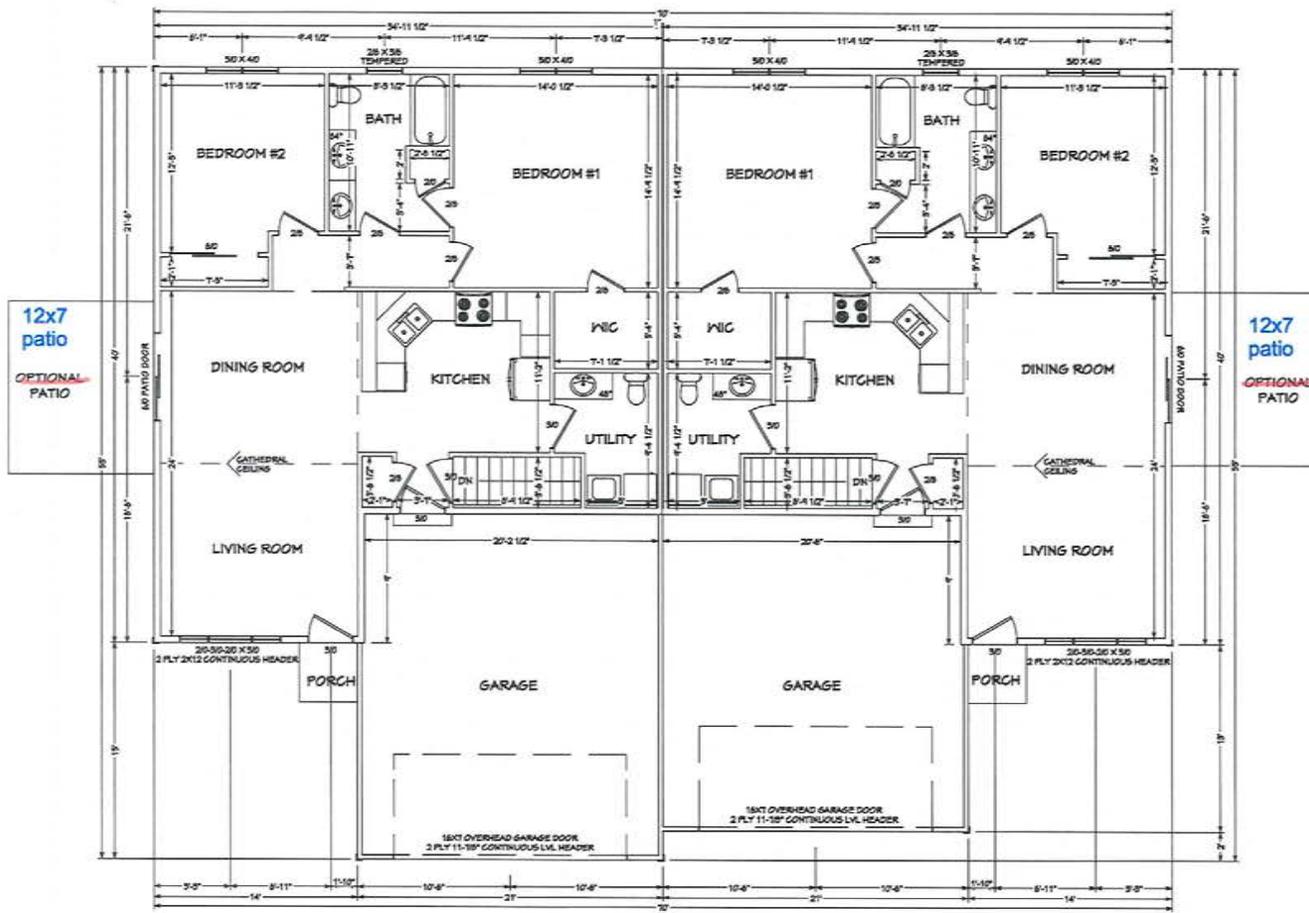
REAR ELEVATION
SCALE: 1/8" = 1'-0"

06/30/11
06/28/11

| | |
|---------------------------|-------------------------|
| DRAWN BY PAVE B | DATE 04/27/11 |
| DESIGNER AEMO | REV. 05/10/11 |

TORBORGS
TORBORGS WILFACA LUMBER
HOME SHOWCASE CENTER
100 W. 141 ST.
MUSKOGEE, OK 74453

You do not need this permit to work on a residential project. However, you must obtain a permit for any work that involves the alteration, repair, or replacement of structural members, electrical, plumbing, or mechanical systems. This permit is required for all work involving the alteration, repair, or replacement of structural members, electrical, plumbing, or mechanical systems. For more information, please contact the local building department.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:
 1. 8' 1-1/8" WALL HEIGHT
 2. WINDOWS TO BE DOUBLE HUNG UNLESS NOTED OTHERWISE.
 3. HEADERS TO BE 2 PLY 2X10 UNLESS NOTED OTHERWISE.

06/30/17
02/28/17

DRAWN BY
DINE P

DATE
04/27/17

REV
07/18/17

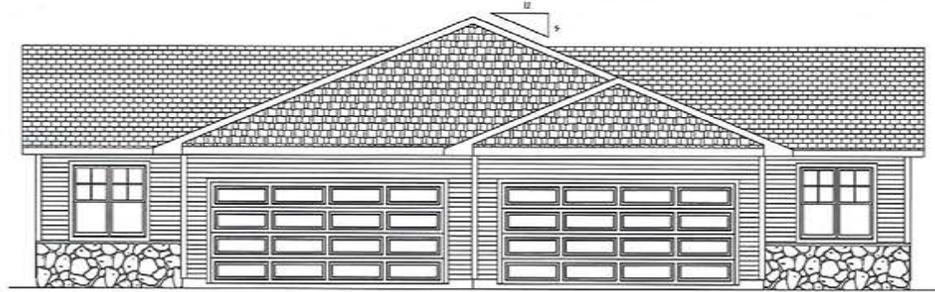
DESIGN HOMES
ARIZONA

TorBorgs
 TORBORGS WALPACA LUMBER
 HOME SHOWCASE CENTER
 1605 DON RDS STEE1
 WALPACA, AZ 85625

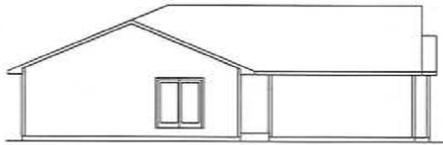
Your design and floor plan are subject to change without notice. We warrant that the information on this drawing was prepared by us or on our behalf. We do not warrant that the information is complete, correct, or that it will be suitable for any particular purpose. We are not responsible for any errors or omissions. We are not responsible for any consequences of any use of this information. We are not responsible for any damage or injury resulting from the use of this information. We are not responsible for any delay in the construction of the project. We are not responsible for any cost overruns. We are not responsible for any other matters. We are not responsible for any other matters.

DA3

No plot map needed
but plz include HLC

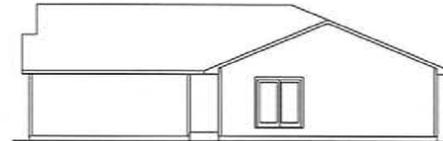


FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

DEVELOPING AREA PER SDP - 464 SQ FT
LOWER LEVEL WINDOW PER SDP - 0.75 SF
SCREEN AREA - 464 x 504 SF



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

07/11/17
08/20/17

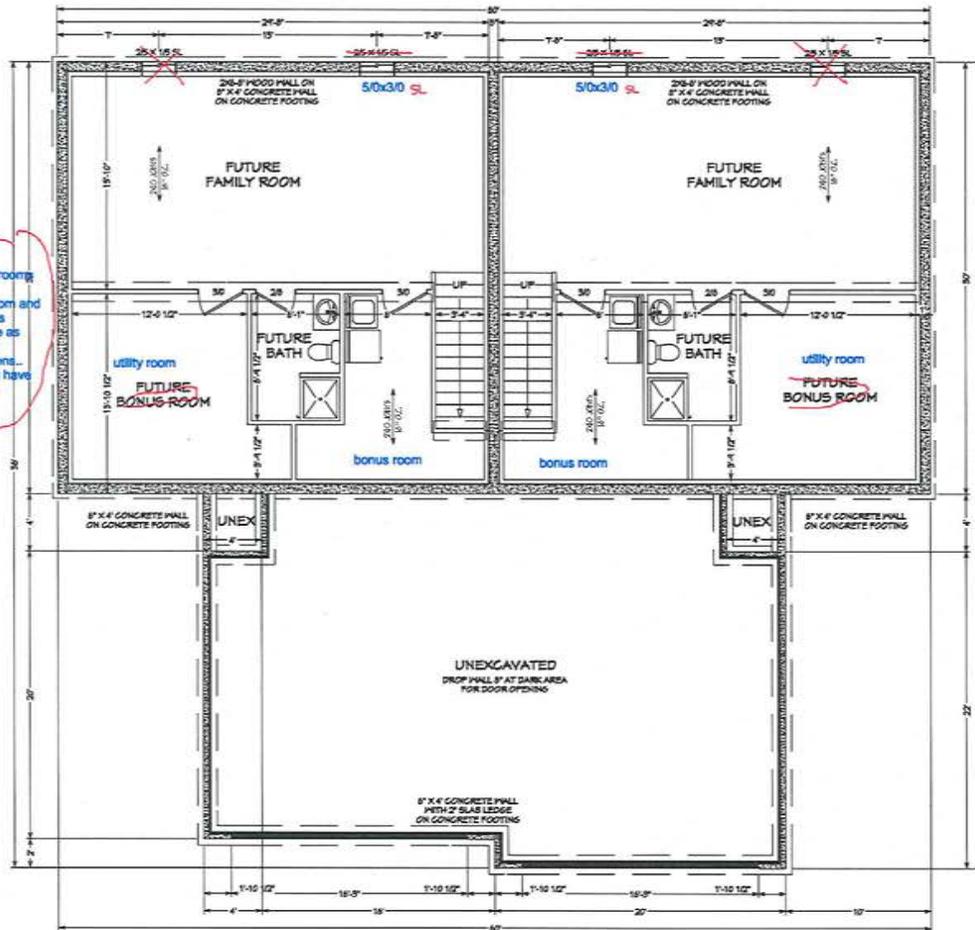
DATE
08/21/17
08/21/17

DRAWN BY
DAVE B
DERRON HONES
AC9

1

Read carefully the printed instructions for the use of this product. Do not use this product if you are allergic to any of the ingredients. Always use this product in a well-ventilated area. Do not use this product if you are pregnant or nursing. Do not use this product if you are taking any medication. Do not use this product if you are taking any other product. Do not use this product if you are taking any other product.

TORBORES
TORBORES WALPACA LUMBER
HOME SHOWROOM CENTER
MELDEN, WYOMING



put washer and dryer in the utility room
 make the utility room and bonus room widths basically the same as they are now but switch their locations... let me know if you have questions on this

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

01/21/11
 06/23/11
 02/28/11

DRAWN BY
 DAVE B

DATE
 01/21/11

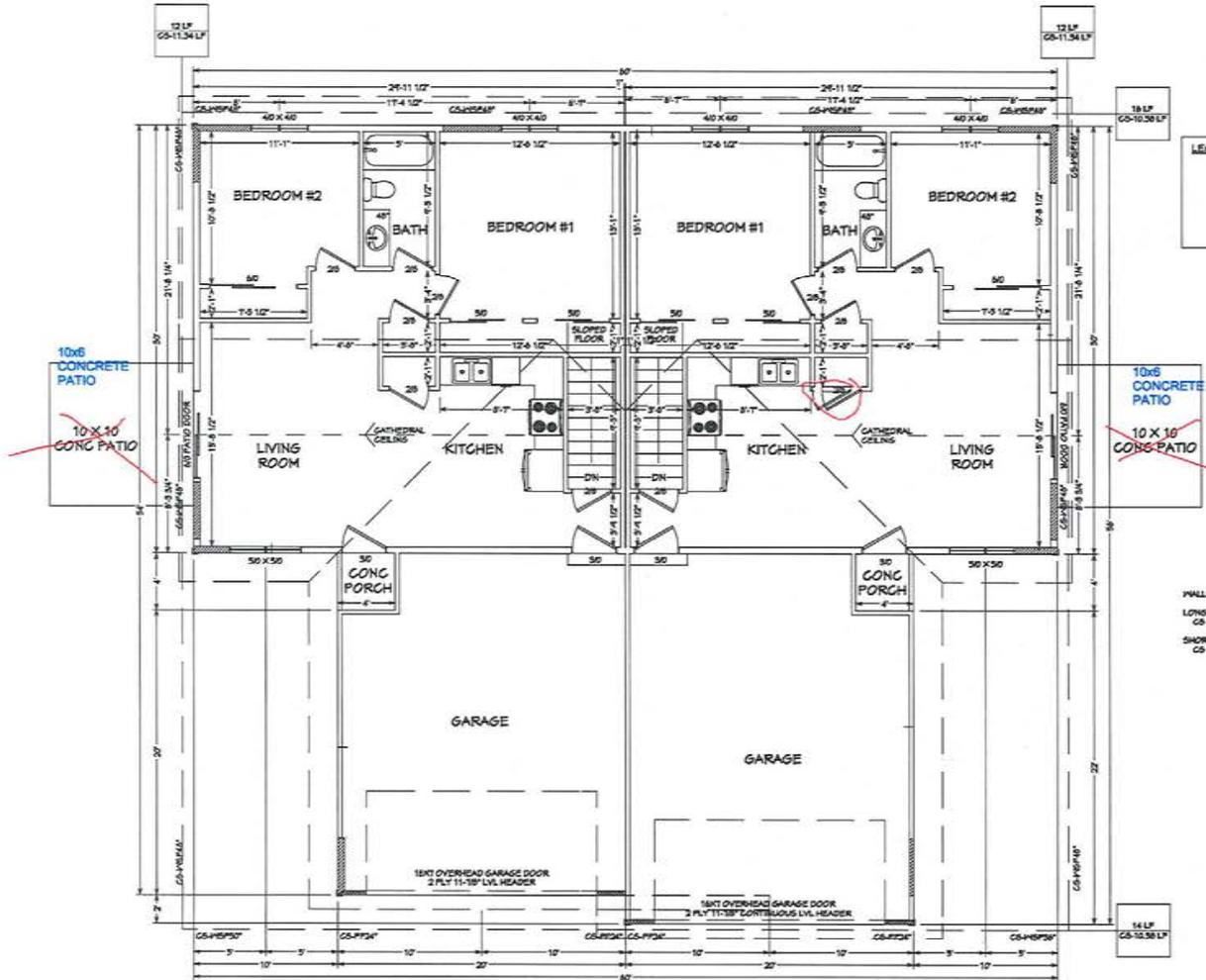
REV.
 02/18/11

DESIGN NOTES
 AC9

2

TORBORGS
 TORBORGS WAIPACA LUMBER
 HOME SHOWCASE CENTER
 1000 W. 1000 S.
 WASHINGTON, UT 84787

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LEGEND

- INTERMEDIATE PANELS USED / PANELS REQUIRED
- CONTINUOUS BRACING LINEAL FEET USED / LINEAL FEET REQUIRED

WALL BRACING CALCULATIONS

LONG WALL (W)

CS - 4x4 LP X 9x1.4 = 10.88 LF

SHORT WALL (S)

CS - 4x4 LP X 4x1.4 = 11.54 LF

FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTES:

1. 8' 1-1/8" WALL HEIGHT
2. WINDOWS TO BE SINGLE HUNG UNLESS NOTED OTHERWISE.
3. HEADERS TO BE 2 PLY 2X10 UNLESS NOTED OTHERWISE.

01/21/11
06/23/11
02/28/11

DRAWN BY
DAVE B

DATE
01/24/11

REV.
02/10/11

PERFORMER
ACB

TORBORGS
TORBORGS WALPACALUMBER
HOME SHOWCASE CENTER
280 DIXON STREET
WALPAC, VT 05651

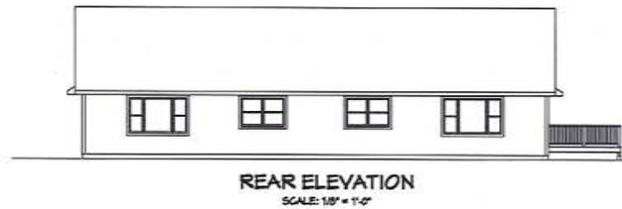
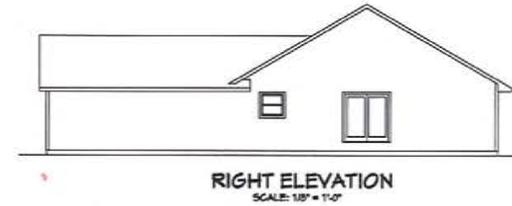
DA4

no plot needed
but hlc please

only difference (currently)
between DA1 and
DA4 is the switching of
patio sizes



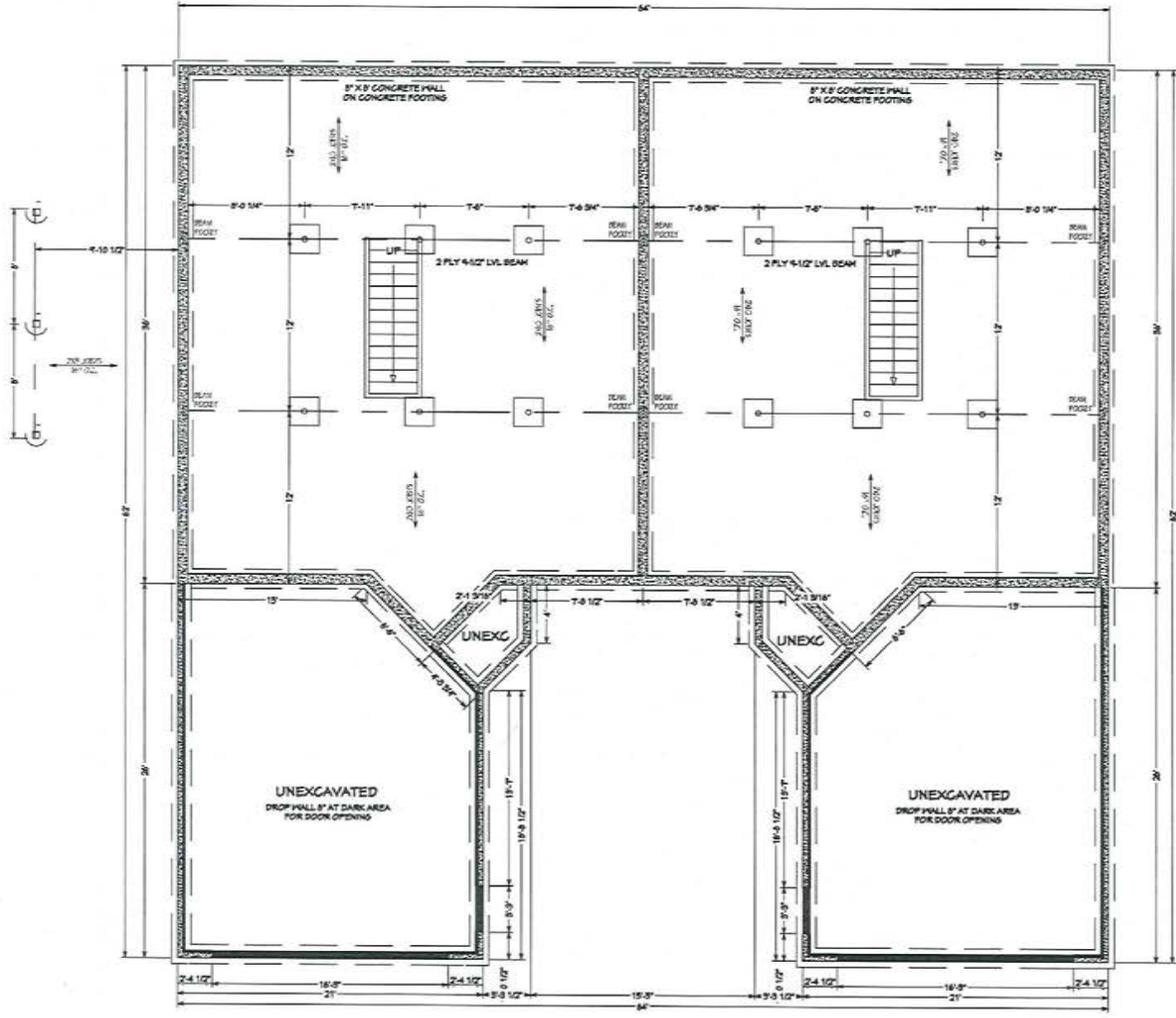
DE FLOOR LIVING ROOM - 13'0" x 9'
SCALE: 1/8" = 1'-0"



For information only. This drawing is not to be used for construction. It is for informational purposes only. The user of this drawing is responsible for obtaining all necessary permits and approvals. The user of this drawing is responsible for obtaining all necessary permits and approvals.

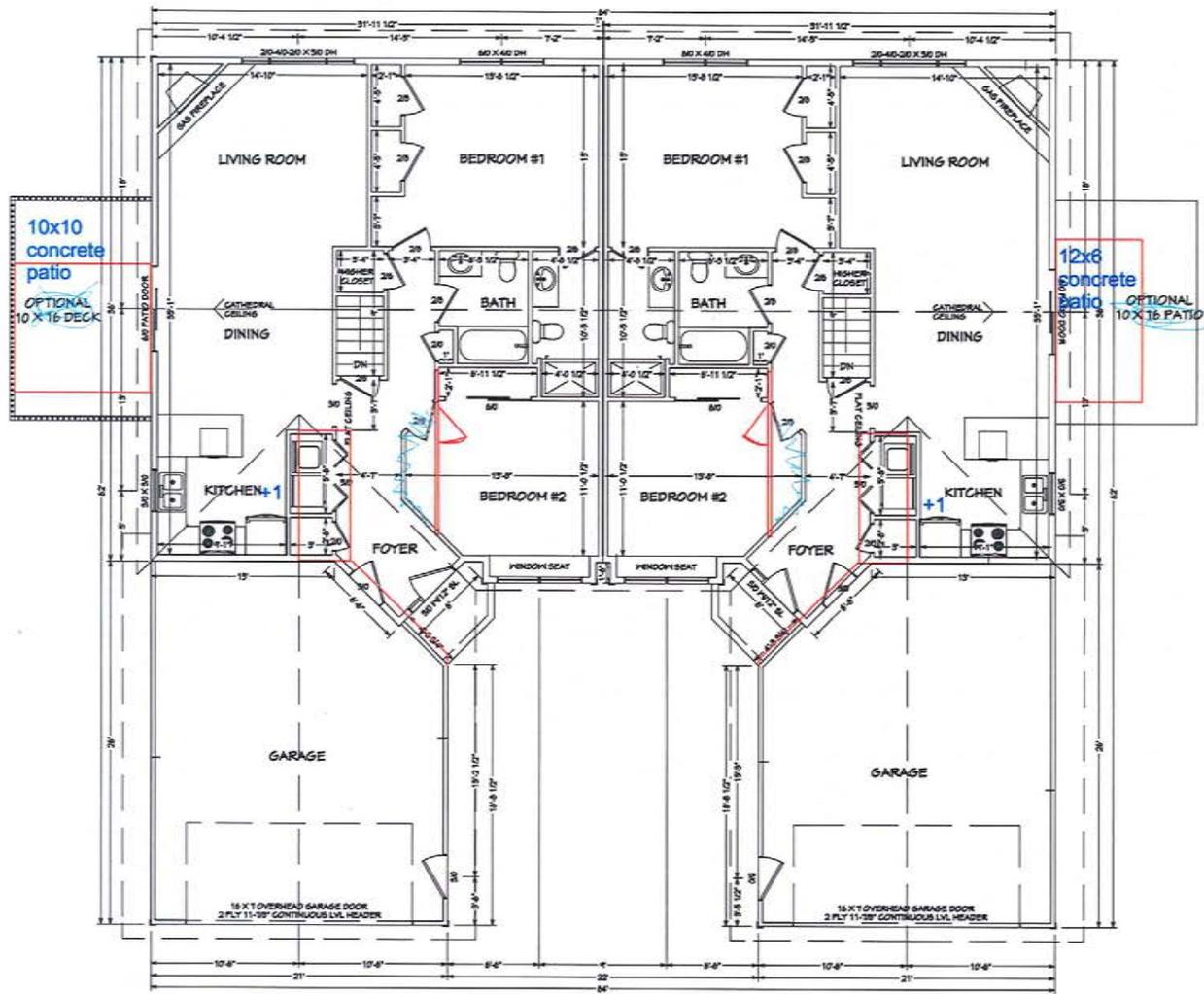
TORBORGS
TORBORGS WALPACA LUMBER
HOME SHOWROOM CENTER
MADE IN MICHIGAN

| | |
|----------|--------------|
| DATE | DRAWN BY |
| 01/11/11 | DAVE B |
| REV. | DESIGN/HOMES |
| 1 | DAVE |



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

| | | |
|------------------|----------------------|--|
| DATE 10/27/11 | DRAWN BY DINE B |  TORBORCS WALPACA LUMBER HOME SHOWHOUSE CENTER MELTON, MAINE |
| | REVISIONS 15, 12' | |
| 2 | | |



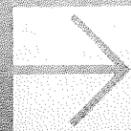
FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTES:
 1. 8'-1-1/8" WALL HEIGHT
 2. WINDOWS TO BE SINGLE HUNG UNLESS NOTED OTHERWISE.
 3. HEADERS TO BE 2 PLY 2X10 UNLESS NOTED OTHERWISE.

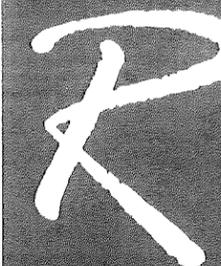
Drawings are prepared by TorBorres Home Showcasing Center, Inc. and are not to be used for any other purpose without the written consent of TorBorres Home Showcasing Center, Inc. All dimensions are in feet and inches unless otherwise noted.

TorBorres
 TORBORRES WALKPAC LUMBER
 HOME SHOWCASING CENTER
 1820 N. 148th St.
 WASHINGTON, WA 98040

| | |
|-------|-----------|
| DATE | DRAWN BY |
| 11/11 | DAVE P. |
| REV. | REVISIONS |
| | SCALE |



THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF REVI DESIGN.



re.vi
DESIGN

re.vi DESIGN, LLC.
design | build | maintain
4701 city rd z
wausau | wi | 54403
715.355.REVI(7384)
www.revi-design.com

project date

project name

project address

project scale

LANDSCAPE
CONCEPT



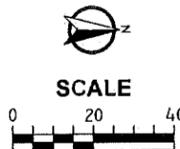
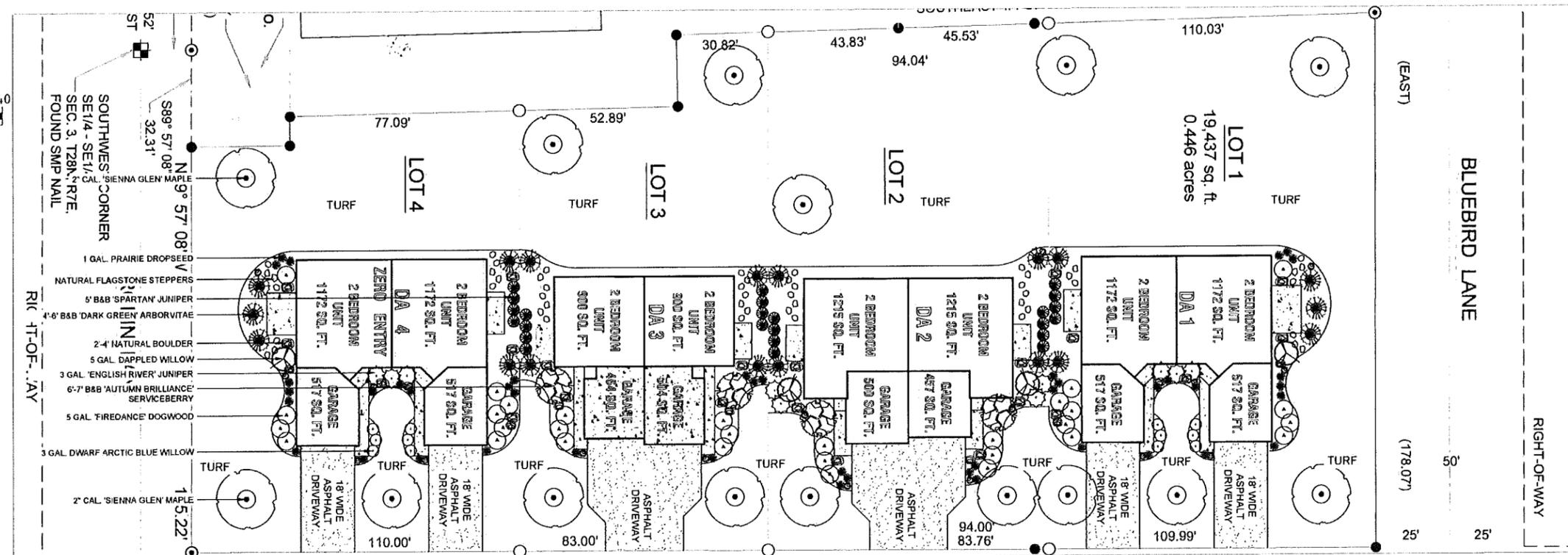
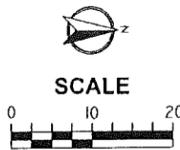
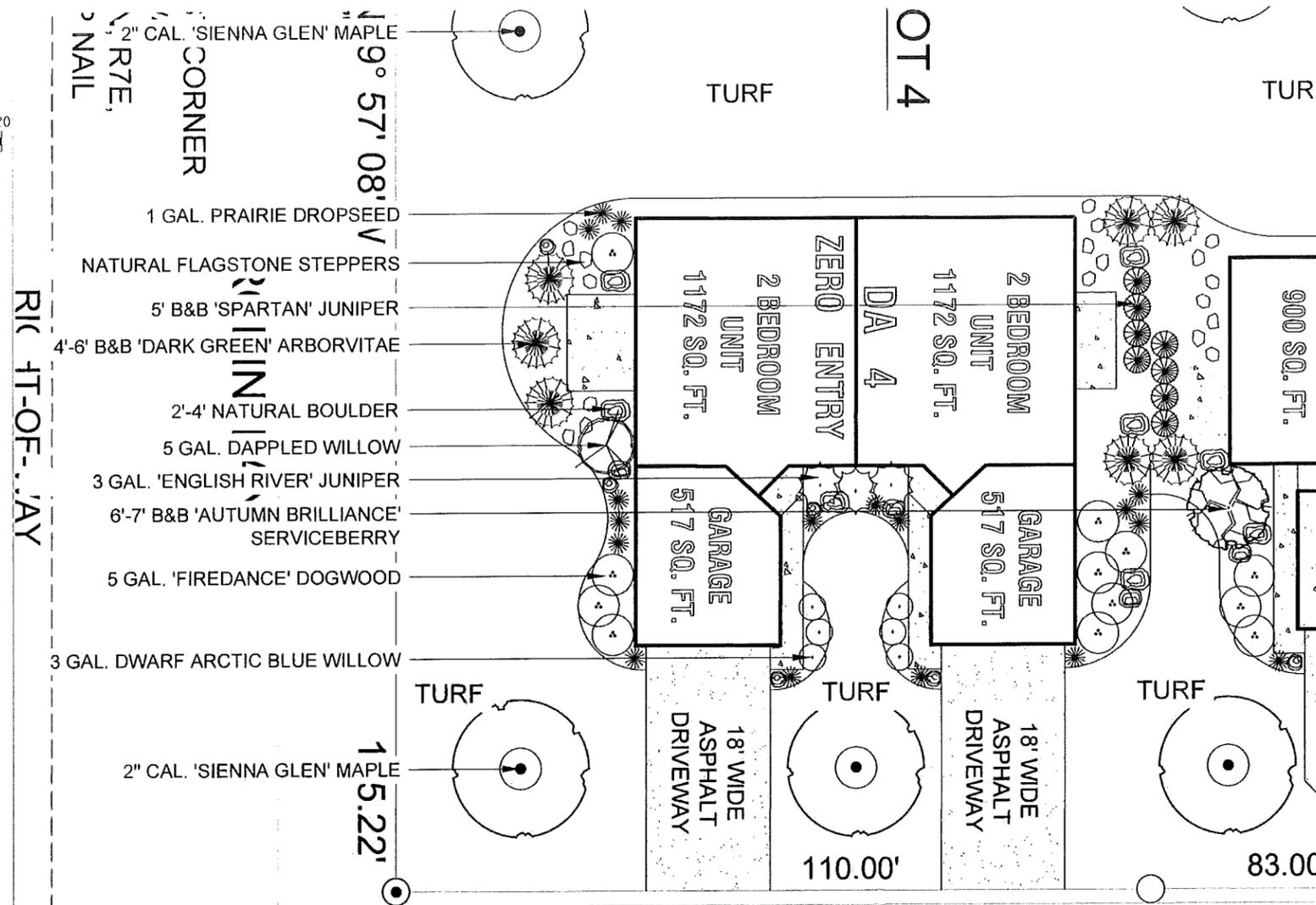
4a-23

PLANT SCHEDULE:

| TYPE | QUANTITY/SIZE | COMMON NAME | MATURE SIZE H x W |
|------------------|---------------|----------------------------------|-------------------|
| DECIDUOUS TREE | 15 2" CAL | 'SIENNA GLEN' MAPLE | 60' x 40' |
| DECIDUOUS TREE | 4 6'-7' B&B | 'AUTUMN BRILLIANCE' SERVICEBERRY | 20' x 12-15' |
| EVERGREEN SHRUB | 24 6' B&B | 'SPARTAN' JUNIPER | 13' x 3-5' |
| EVERGREEN SHRUB | 18 4'-6" B&B | 'DARK GREEN' ARBORVITAE | 16' x 4-8' |
| EVERGREEN SHRUB | 10 3 GAL | 'ENGLISH RIVER' JUNIPER | 4' x 6-8' |
| DECIDUOUS SHRUB | 30 5 GAL | 'FIREDANCE' DOGWOOD | 3' x 4-5' |
| DECIDUOUS SHRUB | 4 5 GAL | 'DAPPLED' WILLOW | 5' x 5-6' |
| DECIDUOUS SHRUB | 12 3 GAL | DWARF ARCTIC BLUE WILLOW | 5' x 4' |
| ORNAMENTAL GRASS | 43 1 GAL | PRAIRIE DROPSEED GRASS | 3' x 3' |

GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL R.O.W.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITIES WHICH MAY EFFECT HISHER WORK.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHERS AT SITE AND COMPLETE HIS WORK PER OWNERS CONSTRUCTION SCHEDULE.
- ALL PLANT MATERIALS SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT AT APPROPRIATE TIME OR UPON REQUEST OF OWNER.
- REPLACEMENT TOPSOIL SHALL BE CLEAN, FREE OF STONES, WEEDS AND OTHER UNDESIRABLE DEBRIS.
- PLANTING SOIL MIX (INCIDENTAL COST ITEM)
1. MIX 1 LB. 5-20-20 COMMERCIAL FERTILIZER PER CU. YD. TOPSOIL.
2. THOROUGHLY MIX 1-PART SAND AND 1-PART PEAT MOSS WITH 5-PARTS FERTILIZER AND TOPSOIL.
- USE PLANTING SOIL AT ALL LOCATIONS PER DETAILS THIS SHEET.
- LANDSCAPE CONTRACTOR SHALL VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- SOD SHALL BE CULTURED WITH PREDOMINATELY KENTUCKY BLUEGRASS SEED OF RECENT DISEASE RESISTANT INTRODUCTIONS. NO GUARANTEE ON SOD EXCEPT ANY SOD NOT SATISFACTORY AT TIME OF COMPLETION INSPECTION SHALL BE PROMPTLY REPLACED PRIOR TO COMPLETION OF JOB. STAKE SOD ON SLOPES 3:1 AND GREATER.
- WHERE EXISTING CONCRETE/ASPHALT AREAS ARE TO BE REPLACED WITH LANDSCAPING, PROVISIONS SHOULD BE TAKEN TO COORDINATE EXCAVATION OF SUBSOIL TO A DEPTH OF 2' WITH GRADING CONTRACTOR. REPLACE WITH COMPACTED TOPSOIL. ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- LANDSCAPE CONTRACTOR TO INSTALL 'CURV-RITE' 1" X 4" ALUMINUM EDGING - BRONZE COLOR AROUND ALL PLANTING BEDS AS SHOWN ON THIS PLAN.
- USE FINELY SHREDDED HARDWOOD BARK MULCH. NO DYED MULCHES. INSTALL 3" DEPTH. NO FILTER FABRIC OR EDGING AROUND TREES OUTSIDE SHRUB BEDS.
- GRAVEL MULCH SHALL BE 4"-6" FRACTURED BLUE-GRAY RIP RAP STONE. INSTALL 4" DEPTH MINIMUM WITH APPROVED WEED BARRIER FABRIC.
- LANDSCAPE CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER ALL LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER. DAILY AS DEEMED NECESSARY BY THE CITY.
- GENERAL CONTRACTOR TO SWEEP PAVEMENT AREAS PRIOR TO TURN OVER TO OWNER.



REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: January 18, 2018
SUBJECT: Certified Survey Map Review

APPLICANT: Riverside Land Surveying, agent
PROPERTY OWNER: Farmhouse Fitness LLC

PROPERTY ADDRESS(S): 1501 Bluebird Lane

REQUEST: Certified Survey Map (CSM) approval to divide property into four (4) parcels to facilitate a duplex development.

CURRENT ZONING: Suburban Commercial (SC)

ADJACENT ZONING: SC (West & South), SR-3 (North, South, East & West)

PROPOSED ZONING: UDD

NARRATIVE:

The applicant seeks Plan Commission approval for a land division creating four (4) parcels to facilitate a duplex development. The CSM request is tied to the rezoning application request scheduled prior to this review. If the zoning request is denied, the applicant has stated they would likely not move forward with the survey, as presented. If the property is rezoned to UDD, the proposed lots would meet applicable zoning standards.

ADDITIONAL CONSIDERATION(S):

- Consideration should be made for requesting additional right-of-way be dedicated along Robin Lane. Typical Town road right-of-way is 60-66 feet in width. The existing width at the subject property is 50 feet.

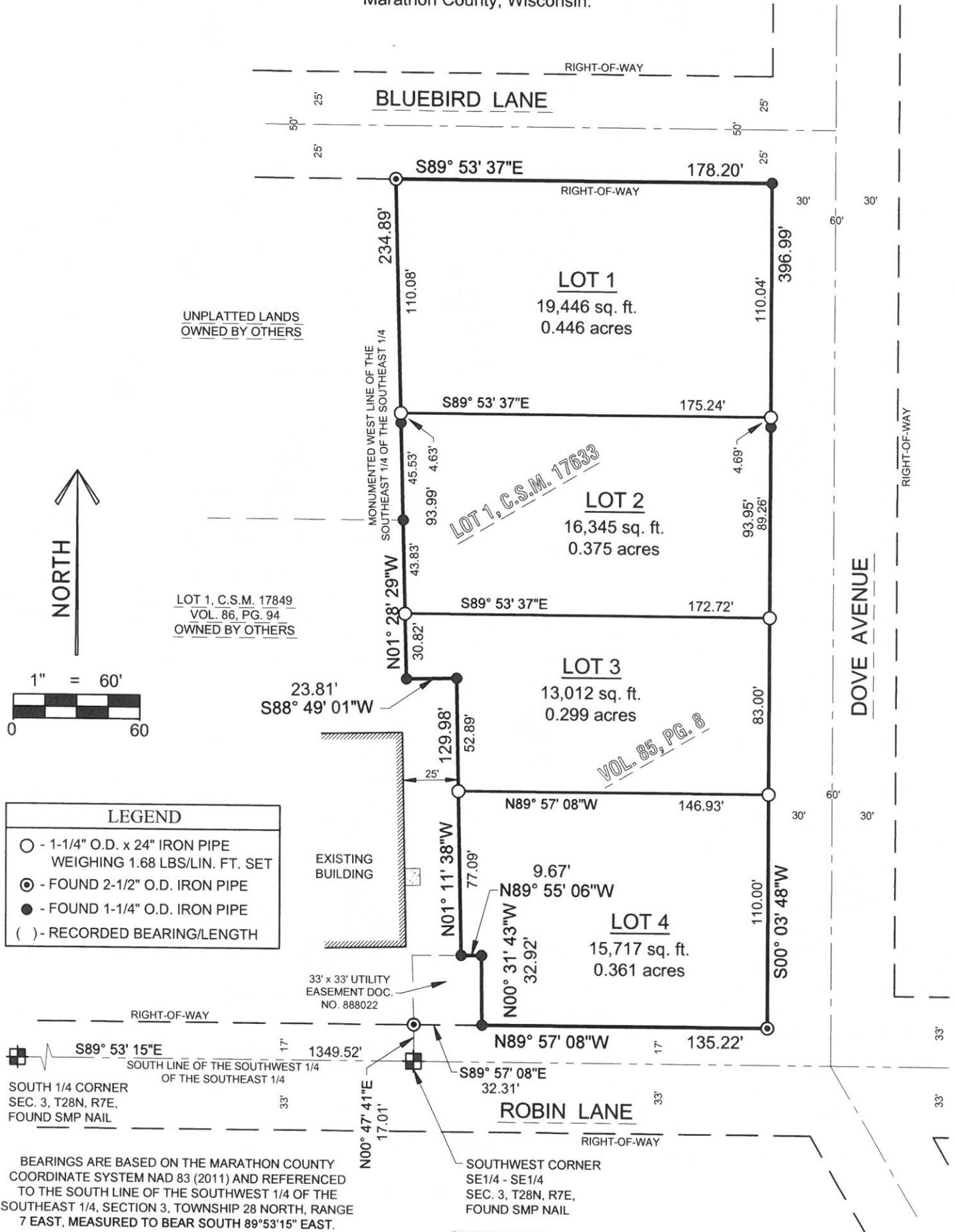
POSSIBLE ACTION:

1. Recommend approval of the CSM for the property addressed 1501 Bluebird Lane, as presented.
2. Recommend approval of the CSM for the property addressed 1501 Bluebird Lane, with conditions / modifications.
3. Recommend denial of the CSM for the property addressed 1501 Bluebird Lane.

PRELIMINARY

MARATHON CO. CERTIFIED SURVEY MAP NO. _____

Of Lot 1 of Certified Survey Map Number 17633 recorded in Volume 85 of Certified Survey Maps on Page 8 located in part of the Southeast 1/4 of the Southeast 1/4 of Section 3, Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.



SHEET 1 OF 3

| | | |
|---|-------------------------------|--------------------------|
| RIVERSIDE LAND SURVEYING LLC 6304 KELLY PLACE WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894 email - mail@riversidelandsurveying.com | DRAWN BY M.F.L. | DATE JANUARY 17, 2018 |
| | CHECKED BY K.J.W. | PROJECT NO. 2503 |
| | PREPARED FOR: DENYON HOMES | |

PRELIMINARY

MARATHON CO. CERTIFIED SURVEY MAP NO. _____

Of Lot 1 of Certified Survey Map Number 17633 recorded in Volume 85 of Certified Survey Maps on Page 8 located in part of the Southeast 1/4 of the Southeast 1/4 of Section 3, Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.

I, Keith J. Walkowski, Professional Land Surveyor S-2717, hereby certify to the best of my knowledge and belief: That I have surveyed, mapped and divided Lot 1 of Certified Survey Map Number 17633 recorded in Volume 85 of Certified Survey Maps on Page 8 located in part of the Southeast 1/4 of the Southeast 1/4 of Section 3, Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin, described as follows:

Commencing at the South 1/4 corner of said Section 3; Thence South 89°53'15" East along the South line of said Southwest 1/4 of the Southeast 1/4, 1349.52 feet to a found SMP nail at the Southwest corner of said Southeast 1/4 of the Southeast 1/4; Thence North 00°47'41" East along the monumented West line of said Southeast 1/4 of the Southeast 1/4, 17.01 feet to the North right of way line of Robin Lane; South 89°57'08" East along said North right of way line, 32.31 feet to the West line of said Lot 1 of Certified Survey Map No. 17633 which is the point of beginning; Thence North 00°31'43" West along said West line of Lot 1, 32.92 feet; Thence North 89°55'06" West along said West line of Lot 1, 9.67 feet; Thence North 00°11'38" West along said West line of Lot 1, 129.98 feet; Thence South 88°49'01" West along said West line of Lot 1, 23.81 feet to said monumented West line of Southeast 1/4 of the Southeast 1/4 and said West line of Lot 1; Thence North 01°28'29" West along said monumented West line of the Southeast 1/4 of the Southeast 1/4 and said West line of Lot 1, 234.89 feet to the South right of way line of Bluebird Lane; Thence South 89°53'37" East along said South right of way line, 178.20 feet to the West right of way line of Dove Avenue; Thence South 00°03'48" West along said West right of way line, 396.99 feet to said North right of way line of Robin Lane; Thence North 89°57'08" West along said North right of way line, 135.22 feet to the point of beginning.

That the above described parcel of land contains 64,520 square feet or 1.481 acres, more or less;

That said parcel is subject to all easements, restrictions and right-of-ways of record;

That I have made this survey, division and map thereof at the direction of Heath Tappe, Agent of said parcel;

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Code and the subdivision regulations of Marathon County, City of Wausau and the Town of Rib Mountain in Surveying, Mapping and Dividing the same.

That said map is a correct and accurate representation of the exterior boundaries of said parcel and the division thereof.

Dated this _____ day of _____

Riverside Land Surveying LLC
Keith J. Walkowski
P.L.S. No. 2717

SHEET 2 OF 3

| | | |
|--|-----------------------------------|---------------------------------|
|  RIVERSIDE LAND SURVEYING LLC 6304 KELLY PLACE WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894 email - mail@riversidelandsurveying.com | DRAWN BY M.F.L. | DATE JANUARY 17, 2018 |
| | CHECKED BY K.J.W. | PROJECT NO. 2503 |
| | PREPARED FOR: DENYON HOMES | |

PRELIMINARY

MARATHON CO. CERTIFIED SURVEY MAP NO. _____

Of Lot 1 of Certified Survey Map Number 17633 recorded in Volume 85 of Certified Survey Maps on Page 8 located in part of the Southeast 1/4 of the Southeast 1/4 of Section 3, Township 28 North, Range 7 East, Town of Rib Mountain, Marathon County, Wisconsin.

I _____ being duly appointed by the Rib Mountain Town Board do hereby certify the attached Certified Survey Map has been reviewed and there are no objections to recording this certified survey in the Register of Deeds Office. This instrument shall be recorded by _____ or the Town's approval thereof shall terminate.

Approved for recording under the terms of the Marathon Co. Land Division Regulations.

By _____

Date _____
Marathon County Department of Conservation,
Planning and Zoning
CPZ Tracking No. _____

City of Wausau Approval Certificate:

I, William Hebert, Zoning Administrator, being duly appointed by the Common Council of the City of Wausau, do hereby certify that the attached Certified Survey Map has been reviewed and there are no objection to the recording this Certified Survey Map in the Office of the Register of Deeds.

Dated this _____ day of _____

William Hebert

SHEET 3 OF 3

| | | |
|---|-----------------------------------|---------------------------------|
|  RIVERSIDE LAND SURVEYING LLC 6304 KELLY PLACE WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894 email - mail@riversidelandsurveying.com | DRAWN BY M.F.L. | DATE JANUARY 17, 2018 |
| | CHECKED BY K.J.W. | PROJECT NO. 2503 |
| | PREPARED FOR: DENYON HOMES | |

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: January 18, 2018
SUBJECT: Pre-Application Conference

APPLICANT: Don Hall, agent
PROPERTY OWNER: Scott and Lori Geurink

PROPERTY ADDRESS(S): 6200 South Mountain Road

REQUEST: Pre-Application conference regarding a potential rezoning and minor subdivision development

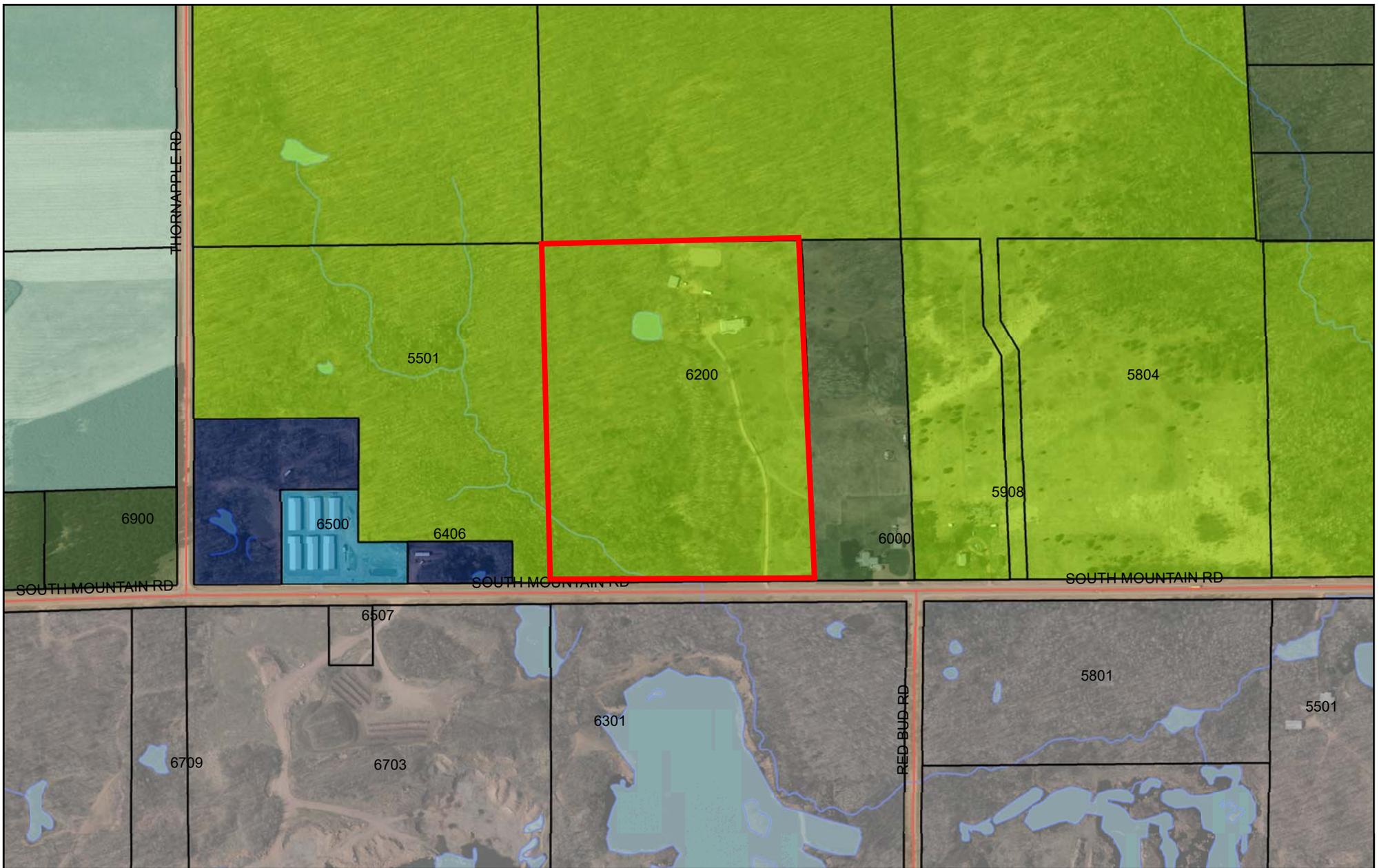
CURRENT ZONING: Rural Residential (RR)
ADJACENT ZONING: RR (North & West), ER-1 (East), RA-1 (South)
PROPOSED ZONING: To be Determined (Likely ER-1)

FUTURE LAND USE DESIGNATION: Forest and Cropland

NARRATIVE:

The applicant seeks Plan Commission feedback on the concept of rezoning approximately 29 acres on the north side of South Mountain Road, between Red Bud and Thornapple Roads (see attached). The rezoning is intended to facilitate a minor (or county) subdivision. At the time this report was generated no additional information was provided by the applicant.

POSSIBLE ACTION: No action to be taken. Item is for discussion purposes only.



6a-2

Rib Mountain: "Where Nature, Family, and Sport Come Together"

Prepared by:
www.mi-tech.us

Map Printed: 1/17/2018

| | | | | | |
|-------------------------|--------------------------------|----------------------------|------------------------|---------------------------|------------------------|
| Parcel Outline | EO Estate Office | OR Outdoor Recreation | RR Rural Residential | SR-2 Suburban Residential | UR-8 Urban Residential |
| Parcel Address | ER-1 Estate Residential | RA-1 Rural Agricultural | SC Suburban Commercial | SR-3 Suburban Residential | Building Outline |
| Zoning Districts | MR-4 Mixed Residential | RA-2 Rural Agricultural | SI Suburban Industrial | UC Urban Commercial | Road Centerline |
| Unzoned | CR-5ac Countryside Residential | NC Neighborhood Commercial | SO Suburban Office | UDD Unified Development | Water Feature |
| ROW | | | | | |

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REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: January 18, 2018
SUBJECT: Pre-Application Conference

APPLICANT: Bill Shnowske
PROPERTY OWNER: BPW Development LLC

PROPERTY ADDRESS(S): 2804 South Mountain Road

REQUEST: Pre-Application conference regarding a potential Unified Development District project

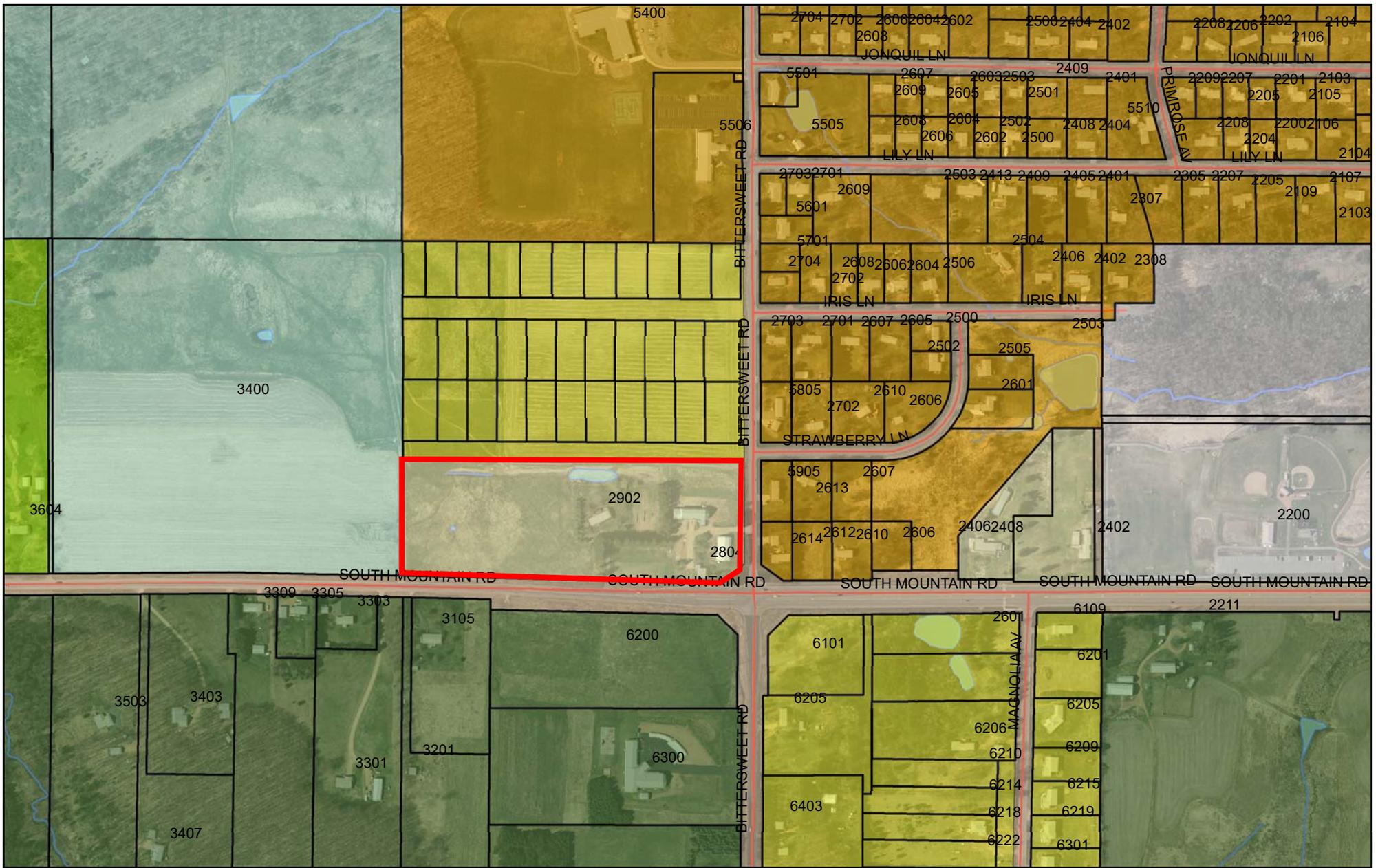
CURRENT ZONING: Mixed Residential - 4 (MR-4)
ADJACENT ZONING: SR-2 (North), SR-3 (East), ER-1 (South), RA-1 (West)
PROPOSED ZONING: MR-4 and UDD

FUTURE LAND USE DESIGNATION: Residential

NARRATIVE:

The applicant seeks Plan Commission feedback on a proposed mixed-use development including an 18-lot subdivision and three (3) commercial buildings totaling approximately 19,000 ft². The subject property was rezoned in 2017 from Rural Agricultural as part of the development of Royal View Estates. The subdivision portion of the proposal appears to meet minimum zoning and land division ordinance provisions. The proposed commercial development likely requires rezoning to UDD. This would provide the Town the ability to oversee the end users over time.

POSSIBLE ACTION: No action to be taken. Item is for discussion purposes only.



6b-2

Rib Mountain: "Where Nature, Family, and Sport Come Together"

Prepared by: **mi-TECH**
www.mi-tech.us

Map Printed: 1/18/2018

| | | |
|---|--|---|
| <ul style="list-style-type: none"> ▭ Parcel Outline ▭ Parcel Address Zoning Districts ▭ Unzoned ▭ CR-5ac Countryside Residential ▭ EO Estate Office ▭ ER-1 Estate Residential ▭ MR-4 Mixed Residential ▭ NC Neighborhood Commercial ▭ OR Outdoor Recreation ▭ RA-1 Rural Agricultural ▭ RA-2 Rural Agricultural ▭ ROW ▭ RR Rural Residential ▭ SC Suburban Commercial ▭ SI Suburban Industrial ▭ SO Suburban Office | <ul style="list-style-type: none"> ▭ SR-2 Suburban Residential ▭ SR-3 Suburban Residential ▭ UC Urban Commercial ▭ UDD Unified Development ▭ UR-8 Urban Residential ▭ Building Outline ▭ Road Centerline ▭ Water Feature | <p>0 250 500 Feet</p> <p>N</p> <p>DISCLAIMER: The information and depictions contained herein are for informational purposes only; Mi-Tech specifically disclaims accuracy in this reproduction and advises that if specific and precise accuracy is required that certified maps, surveys, plats, or other official means be obtained. There is no Statement of Accuracy for any parcel data; the parcel layer is considered an Index Parcel Layer not a Cadastral Parcel Layer. For planning purposes only.</p> |
|---|--|---|

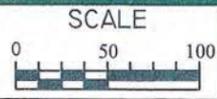
DRAWING FILE: P:\7000-7099\7071A HALL PROPERTY\DWG\DESIGN\7071A-CONCEPT.DWG LAYOUT: DESIGN
 PLOTTED: JAN 15, 2018 - 9:27AM PLOTTED BY: NATHAN



REI Engineering, Inc.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



REI CIVIL & ENVIRONMENTAL
 ENGINEERING, SURVEYING



| DATE | REVISION | BY | CHK'D |
|------|----------|----|-------|
| | | | |
| | | | |
| | | | |

| | |
|---------------|----------------|
| DESIGNED BY: | CHECKED BY: |
| SURVEYED BY: | APPROVED BY: |
| DRAWN BY: NAP | DATE: 01/12/18 |

ROYAL VIEW ESTATES
 PROPOSED DEVELOPMENT

REI
 REI No. 7071A
 SHEET DES PG# 1

6b-3