



## PLAN COMMISSION

### OFFICIAL AGENDA & NOTICE

A meeting of the Town of Rib Mountain Plan Commission will be held on **MAY 13, 2020; 6:00 P.M. at the Town of Rib Mountain Municipal Center, 227800 Snowbird Avenue\***. The Town Board may attend for purposes of gathering information. Subject matter for consideration and possible action follows:

- 1.) Call to Order
- 2.) Roll Call
- 3.) Minutes
  - a. **Approval of minutes from the March 11, 2020 Plan Commission meeting.**
- 4.) Old Business(s):
  - a. **None**
- 5.) Public Hearing (s)
  - a. **Docket #2020-05: Discussion and recommendation on a requested Conditional Use Permit for a *Temporary Asphalt Plant (Unclassified Use)* at 147037 County Road N.**
  - b. **Docket #2020-06: Discussion and recommendation on a requested Conditional Use Permit for a *Detached Garage in excess of 1,000 square feet* at 227800 Snowbird Avenue.**
- 6.) New Business(s):
  - a. **None**
- 7.) Comprehensive Plan Update:
  - a. **Discussion and approval of the final draft of the Comprehensive Plan document**
- 8.) Correspondence/ Questions/ Town Board Update:
  - a. **Report from Director of Community Development**
  - b. **April 2020 Building Permit Report**
- 9.) Public Comment
- 10.) Adjourn

**\*NOTICE:** Attendees may also join the meeting virtually via phone, tablet or computer by the following:  
<https://global.gotomeeting.com/join/768648533> or by dialing **+1 (786) 535-3211** with access code **768-648-533**

TOWN OF RIB MOUNTAIN  
PLANNING COMMISSION MEETING  
March 11, 2020

Chairperson Jay Wittman called the meeting of the Plan Commission to order at 6:00 pm. Other Plan Commission members present included Tom Steele, Jim Hampton, Steve Plunkett, Ryan Burnett, and Tonia Westphal. Also present were Director of Community Development, Jared Wehner and Building Inspector / Assistant Zoning Administrator, Paul Kufahl. Mary Kate Riordan was excused.

MINUTES:

**Motion by Tom Steele, second by Tonia Westphal to approve the minutes of the December 11th, 2019 Plan Commission meeting. Motion carried 6-0.**

**Motion by Tom Steele, second by Jim Hampton to approve the minutes of the February 12th, 2020 Plan Commission meeting. Motion carried 4-0, Steve Plunkett and Ryan Burnett abstained.**

OLD BUSINESS:

- a. *Docket #2020-02: Recommendation to Town Board on requested Precise Implementation Plan for site plan modification (parking lot) at 225005 Lilac Avenue (Service Master), per Section 17.233.*

Director of Community Development, Jared Wehner, noted the request was previously heard at the February 12<sup>th</sup>, 2020 Plan Commission meeting, where it was directed that staff work with the applicant and the adjacent property owner to better understand the impact of the stormwater runoff on the adjacent property. Wehner noted that Streets and Parks Superintendent, Scott Turner, reviewed the plan and met the owner on site in the Fall. He remains confident the modifications made will not impact the site any further than previously configured. Wehner also stated the applicant intends to regrade the drainage swale and restore the retention area this spring.

Tom Steele noted that given the size of the building there is a lot of water directed toward the adjacent property line and felt that if previous approvals created an issue, we should be able to offer a solution. He suggested the addition of eave troughs to direct the water flow away from the adjacent property.

Ryan Burnett questioned if there was a storm sewer system in the area. Wehner noted there was not, and that this may be part of a larger regional stormwater issue. Wehner also indicated the site was generally flat.

Tom Johnson, applicant representative, noted he reviewed the site and could confirm there was some contour to the ditch area described, but will be unable to fully determine the grade until the snow has melted.

Jay Wittman stated he felt there was a lack of calculated methodology in determining the adequacy of the current stormwater management plan, and questioned how Scott made the decision.

Wehner stated Turner had met with Candi Frank, applicant, on site in the fall to review site changes and determined the modifications would not create any issues with management of runoff. In addition to meeting with the applicant, Wehner noted he and Turner met with the owner of the adjacent property. However, the homeowner was not able to provide any specific details on damages created by the applicant's water runoff.

Commissioners questioned the location of the drainage swale, the capacity of the swale and whether there were any impervious surface standards.

Wehner indicated the swale was located along the eastern property line but its capacity was unknown and that staff did not have the underlying lot coverage standards immediately available, but the added pavement area was near negligible in comparison to the lot coverage from the building and existing parking area.

Tonia Westphal indicated, based on her professional experience, she felt a 1' deep ditch line should be adequate for rain events.

Jim Hampton questioned whether the neighbor's water issues were due to surface water or subsurface water, indicating that changes in site conditions could alleviate surface water drainage, but subsurface water would be more difficult to manage.

Burnett asked for clarification on the applicant's intent to clear the ditch. Wehner noted the applicant had stated in a submitted letter they would be willing to regrade the drainage swale and restore the retention area as part of this paving project.

Commissioner questioned whose responsibility is it to make sure the storm water is managed properly. They felt that because the applicant made additional improvements to the site, that it was in their purview to review all items of the site that may be affected by the modification, one of which being water runoff and storage. Commissioners felt that additional investigation needed to be done by staff to determine if the swale as previously approved remains adequate for the site conditions.

**Motion by Tonia Westphal, second by Tom Steele to recommend approval of the Precise Implementation Plan for the site plan modification at the property addressed 225005 Lilac Avenue; conditioned upon staff providing the applicant with ditch/swale sizing designed to manage a two (2) year rain event, per NR151.**

**Motion carried 6-0.**

PUBLIC HEARING(S):

- a. *Docket #2020-004: Discussion and recommendation on a requested Conditional Use Permit for a Detached Private Residential Garage, Carport, or Utility Shed in excess of 1000 square feet at 219790 County Road KK.*

Wehner indicated the applicant requests a Conditional Use Permit for the construction of a 28' x 39'6" detached garage that would result in a total of 2000 square feet of detached building for the subject property. He also noted the proposed garage would be considerably setback from the street and side

yards and the elevation differences would make the structures visual impact very minor. Kufahl indicated the applicant had received approval for up to 1500 square feet of building area in 2019, but due to the recent detached buildings ordinance amendment, he is requesting an additional 500 square feet. Kufahl also noted the ordinance change required the applicant to meet dwelling unit setbacks for the detached building, which they do exceed. He then indicated the garage design has 14-foot-tall sidewalls and a 12-foot-tall overhead door which were consist with the previous approval.

Wittman opened the public hearing at 6:29pm.

John Fink, applicant, verified the building size displayed to confirm it was an adequate representation of his request. Kufahl confirmed the dimensions were accurate.

Wittman closed the public hearing at 6:30pm

**Motion by Jim Hampton, second by Steve Plunkett to recommend approval of the Conditional Use Request for a Detached Private Residential Garage, Carport, or Utility Shed in excess of 1000 square feet at the property addressed 219790 County Road KK.**

**Motion carried 6-0.**

NEW BUSINESS: None

COMPREHENSIVE PLAN UPDATE:

*a. Discussion and direction on Community Vision Statement*

Wehner read the vision statement as presented in the draft Comprehensive Plan and took comments from the Commission on possible revisions. Commissioners discussed a number of potential changes, including; removal of focus on the highway corridor, making the natural resources and family environment the emphasis, and establishing a balance between the regional level commercial development and natural features which provide for the high quality of life. Wehner asked the Commissioners to email him any additional suggestions.

*b. Discussion and direction on Chapter Vision Statements*

Wehner opened discussion about the individual chapter vision statements asking the Commissioners to review them and submit any requested amendments via email.

*c. Discussion and direction on current draft of the Comprehensive Plan*

Staff and Commissioners reviewed the Goals and Objectives of each chapter supplying the following comments.

General Formatting

- Tables should display numbers before percentages

- Maps should better define the Town boundaries
- Multi-level listing of goals and objectives should be better identified through the use of both numbers and letters or roman numerals.
- Review map, table, and figure labelling to verify consistent, accurate, and sequential identification.
- Don't let wordsmithing of statements alter the intent of the goals and objectives.

#### Natural, Agricultural and Cultural Resources

- Goal 1, Objective 4. Westphal indicated current State legislation does not allow for the creation of a Stormwater Utility, however, the statement should remain in the event the laws are changed.
- Goal 3, Objective 2, Action 1. Burnett questioned why we didn't prohibit mining on a broader scale. Wehner noted State regulation makes it difficult to prohibit mining on a large scale, but we can identify specific prohibited areas by establishing reasonable criteria for why it should not occur.

#### Housing and Neighborhoods

- Goal 1 Objective 2. Remove this statement and strength Objective 3
- Goal 1 Objective 3. Add the statement to refer to same neighborhoods
- Goal 2 Objective 3. Identify specific areas/zoning that it would apply. Modify wording to make the objective feel like less of a call to action. Increase positivity of statement by promoting or encouraging specific design elements versus restriction other design features.
- Goal 3 Objective 2. Add "that are" after residents in the initial statement.
- Goal 3 Objective 3. Change "Work to lobby" to a statement that would indicate we are aligning with other organizations to make the suggested change; lobby is too strong of a statement.
- Goal 3 Objective 4. Modify statement to remain consist with other statements in the document related to updates of the Zoning Code.

#### Utilities and Community Facilities

- Burnett indicated he has documentation that the former landfill identified on Dogwood Rd is not accurate. He asked staff to verify.
- Goal 1 Objective 5. Change verbiage so "In rural areas" is not repetitive. Plunkett suggested requiring new private systems installed within the 2040 Sewer Service Boundary to provide sewer and water stubs for future connection to services. Westphal would like to add a statement to encourage the Sanitary District to be more proactive in expansion of services within the Sewer Service Boundary.
- Goal 4 Objective 1. Eliminate reference to cul-de-sacs and focus on increasing connectivity.
- Goal 3 Objective 4. Discussed whether partnering or working with community organizations to develop a community center is a viable option. Staff believed it would be worth while to have those amenities in Town.
- Goal 5. Keep statement, however, State law does not currently allow for it.

## Transportation

- Goal 1. Westphal asked staff to include a statement related to the accessible transportation features for people with disabilities, citing a lack of sidewalk and overall inclusivity.
- Goal 1 Objective 1 Action 1. Consider removal of reference to State Patrol, because the Town has minimal influence on their operations.
- Goal 3 Objective 4. Define new development as the creation of subdivisions and new commercial facilities.
- Goal 4. Wehner indicated the parks and trails identified in the Town's adopted Recreational Plan will be incorporated into the Official Map.

## Economic Development

- Goal 3 Objective 2 Action 3. Commissioners briefly discussed the impact of the Municipalities Agreement, identifying it as a "good neighbor policy".

## Land Use

- Future Land Use Map. Better define the environment protection areas along the Rib River by including lands to the east of those currently identified which are at a specific elevation or within the floodplain.
- Goal 1 Objective 3. Change reference from "high" density development to "higher" density. Consider establishing criteria for future development to determine if anticipated tax base increase would support to increased need for services. Add a reference to "sustainable densities and development".

## Intergovernmental Cooperation

- None modifications requested

## CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

### *a. Report from Director of Community Development*

Wehner reported he has been contacted by two parties who are interested in the Fast Signs building, one proposed use would be the sale of golf carts and other retail items and the second use would be Indoor Commercial Entertainment.

Hampton asked if the suspension of work on the Camp Phillips Centre project in Weston would create additional opportunities for development in Rib Mountain. Wehner indicated that businesses that were interested in that location would likely look elsewhere in the market and Rib Mountain would be a viable location.

*b. February 2020 Building Permit Report*

Kufahl noted it has been a slow start to the construction year with only 17 permits being issued thus far in 2020. He did note that a number of commercial construction projects will be getting underway shortly, namely the Fore Development property which includes Jiffy Lube and Dollar Tree.

PUBLIC COMMENT: None

ADJOURN:

**Motion by Tom Steele, second by Jim Hampton to adjourn the Plan Commission Meeting. Motion carried 6-0. Meeting adjourned at 8:23 pm.**

Respectfully Submitted,

Paul Kufahl, Building Inspector / Assistant Zoning Administrator



# TOWN OF RIB MOUNTAIN

Where Nature, Family & Sport Come Together

## AGENDA ITEM COVER SHEET

**MEETING/DATE:** Plan Commission, May 13, 2020

**ITEM:** Docket #2020-05: Discussion and recommendation on a requested Conditional Use Permit for a Temporary Asphalt Plant (Unclassified Use) at 147037 County Road N.

**FROM:** Jared Wehner, Director of Community Development

## APPLICANT & PROPERTY INFORMATION

**APPLICANT:** Matt Eslinger, American Asphalt of Wisconsin, Inc., PO Box 98, Mosinee, WI 54455

**OWNER:** Mathy Construction, 920 10th Avenue North, Onalaska, WI 54650

**PROPERTY ADDRESS:** 147037 County Road N

**PIN:** 068-2807-191-0981

**ZONING:** RA-2 Rural Agricultural

**ADJACENT ZONING:** **NORTH:** SI / RA-2 **SOUTH:** RA-2 **EAST:** RA-2 **WEST:** RA-2

**FUTURE LAND USE:** Future Quarry

## BACKGROUND

The applicant was previously granted approval for the temporary use and there has not been any issues from the neighbors or the town due to any associated activity. The use will be until October 1, 2020 to serve construction projects within the Town as well as the western half of Marathon County.

**PREVIOUS ACTIONS:** Approval of CUP (5/7/2019)

**STAFF COMMENTS:** See Determination Report (attached)

**ATTACHMENTS:** Conditional Use Determination Report, Draft CUP Approval, Zoning Map, Proposed Site Plan, Project Narrative and Application

## POSSIBLE ACTIONS TO BE TAKEN

See Determination Report (attached)

**REQUESTED ACTION:** Recommend approval of option A on the attached Determination Report.

**FURTHER ACTION(S):** Forward the Plan Commission recommendation to the Town Board on 5/19 [Staff]

**OFFICE USE – DO NOT PUBLISH IN PAPER**

1<sup>ST</sup> NOTICE DATE: **Wednesday, May 6<sup>th</sup>, 2020**

2<sup>ND</sup> NOTICE DATE: **Saturday, May 9<sup>th</sup>, 2020**

**HEARING DATE: Wednesday, May 13<sup>th</sup>, 2020**

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**TOWN OF RIB MOUNTAIN  
NOTICE OF HEARING ON A  
CONDITIONAL USE REQUEST**

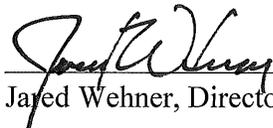
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NOTICE IS HEREBY GIVEN that a public hearing will be held before the Plan Commission of the Town of Rib Mountain, Marathon County, Wisconsin, at the **Rib Mountain Municipal Center, 227800 Snowbird Ave, on Wednesday, the 13<sup>th</sup> day of May, 2020**, at 6:00 P.M. to hear and consider the request of:

American Asphalt, applicant, requests conditional use approval for a temporary asphalt plant at the property addressed 147037 County Road N, per Rib Mountain Municipal Code Section 17.056(9)(e) – Unclassified Uses.

Town of Rib Mountain, owner, request of a conditional use approval for construction of private residential garage area in excess of 1,000 square feet of gross floor area in a residential zoning district at the property addressed 227800 Snowbird Avenue; per Rib Mountain Municipal Code Section 17.056(8)(d) – Detached Private Residential Garage, Carport, or Utility Shed.

DATED this 29<sup>th</sup> day of April 2020



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Jayed Wehner, Director of Community Development



## CONDITIONAL USE PERMIT DETERMINATION REPORT

<b>FROM:</b>	Jared Wehner, Zoning Administrator		
<b>DOCKET NO.</b>	2020-005	<b>HEARING DATE:</b>	May 13, 2020
<b>APPLICANT:</b>	Matt Eslinger, American Asphalt of Wisconsin, Inc., PO Box 98, Mosinee, WI 54455; James Bergacker, American Asphalt of Wisconsin, Inc., 614 North 3 <sup>rd</sup> Avenue, Wausau, WI 54401 <sup>(Owner)</sup>		
<b>OWNER:</b>	Mathy Construction, 920 10 <sup>th</sup> Avenue North, Onalaska, WI 54650		
<b>LOCATION:</b>	147037 County Road N, Lots 1 of CSM Vol 49 Pg 64 (#11582) (Doc# 1220402), excluding CSM Vol 91 Pg 89 (#18458) (Doc# 1790449) [32.993 Acres]		
<b>DESCRIPTION:</b>	A temporary asphalt plant to supply Marathon County Highway Dept. projects from June 1, 2020 to October 1, 2020, Monday through Saturday.		

*The Department of Community Development of the Town of Rib Mountain, pursuant to the Town of Rib Mountain Zoning Code, Subchapter 11 Processes, Section 17.225 Conditional Use Procedures, hereby makes the following findings and evaluation to the Town of Rib Mountain Plan Commission:*

## GENERAL INFORMATION

<b>ZONING:</b>	<b>RA-2 Rural Agricultural</b>
<b>DEFINITION:</b> <b>17.035(1)(b)</b>	<p>This district is intended to permit development which is solely of a rural community character, and high-density husbandry or intensive agriculture. The land use standards for this district permit very low density single-family residential development at a density of 1 dwelling unit for every 35 gross acres, as well as a variety of agricultural and agricultural support land uses. Density and intensity standards for this district are designed to ensure that development which requires even a minimum of urban services does not occur until such services are available. As such, the Rural Agricultural (RA-2-35ac) District shall either serve as a designation which preserves and protects agricultural activities, or as a "holding zone" which provides for an interim land use (agriculture) that will easily permit further development (with rezoning to another district) at the appropriate time.</p> <p>Rationale: This district is used to provide for the protection of high-density agricultural activities, and a very low-density residential area to service the high-density agricultural use.</p>
<b>LAND USE:</b>	<b>Unclassified Uses - Temporary Asphalt Plant</b>
<b>DEFINITION SECTION:</b> <b>17.056(8)(d)</b>	In case of a question as to the classification of a proposed use, the question may be submitted to the Planning Commission for consideration as a conditional use. Uses already classified in any district are not eligible for a determination. The Planning Commission shall consider the impacts of the proposed temporary use and specify the permitted length of time for any approvals recommended.

## REVIEW OF PERFORMANCE STANDARDS

As an unclassified use, there are not any designated *Proposed* performance standards. The following are standards set in place by the previous Conditional Use Permit:

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|--|--|
| a. Hours of Operations: Monday through Saturday;<br>6:00 AM to 7:00 PM | <i>Monday through Saturday (no hours proposed)</i> |
| b. Timeframe: May 1, 2019 through July 31, 2019                        | <i>June 1, 2020 through October 1, 2020</i>        |

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- |   |   |
|---|---|
| c. Truck traffic shall be limited to county roads, when possible  | <i>Truck traffic routes have not been addressed</i> |
| d. Materials (mud, spilled asphalt, etc.) tracked onto the roadway shall be cleaned up by the end of the working day. | <i>Cleanup of debris has not been addressed</i>     |
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### **DETERMINATION / FINDING OF FACT**

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1. How is the proposed conditional use permit (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town

*The proposed use is temporary and the overall impact on neighboring properties or the neighborhood will only be during operational hours.*

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2. How is the proposed conditional use permit (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

*The location of the proposed use will be located further back into the property and will generally not be seen from the roadway. The use is only temporary.*

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3. Is it likely that the proposed conditional use permit, in its proposed location and as depicted on the required site plan (see (3)(d), above), will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Town or other governmental agency having jurisdiction to guide growth and development?

*Future Land use shows this area as Quarry, which this use fits as a temporary use.*

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4. Does the proposed conditional use permit maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

*The neighboring properties are of a similar use. Former mining activity is consistent with the proposed temporary asphalt plant.*

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5. Is the proposed conditional use permit located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?

*The asphalt plant will not be served by public sewer, water, electricity, and gas.*

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6. Do the potential public benefits of the proposed conditional use permit outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

*Yes. The few negative impacts on the surrounding properties or neighborhood that are identified are minimal due to similar activities occurring on those properties.*

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### **BACKGROUND INFORMATION**

The applicant was granted Conditional Use approval for similar temporary uses in 2008, 2016 and 2019. Per record, there have not been any complaints in regard to the activity associated with the asphalt plant. The previous approvals consisted of 4 acres used.

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## CURRENT PROPERTY CONDITIONS

The property is 32.993 acres in area, located near the west end of the Town on County Road N behind the Town's Yard Waste Site and is zoned Rural Agricultural (RA-2). The open pit mine is still considered to be active.

## STAFF COMMENTS

Some conditions that should be considered before approval:

- Routes on town roads should be approved by the Superintendent of Public Works prior to use.
- Hours of operation should be limited to 6:00 AM to 7:00 PM, Monday through Saturday as done in past approvals.
- All debris deposited on any public road from the associated activity shall be cleaned up by the end of the workday.

For past approvals for this site and activity, Staff has not received any complaints from neighbors in regards from noises, odors, or unsightly upkeep.

## POSSIBLE ACTIONS TO BE TAKEN

- A. Recommend the Board of Supervisors approves the application for a Conditional Use Permit allowing for the use of an unclassified use (temporary asphalt plant), at 147037 County Road N, with the following conditions:
    1. All activity associated to the Temporary Use of the Asphalt Plant shall be in accordance with the submitted site plan and other submitted complimentary materials (Exhibit 'A');
    2. All routes that are taken shall be on County Roads when possible. In the event a truck route is to use a Town road, approval shall be received in writing (or email) from the Superintendent of Public Works prior to the routes use;
    3. Hours of operations for the Temporary Asphalt Plant and associated activities shall be from 6:00 to 19:00, Monday through Saturday;
    4. All debris deposited on any public right-of-way from any associated activity shall be cleaned up by the end of the workday;
    5. Any future additions, modifications or changes in said site plan, beyond those described in, on and within the boundary depicted on the Site Plan, shall be approved by the Plan Commission and Town Board of Supervisors through the modification process of the precise implementation plan, as described in Section 17.233, in advance of any construction or modification;
    6. This Conditional Use Permit shall expire on October 1, 2020.
    7. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing herein shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order or rule by the Village, Marathon County, State of Wisconsin, United States or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property in any specific respects described herein; and
    8. Should any paragraphs or phase of herein be determined by a court of competent jurisdiction to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the remainder of this conditional use and the remainder shall continue in full force and effect.
  - B. Defer action on the precise implementation plan based on insufficient material/evidence provided by the applicant or uncertainty among the commissioners based on evidence presented at the public hearing. A decision shall be made within 60 days of opening the public hearing. If the Plan Commission chooses not to make a recommendation or fails to make a recommendation to the Town Board within 45 days of the public hearing, the request for a precise implementation plan shall be forwarded to the Town Board without a Plan Commission recommendation.
  - C. Recommend the Board of Supervisors deny the application for precise implementation plan based on substantial evidence (or lack thereof) provided at the public hearing.
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Rib Mountain:  
*"Where Nature, Family, and  
 Sport Come Together"*

Prepared by:  
**MI-TECH**  
 www.mi-tech.us

Map Printed: 5/6/2020

 Parcels Outline  
**Zoning Districts  
 (Sept 2017)**  
**Zoning  
 Districts**  
 Unzoned

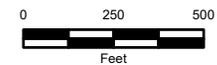
 CR-5ac  
 Countryside  
 Residential  
 EO Estate Office  
 Residential  
 ER-1 Estate  
 Residential  
 MR-4 Mixed  
 Residential

 NC Neighborhood  
 Commercial  
 OR Outdoor  
 Recreation  
 RA-1 Rural  
 Agricultural  
 RA-2 Rural  
 Agricultural

 ROW  
 RR Rural  
 Residential  
 SC Suburban  
 Commercial  
 SI Suburban  
 Industrial  
 SO Suburban  
 Office

 SR-2 Suburban  
 Residential  
 SR-3 Suburban  
 Residential  
 UC Urban  
 Commercial  
 UDD Unified  
 Development

 UR-8 Urban  
 Residential  
 Building Outline  
 Road Centerline  
 Water Feature  
 Water Feature



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**TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WI**  
**CONDITIONAL USE PERMIT #2020-005**

This CONDITIONAL USE PERMIT is issued as of 19<sup>th</sup> day of May 2020, by the BOARD OF SUPERVISORS of the TOWN OF RIB MOUNTAIN to AMERICAN ASPHALT OF WISCONSIN, INC., applicant, 614 N 3<sup>rd</sup> Avenue, Wausau, WI 54401.

WHEREAS, MATHY CONSTRUCTION COMPANY, is the owner of the property described below in the TOWN OF RIB MOUNTAIN is leasing a portion of property to AMERICAN ASPHALT OF WISCONSIN, LLC, who intends to operate a UNCLASSIFIED USE (TEMPORARY ASPHALT PLANT) related use. The said property upon which said activity is to take place is more particularly described as follows:

Lot 1 of Certified Survey Map number 11582 filed with the Register of Deeds of Marathon County, Wisconsin in Volume 49, Page 64 of Surveys (Document #1220402) and excluding Lot 1 of Certified Survey map 18458 filed with the Register of Deeds of Marathon County, Wisconsin in Volume 91, Page 89 of Surveys (Document #1790449); part of the northwest ¼ of the northeast ¼ of Section 19 T28N R7E, Town of Rib Mountain, Marathon County, Wisconsin; more commonly known as 147037 County Road N.

WHEREAS, the property described above is in the RA-2 RURAL AGRICULTURAL base zoning district of the TOWN OF RIB MOUNTAIN, which permits the temporary use of an UNCLASSIFIED USE (TEMPORARY ASPHALT PLANT) in said zoning district through CONDITIONAL USE PERMIT; and

WHEREAS, AMERICAN ASPHALT OF WISCONSIN, INC. has requested a CONDITIONAL USE PERMIT for the property, Section 17.225 Conditional Use Procedures, so as to allow the use of an UNCLASSIFIED USE (TEMPORARY ASPHALT PLANT) on said premise; and

WHEREAS, a petition for a CONDITIONAL USE PERMIT having been duly filed with the Town Zoning Administrator, and placed on the Plan Commission agenda after first being assured by Town professional staff review that the application is complete, and following staff review and Plan Commission review, investigation and a public hearing which was held May 13, 2020, the Plan Commission after giving full consideration to the criteria and standards for granting a CONDITIONAL USE PERMIT, as set forth in the Town Ordinance, including Section 17.233(6), recommend approval of said application in writing to the BOARD OF SUPERVISORS.

WHEREAS, upon the discontinuance of the use of an UNCLASSIFIED USE (TEMPORARY ASPHALT PLANT) on said premise for a period exceeding 365 days, the issuance of the CONDITIONAL USE PERMIT shall automatically become invalidated. The burden of proof shall be on the property owner to conclusively demonstrate that the conditional use was operating during this period.

WHEREAS, all requirements of the approved CONDITIONAL USE PERMIT shall be continued regardless of ownership of the subject property and shall run with the land, except where limited by the zoning code or by a specific condition attached to this conditional use grant herein.

NOW, THEREFORE, BE IT RESOLVED, the BOARD OF SUPERVISORS of the TOWN OF RIB MOUNTAIN, in Marathon County, Wisconsin, here by grant AMERICAN ASPHALT OF WISCONSIN, INC. a CONDITIONAL USE PERMIT for the property described above, for the use of an UNCLASSIFIED USE (TEMPORARY ASPHALT PLANT) as defined in Section 17.056(9)(e) of the Town Zoning Ordinance. The conditions for the issuance of the conditional use permit are as follows:

1. All use and activity associated to the Temporary Asphalt Plant shall be in accordance with the submitted site plan and other submitted complimentary materials (Exhibit 'A');
2. All routes that are taken shall be on County Roads when possible. In the event a truck route is to use a Town road, approval shall be received in writing (or email) from the Superintendent of Public Works prior to the routes use;
3. Hours of operations for the Temporary Asphalt Plant and associated activities shall be from 6:00 to 19:00, Monday through Saturday;
4. All debris deposited on any public right-of-way from any associated activity shall be cleaned up by the end of the workday;



DRAFT

THIS INSTRUMENT DRAFTED BY:  
Jared M. Wehner, Zoning Administrator  
Community Development, Town of Rib Mountain  
227800 Snowbird Avenue, Wausau, WI 54401

Town of Rib Mountain

Planning and Zoning Commission

**Application for Public Hearing**

PETITIONER / APPLICANT:

NAME: American Asphalt of WI  
ADDRESS: PO Box 98 CITY: Mosinee ZIP: 54455  
OFFICE PHONE: 715-693-5200 CELL PHONE: 715-310-7957

PROPERTY OWNER:

NAME: Mathy Construction Co.  
ADDRESS: 920 10th Ave N. CITY: Onalaska ZIP: 54650  
OFFICE PHONE: 608-783-6411 CELL PHONE: \_\_\_\_\_

SIGNATURE OF OWNER / APPLICANT: Matt Mathy

-----  
REQUEST: Conditional Use Permit for a temporary asphalt plant  
to supply asphalt for Marathon County. Requesting time frame of 6/1/00-10/1/00  
Monday thru Saturday

APPLICABLE ZONING CODE SECTION: 17.056(9)(e) - Unclassified  
-----

LOCATION:

PARCEL ADDRESS: 6703 S. Mountain Dr.  
PARCEL NUMBER: 34.192807.002.002.00.00  
LEGAL DESCRIPTION: \_\_\_\_\_

**AGREEMENT FOR PAYMENT OF CONSULTING SERVICES  
RELATING TO ZONING APPLICATION**

WHEREAS, the Town of Rib Mountain has hired a consultant to assist in the review of any application for zoning permits or approvals under the Town Zoning Ordinances; and

WHEREAS, the Town Ordinances provide that the Applicant shall pay the costs for the services provided to the Town of Rib Mountain by the consultant in the review and analysis of the application being requested and payment for the services performed by the consultant are considered a normal part of the fee for the permit requested by the Applicant from the Town of Rib Mountain.

THEREFORE, in consideration of the request for permit to be reviewed and considered by the Plan Commission and/or Town Board of the Town of Rib Mountain, the undersigned,  
as Applicant, hereby agrees as follows:

- A. To pay the costs for the consulting services rendered to the Town of Rib Mountain for review and recommendations regarding the action under the Town Zoning Ordinance being requested by the Applicant.
- B. A bill for such services will be sent to the Applicant at the time of completion of the consulting services and shall be due and payable to the Town within 15 days of receipt.
- C. Failure of the Applicant to make payment for the services provided to the Town due to the Application shall result in the Town commencing legal action for collection of monies due and owing to the Town for services, being a part of the Application process followed by the Town for review and approval of the zoning action requested.

TOWN OF RIB MOUNTAIN

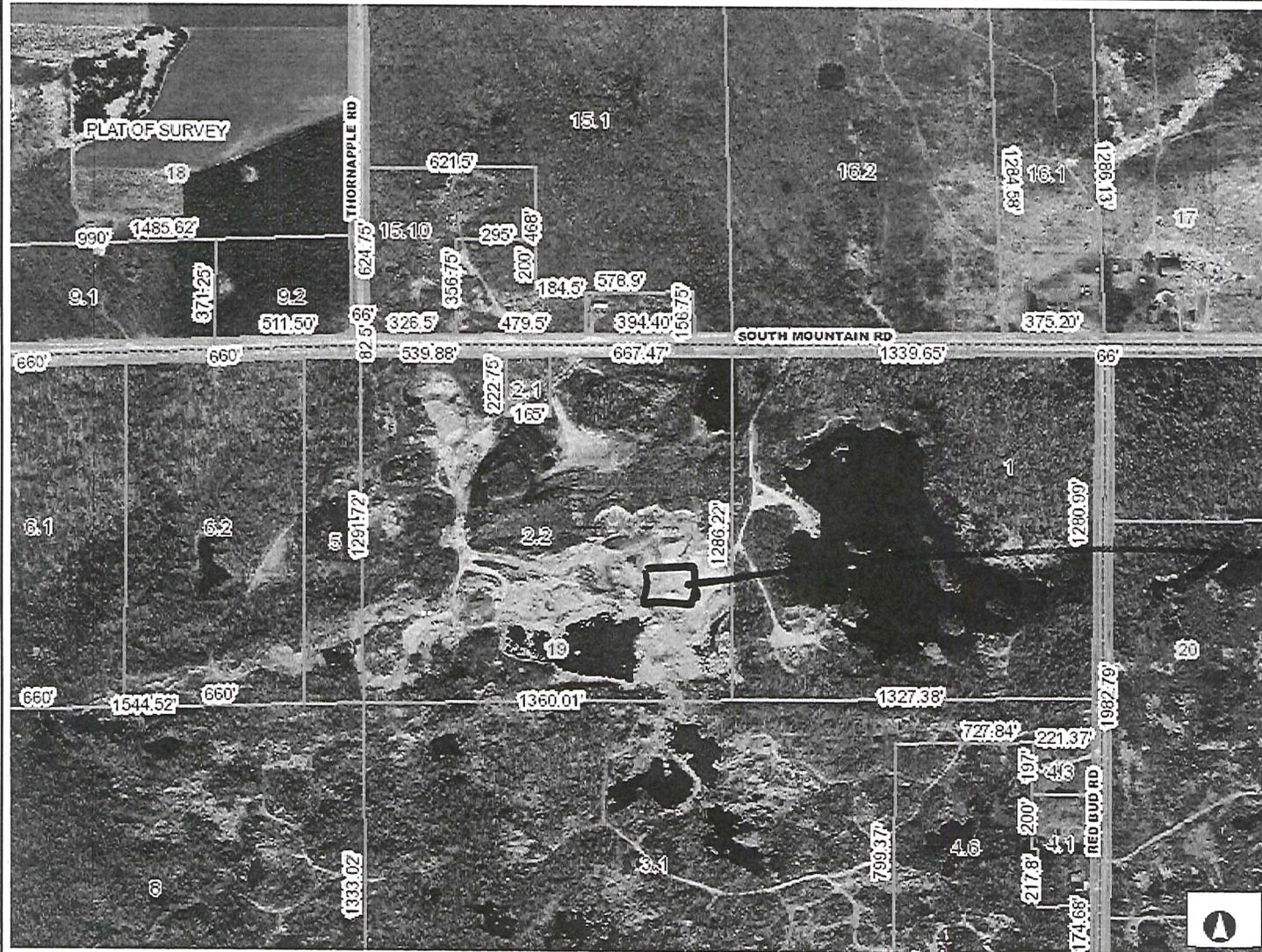
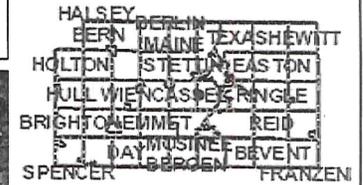
I have read the foregoing and understand that I shall be responsible for a payment to the Town of Rib Mountain for consulting services directly resulting from the review and analysis of the Zoning Application submitted to the Town of Rib Mountain.

  
\_\_\_\_\_  
Applicant

3-9-20  
\_\_\_\_\_  
Date



# Land Information Mapping System



### Legend

- Parcels
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Road Names
- Named Places
- Municipalities
- 2010 Orthos
  - Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

PLANT SITE

277.17 0 277.17 Feet

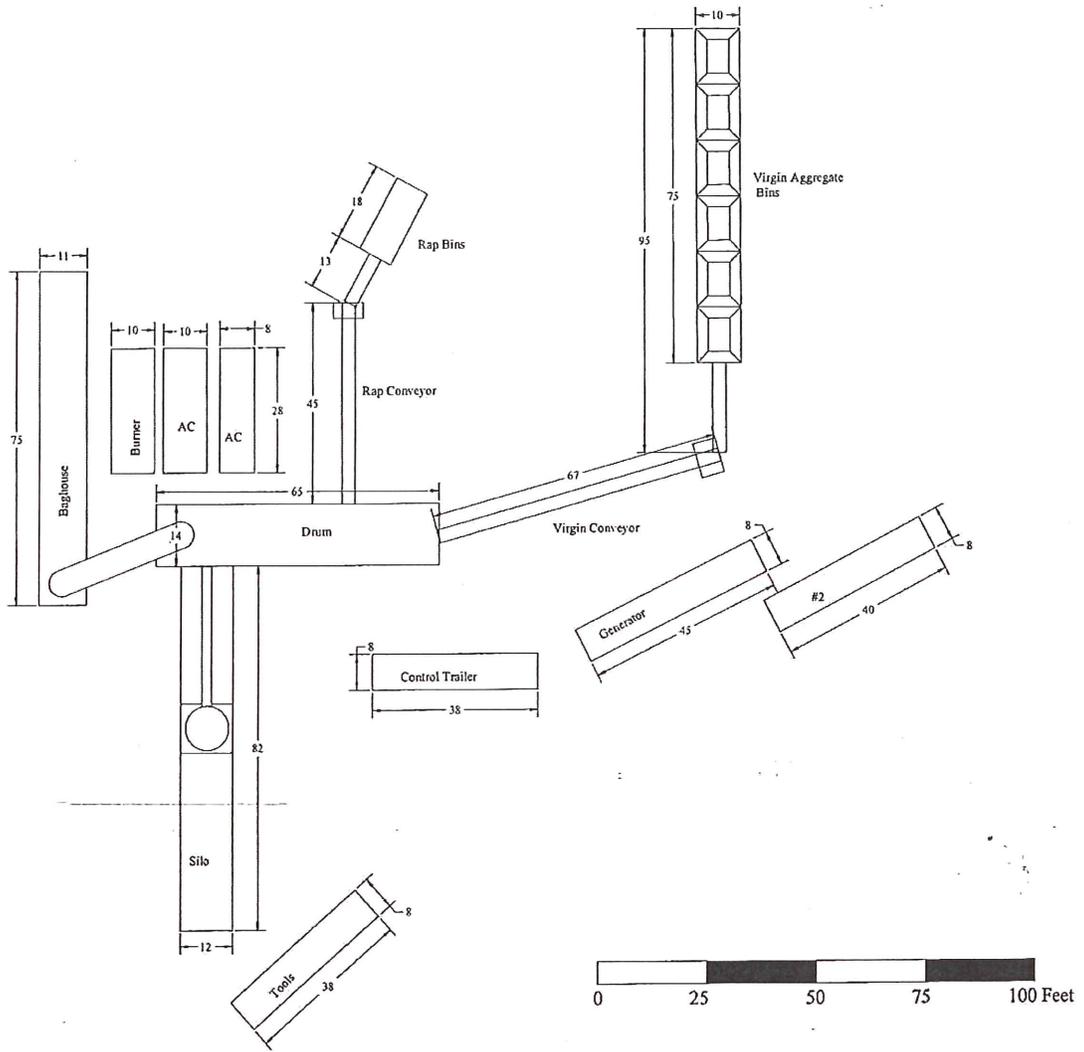


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DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes





# TOWN OF RIB MOUNTAIN

Where Nature, Family & Sport Come Together

## AGENDA ITEM COVER SHEET

<b>MEETING/DATE:</b>	Plan Commission, May 13, 2020
<b>ITEM:</b>	Docket #2020-06: Discussion and recommendation on a requested Conditional Use Permit for a Detached Garage in excess of 1,000 square feet at 227800 Snowbird Avenue.
<b>FROM:</b>	Jared Wehner, Director of Community Development

## APPLICANT & PROPERTY INFORMATION

<b>APPLICANT:</b>	Town of Rib Mountain, 227800 Snowbird Avenue, Wausau, WI 54401
<b>OWNER:</b>	Town of Rib Mountain, 227800 Snowbird Avenue, Wausau, WI 54401
<b>PROPERTY ADDRESS:</b>	227800 Snowbird Avenue
<b>PIN:</b>	068-2807-043-0950
<b>ZONING:</b>	SR-3 – Suburban Residential
<b>ADJACENT ZONING:</b>	<b>NORTH:</b> OR / SR-3 <b>SOUTH:</b> OR <b>EAST:</b> SR-3 <b>WEST:</b> OR
<b>FUTURE LAND USE:</b>	Future Single-Family Residential

## BACKGROUND

The Town of Rib Mountain and the Lions Club of Rib Mountain have entered into an agreement to construct and lease a garage on the Town's property to serve as long-term vehicle storage and wash bay (Lion's Club side only). The Town will store its two municipal vehicles on its side while the Lion's Club stores their food truck/trailer with a wash bay. The Lions Club portion will be heated and served by public sewer and water.

<b>PREVIOUS ACTIONS:</b>	None
<b>STAFF COMMENTS:</b>	See Determination Report (attached)
<b>ATTACHMENTS:</b>	Conditional Use Determination Report, Draft CUP Approval, Zoning Map, Proposed Site Plan, Project Narrative and Application

## POSSIBLE ACTIONS TO BE TAKEN

	See Determination Report (attached)
<b>REQUESTED ACTION:</b>	Recommend to approve option A on the attached Determination Report.
<b>FURTHER ACTION(S):</b>	Forward the Plan Commission recommendation to the Town Board on 5/19 [Staff]

**OFFICE USE – DO NOT PUBLISH IN PAPER**

1<sup>ST</sup> NOTICE DATE: **Wednesday, May 6<sup>th</sup>, 2020**

2<sup>ND</sup> NOTICE DATE: **Saturday, May 9<sup>th</sup>, 2020**

**HEARING DATE: Wednesday, May 13<sup>th</sup>, 2020**

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**TOWN OF RIB MOUNTAIN  
NOTICE OF HEARING ON A  
CONDITIONAL USE REQUEST**

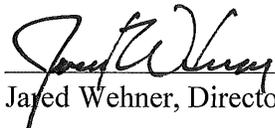
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NOTICE IS HEREBY GIVEN that a public hearing will be held before the Plan Commission of the Town of Rib Mountain, Marathon County, Wisconsin, at the **Rib Mountain Municipal Center, 227800 Snowbird Ave, on Wednesday, the 13<sup>th</sup> day of May, 2020**, at 6:00 P.M. to hear and consider the request of:

American Asphalt, applicant, requests conditional use approval for a temporary asphalt plant at the property addressed 147037 County Road N, per Rib Mountain Municipal Code Section 17.056(9)(e) – Unclassified Uses.

Town of Rib Mountain, owner, request of a conditional use approval for construction of private residential garage area in excess of 1,000 square feet of gross floor area in a residential zoning district at the property addressed 227800 Snowbird Avenue; per Rib Mountain Municipal Code Section 17.056(8)(d) – Detached Private Residential Garage, Carport, or Utility Shed.

DATED this 29<sup>th</sup> day of April 2020



\_\_\_\_\_  
Jayed Wehner, Director of Community Development



## CONDITIONAL USE PERMIT DETERMINATION REPORT

<b>FROM:</b>	Jared Wehner, Zoning Administrator		
<b>DOCKET NO.</b>	2020-006	<b>HEARING DATE:</b>	May 13, 2020
<b>APPLICANT:</b>	Town of Rib Mountain 227800 Snowbird Avenue, Wausau, WI 54401		
<b>OWNER:</b>	Town of Rib Mountain, 227800 Snowbird Avenue, Wausau, WI 54401		
<b>LOCATION:</b>	227800 Snowbird Avenue, Lots 1 and 2 of CSM Vol 36 Pg 33 (#9030) (Doc# 102363)		
<b>DESCRIPTION:</b>	A 4-stall detached garage, carport or utility shed in excess of 1,000 square feet.		

*The Department of Community Development of the Town of Rib Mountain, pursuant to the Town of Rib Mountain Zoning Code, Subchapter 11 Processes, Section 17.225 Conditional Use Procedures, hereby makes the following findings and evaluation to the Town of Rib Mountain Plan Commission:*

## GENERAL INFORMATION

**ZONING:** **SR-3 Suburban Residential**

**DEFINITION: 17.035(2)(F)**

This district is intended to permit development which has a moderate density, suburban community character. This district is intended to be used for single-family areas served by both public water and public sanitary sewer. Density and intensity standards for this district are designed to ensure that the Suburban Residential (SR-3) District shall serve as a designation which preserves and protects the suburban residential community character of its area. A variety of residential development options are available in this district, with a Maximum Gross Density (MGD) of 3 dwelling units per gross acre.

Rationale: This district is used to provide for the permanent protection of a moderate density residential area for those who want to live in an suburban residential environment and who retain enough land with their residence, or in their development, to ensure that the suburban community character is maintained as long as the Suburban Residential (SR-3) District designation is retained, regardless of how much development occurs within that area.

**LAND USE:** **Detached Private Residential Garage, Carport or Utility Shed**

**DEFINITION SECTION:  
17.056(8)(D)**

A private residential garage, carport or utility shed is a structure which primarily accommodates the sheltered parking of motorized and nonmotorized passenger and recreation vehicles, the storage of recreation equipment, the storage of residential maintenance equipment and the storage of other household items. It shall be located on the same lot as a residential unit or units and the general requirements for all accessory uses as described in Section 17.056(8) shall be met.

## REVIEW OF PERFORMANCE STANDARDS

1. Permitted by Right in All Districts provided:

- |   |  |
|---|--|
| a. Only one of each type of the 3 structures listed above (garage, carport and utility shed) is constructed.  | <i>The property currently does not have any detached structures.</i> |
| b. The total floor area of the garage, carport and utility shed, when added together, does not exceed 1,000 square feet of gross floor area.            | <i>The proposed structure is 1,476 sq. ft.</i>                       |
| c. The sidewall of any detached garage, carport or utility shed shall not exceed 12 feet in height nor shall any door opening exceed 10 feet in height. | <i>Sidewall height is 12' 1 1/8" in height.</i>                      |

2. Special Use Regulations:	<i>Not applicable.</i>
3. Conditional Use Regulations in All Districts.	
a. Construction of more than one of each type of the 3 structures listed above (garage, carport and utility shed) may be approved as a conditional use.	<i>The request is for one detached garage. There is not another garage on the property.</i>
b. Construction of garages, carports and utility sheds on parcels equal to or greater than 5 acres when the total floor area of all of the structures will exceed 1,000 square feet of gross floor area may be approved as a conditional use; but said structure shall not exceed 2,000 square feet unless for an approved agricultural use.	<i>The applicant's property is currently 5.42 acres which meets the 5-acre minimum for such a request.</i>
1. Minimum setback requirements for said structures shall increase to that of a principle structure within the given zoning district.	<i>1. The new building would have a side yard setback of approximately 58 feet, which meets this requirement.</i>
c. In all Districts, detached residential garages, carports or utility sheds with a sidewall height in excess of 12 feet and/or a door opening exceeding 10 feet in height may be approved as a conditional use.	<i>Conditional use is required. Side walls are in excess of 12 feet in height.</i>
d. The request shall comply with Section 17.225, standards and procedures applicable to all conditional uses.	<i>Meets requirements.</i>

## DETERMINATION / FINDING OF FACT

- How is the proposed conditional use permit (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town

*The proposed structure is intended for institutional use (municipal vehicle storage), and overall impact on neighboring properties or the neighborhood will be less than the current situation. At this time, the Town stores its vehicles outside, in the parking lot.*

- How is the proposed conditional use permit (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

*The location of the proposed structure is considerable set back from any lot lines that are shared with any residences, reducing direct impact on neighboring properties to near zero. The garage is orientated in a way to minimize the impact on the neighboring driving range and the building will have finishes that compliments the principal structure.*

- Is it likely that the proposed conditional use permit, in its proposed location and as depicted on the required site plan (see (3)(d), above), will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Town or other governmental agency having jurisdiction to guide growth and development?

*Future Land use shows this area single-family residential, which this use fits as an accessory use.*

- Does the proposed conditional use permit maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

*The proposed structure furthers the intent of the single-family residents, as detached structures are a permitted use, when under 1,000 sq. ft.*

5. Is the proposed conditional use permit located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?

*The garage will be served by public sewer, water, electricity, and gas. The garage will serve as a wash bay and storage for the Lions Club, which will be heated.*

6. Do the potential public benefits of the proposed conditional use permit outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

*Yes. There are not any negative impacts on the surrounding properties or neighborhood that are identified at this time.*

## BACKGROUND INFORMATION

The Town of Rib Mountain and the Lions Club of Rib Mountain have entered into an agreement to construct and lease a garage on the Town's property to serve as long-term vehicle storage and wash bay (Lion's Club side only). The Town will store its two municipal vehicles on its side while the Lion's Club stores their food truck/trailer with a wash bay. The Lions Club portion will be heated and served by public sewer and water.

## CURRENT PROPERTY CONDITIONS

The property was home to a church, which has been converted to the Town's municipal center with a large parking lot.

## STAFF COMMENTS

The building should have little visual impact on the adjacent neighbors and vehicular traffic on County Road NN due to the setback and positioning on the property.

## POSSIBLE ACTIONS TO BE TAKEN

- A. Recommend the Board of Supervisors approves the application for a precise implementation allowing for the installation of a Detached Private Residential Garage, Carport or Utility Shed, at 219790 County Road KK, with the following conditions:
1. Construction of the Detached Private Residential Garage, Carport or Utility Shed shall be in accordance with the performance standards depicted on the Site Plan and Building Specifications (as approved by the Building Permit);
  2. Any future additions, modifications or changes in said site plan and/or building plan, beyond those described in, on and within the boundary depicted on the Site Plan, or those depicted on the Sign Specifications shall be approved by the Plan Commission and Town Board of Supervisors through the modification process of the precise implementation plan, as described in Section 17.233, in advance of any construction or modification;
  3. Should the work associated with the building permit not be completed and inspected prior to the permit expiring, then this approval shall be revoked, per Section 17.233(6)(h);
  4. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing herein shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order or rule by the Village, Marathon County, State of Wisconsin, United States or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property in any specific respects described herein; and
  5. Should any paragraphs or phase of herein be determined by a court of competent jurisdiction to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the remainder of this conditional use and the remainder shall continue in full force and effect.
- B. Defer action on the precise implementation plan based on insufficient material/evidence provided by the applicant or uncertainty among the commissioners based on evidence presented at the public hearing. A decision shall be made within 60 days of opening the public hearing. If the Plan Commission chooses not to make a recommendation or fails to make a recommendation to the Town Board within 45 days of the public hearing, the request for a precise implementation plan shall be forwarded to the Town Board without a Plan Commission recommendation.
- C. Recommend the Board of Supervisors deny the application for precise implementation plan based on substantial evidence (or lack thereof) provided at the public hearing.



Rib Mountain:  
*"Where Nature, Family, and  
 Sport Come Together"*

Prepared by:  
**mi-TECH**  
 www.mi-tech.us

Map Printed: 5/6/2020

 Parcels Outline  
**Zoning Districts (Sept 2017)**  
**Zoning Districts**  
 Unzoned

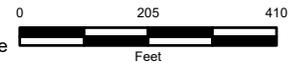
 CR-5ac Residential  
 EO Estate Office  
 ER-1 Estate Residential  
 MR-4 Mixed Residential

 NC Neighborhood Commercial  
 OR Outdoor Recreation  
 RA-1 Rural Agricultural  
 RA-2 Rural Agricultural

 ROW  
 RR Rural Residential  
 SC Suburban Commercial  
 SI Suburban Industrial  
 SO Suburban Office

 SR-2 Suburban Residential  
 SR-3 Suburban Residential  
 UC Urban Commercial  
 UDD Unified Development

 UR-8 Urban Residential  
 Building Outline  
 Road Centerline  
 Water Feature  
 Water Feature



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**TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WI**  
**CONDITIONAL USE PERMIT #2020-006**

This CONDITIONAL USE PERMIT is issued as of 19<sup>th</sup> day of May 2020, by the BOARD OF SUPERVISORS of the Town of Rib Mountain to the TOWN OF RIB MOUNTAIN, an incorporated municipality of the State of Wisconsin.

WHEREAS, the TOWN OF RIB MOUNTAIN, is the owner of the property described below in the TOWN OF RIB MOUNTAIN, and said owner intends to construct a DETACHED GARAGE, CARPORT OR UTILITY SHED EXCEEDING 1,000 SQUARE FEET AND EXCEEDING 1,000 SQUARE FEET OF TOTAL ACCESSORY AREA PER LOT. The said property upon which said activity is to take place is more particularly described as follows:

Parcels 1 and 2 of Certified Survey Map number 9030 filed with the Register of Deeds of Marathon County, Wisconsin in Volume 36, Page 33 of Surveys (Document #102363); part of the northeast ¼ of the southwest ¼ of Section 7 T28N R7E, Town of Rib Mountain, Marathon County, Wisconsin; more commonly known as 227800 Snowbird Avenue.

WHEREAS, the property described above is in the SR-3 SUBURBAN RESIDENTIAL base zoning district of the TOWN OF RIB MOUNTAIN, which permits the accessory use of a DETACHED GARAGE, CARPORT OR UTILITY SHED EXCEEDING 1,000 SQUARE FEET AND EXCEEDING 1,000 SQUARE FEET OF TOTAL ACCESSORY AREA PER LOT in said zoning district through conditional grant; and

WHEREAS, the TOWN OF RIB MOUNTAIN has requested a CONDITIONAL USE PERMIT for the property, Section 17.225 Conditional Use Procedures, so as to allow the use of a DETACHED GARAGE, CARPORT OR UTILITY SHED EXCEEDING 1,000 SQUARE FEET AND EXCEEDING 1,000 SQUARE FEET OF TOTAL ACCESSORY AREA PER LOT on said premise; and

WHEREAS, a petition for a Conditional Use Permit having been duly filed with the Town Zoning Administrator, and placed on the Plan Commission agenda after first being assured by Town professional staff review that the application is complete, and following staff review and Plan Commission review, investigation and a public hearing which was held May 13, 2020, the Plan Commission after giving full consideration to the criteria and standards for granting a Conditional Use Permit, as set forth in the Town Ordinance, including Section 17.233(6), recommend approval of said application in writing to the Board of Supervisors.

WHEREAS, upon the discontinuance of the use of a DETACHED GARAGE, CARPORT OR UTILITY SHED EXCEEDING 1,000 SQUARE FEET AND EXCEEDING 1,000 SQUARE FEET OF TOTAL ACCESSORY AREA PER LOT on said premise for a period exceeding 365 days, the issuance of the CONDITIONAL USE PERMIT shall automatically become invalidated. The burden of proof shall be on the property owner to conclusively demonstrate that the conditional use was operating during this period.

WHEREAS, all requirements of the approved Conditional Use Permit shall be continued regardless of ownership of the subject property and shall run with the land, except where limited by the zoning code or by a specific condition attached to this conditional use grant herein.

NOW, THEREFORE, BE IT RESOLVED, the Board of Supervisors of the Town of Rib Mountain, in Marathon County, Wisconsin, here by grant the TOWN OF RIB MOUNTAIN a Conditional Use Permit for the property described above, for the use of a DETACHED GARAGE, CARPORT OR UTILITY SHED EXCEEDING 1,000 SQUARE FEET AND EXCEEDING 1,000 SQUARE FEET OF TOTAL ACCESSORY AREA PER LOT as defined in Section 17.213(2)(e) of the Town Zoning Ordinance. The conditions for the issuance of the conditional use permit are as follows:

1. Construction of the 1,106 square foot Detached Private Residential Garage, Carport or Utility Shed shall be in accordance with the performance standards of aforementioned ordinance sections and what depicted on the Site Plan and Building Specifications on EXHIBIT A (as approved by the Building Permit);
2. The total accessory structure area on the parcel described above shall not exceed 1,994 square feet and total number of accessory structures shall not exceed a total of three (3).
3. Any future additions, modifications or changes in said site plan and/or building plan, beyond those described in, on and within the boundary depicted on the Site Plan, or those depicted on the Building Specifications shall be approved by the Plan Commission and Town Board of Supervisors through the modification process of the precise implementation plan, as described in Section 17.233, in advance of any construction or modification;



## GENERAL NOTES

- 1) ALL WORK SHALL BE PERFORMED WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION
- 2) THE CONTRACTOR SHALL EXAMINE THE PROJECT DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING WITH THE WORK.
- 3) THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- 4) EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS, UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE BETWEEN CONTRACTOR AND CUSTOMER.
- 5) MATERIALS AS SPECIFIED ON DRAWINGS AND CONTRACTUAL DOCUMENTS SHALL BE USED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING AND COORDINATION IN CONJUNCTION WITH SUBSTITUTIONS MADE TO SPECIFIED MATERIALS.
- 6) VIZION DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AS PART OF THEIR INSTALLATION LAYOUT.
- 7) CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND/OR SHARING TO ENSURE
- 8) STRUCTURAL STABILITY OF BUILDING DURING CONSTRUCTION.
- 9) ALL MATERIAL FINISHES AND STYLES INCLUDING BUT NOT LIMITED TO EXTERIOR SIDING, WINDOWS, EXTERIOR TRIM, AND INTERIOR AND EXTERIOR MILLWORK, ETC. SHALL BE APPROVED BY CUSTOMER.
- 10) DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 11) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN PLAN AND REPORT ERRORS TO VIZION DESIGN GROUP PRIOR TO COMMENCEMENT OF THE WORK, AND TO BE RESPONSIBLE FOR SAME.
- 12) PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE REQUIRED DESIGN LOADS WITH GOVERNING CODES AND SITE CONDITIONS. VERIFY WITH THE LOCAL BUILDING AGENCIES THE WIND, SEISMIC, SNOW, AND OTHER SPECIAL LOADING CONDITIONS. VIZION DESIGN GROUP SHALL BE NOTIFIED OF ALL DISCREPANCIES.
- 13) IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWINGS.
- 14) ALL DIMENSIONS TO OPENINGS ARE ROUGH FRAMING UNLESS NOTED OTHERWISE.
- 15) ALL DIMENSIONS TO STUD PARTITIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
- 16) CEILING HEIGHT DIMENSIONS ARE FROM FLOOR SHEATHING TO UNDERSIDE OF ROOF TRUSS OR FLOOR JOIST.
- 17) DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS NOTED OTHERWISE.
- 18) WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
- 19) FOLLOW ALL MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES UNLESS OTHERWISE DIRECTED.
- 20) PROVIDE ADEQUATE ANCHORAGE, BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, HVAC EQUIPMENT, ETC.
- 21) SLOPE ALL CONCRETE WALKS AWAY FROM EXTERIOR DOORS A MAXIMUM OF 2% TO PREVENT WATER FROM RUNNING OR BEING BLOWN UNDER DOORWAYS AND TO PREVENT STANDING WATER FROM ACCUMULATING IN FRONT OF DOORS.
- 22) PROVIDE FIRE-BLOCKING AND DRAFT-STOPPING IN SPACES CREATED BY CHASES, FURRING, ETC. IN ACCORDANCE WITH THE APPLICABLE CODES.
- 23) SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODES.
- 24) WINDOW DESIGN INTENDED TO BE IN COMPLIANCE WITH APPLICABLE CODES IN REGARDS TO EGRESS AND SAFETY GLASS. ALL WINDOW SIZES AND REQUIREMENTS TO BE VERIFIED BY CONTRACTOR WITH MANUFACTURER TO ENSURE COMPLIANCE WITH APPLICABLE CODES.

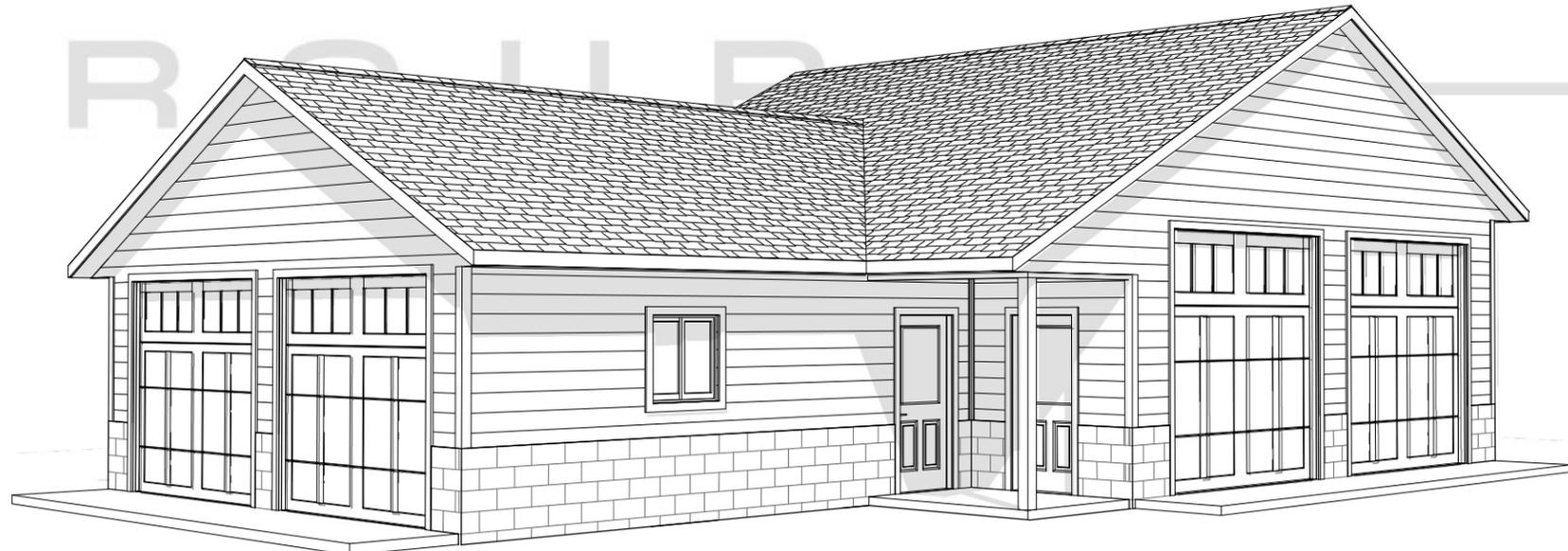
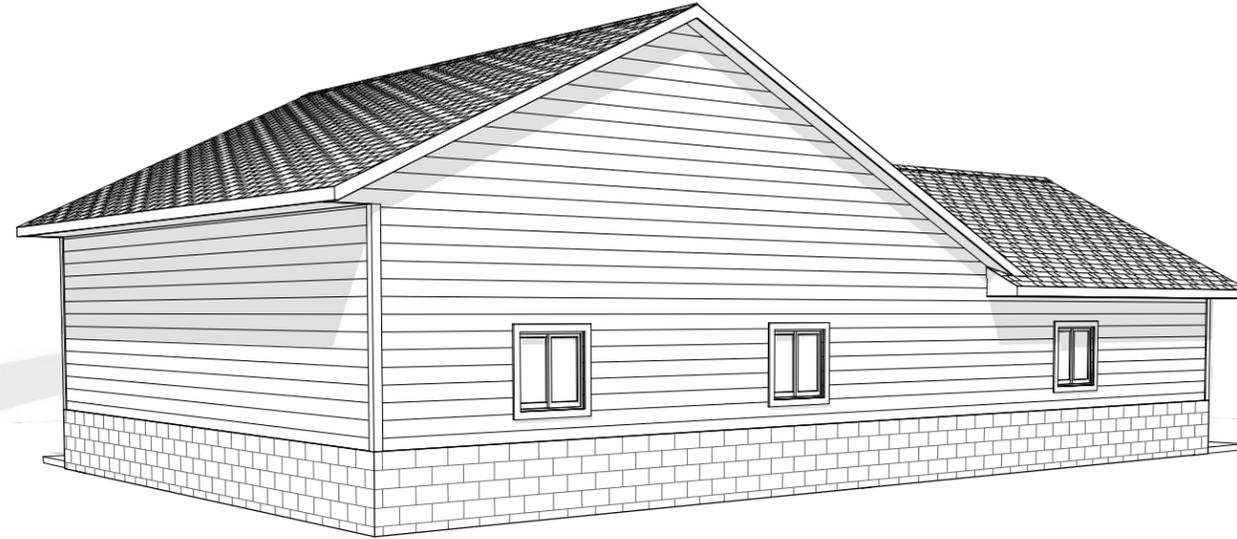
## SHEET INDEX

- A1 - COVER SHEET
- A2 - ELEVATIONS
- A3 - FOUNDATION PLAN
- A4 - FLOOR PLAN
- A5 - ROOF LAYOUT / SECTIONS / ELECTRICAL
- A6 -
- A7 -
- A8 -
- A9 -
- A10 -
- A11 -
- A12 -
- A13 -
- A14 -

# MUNICIPAL CENTER GARAGE

3700 N. MOUNTAIN RD.

WAUSAU, WI 54401



CUSTOM  
STORAGE BUILDING

PRELIMINARY SET

TOWN OF

RIB MOUNTAIN

3700 N. MOUNTAIN RD  
WAUSAU, WI 54401

Vizion Design Group  
815 S. 24th Ave | Suite #400

Wausau, WI 54401

715.571.0680

info@viziondesigngroup.com

**VIZION**DESIGN  
GROUP

DATE:

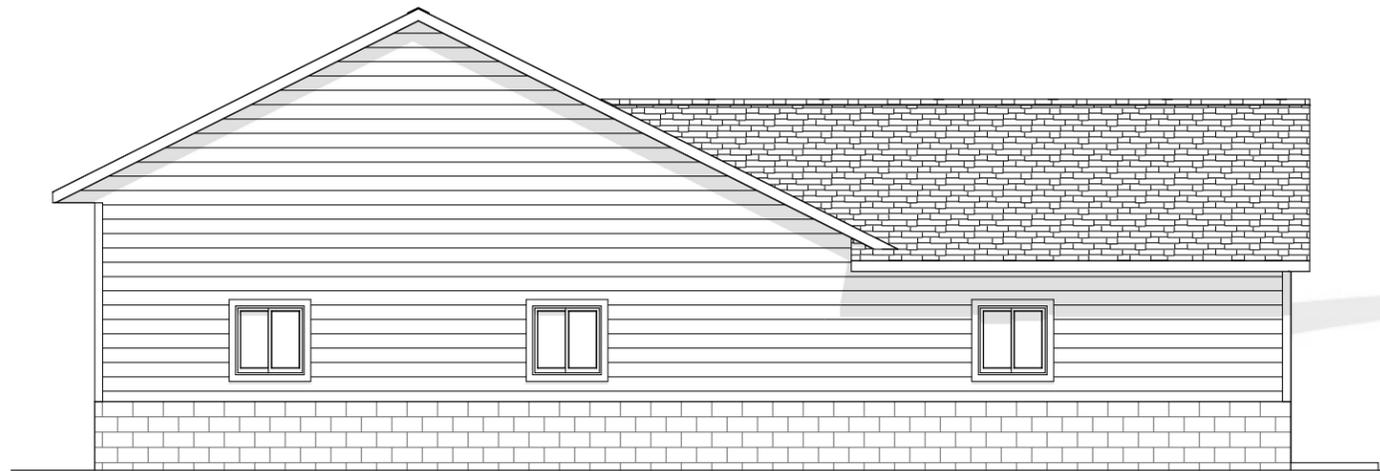
10/15/2019

DRAWN BY:

APV

SHEET:

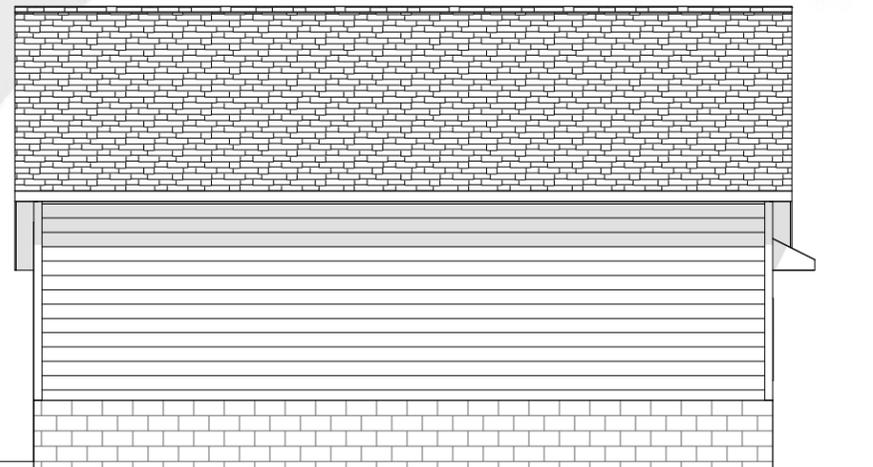
A-1



**SOUTH ELEVATION**  
1/4" = 1'-0" (22x34)  
1/8" = 1'-0" (11x17)



**EAST ELEVATION**  
1/4" = 1'-0" (22x34)  
1/8" = 1'-0" (11x17)



**WEST ELEVATION**  
1/4" = 1'-0" (22x34)  
1/8" = 1'-0" (11x17)



**NORTH ELEVATION**  
1/4" = 1'-0" (22x34)  
1/8" = 1'-0" (11x17)

CUSTOM  
STORAGE BUILDING  
PRELIMINARY SET

**TOWN OF  
RIB MOUNTAIN**  
3700 N. MOUNTAIN RD  
WAUSAU, WI 54401

Vizion Design Group  
815 S. 24th Ave | Suite #400  
Wausau, WI 54401  
715.571.0680  
info@viziondesigngroup.com



**DATE:**

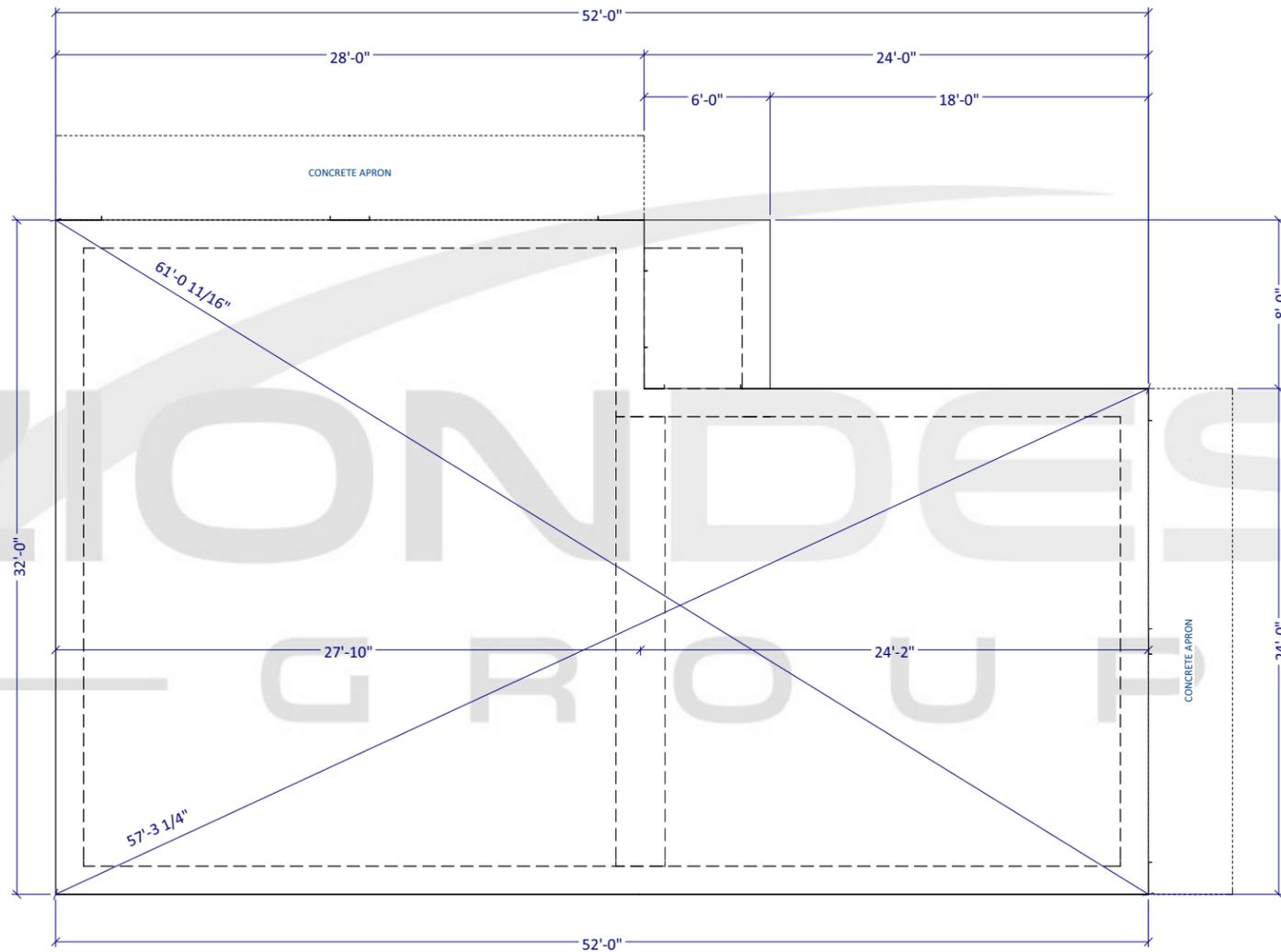
10/15/2019

**DRAWN BY:**

APV

**SHEET:**

**A-2**



1. THIS DRAWING IS TO PROVIDE THE MASON OR OTHER RESPONSIBLE CONTRACTOR WITH THE PROPER FOUNDATION DIMENSIONS. IT IS HIS RESPONSIBILITY TO ENSURE THAT THE FOUNDATION IS CONSTRUCTED IN ACCORDANCE WITH APPLICABLE CODES AND SOIL CONDITIONS.
2. HEIGHT OF FOUNDATION AND COLUMN SPACING AS SHOWN ARE CRITICAL. IF CHANGES ARE MADE, THEY MUST BE REPORTED IMMEDIATELY TO THE ENGINEERING DEPARTMENT.
3. ALL FOUNDATION FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AT A MINIMUM DEPTH OF 4'-0" BELOW GRADE (DEPENDENT ON LOCAL FROST CONDITIONS).

**FOUNDATION PLAN**  
 1/4" = 1'-0" (22x34)  
 1/8" = 1'-0" (11x17)

SLAB ON GRADE  
 All Dimensions Are To Concrete  
 Foundation & Footings Sized By Mason

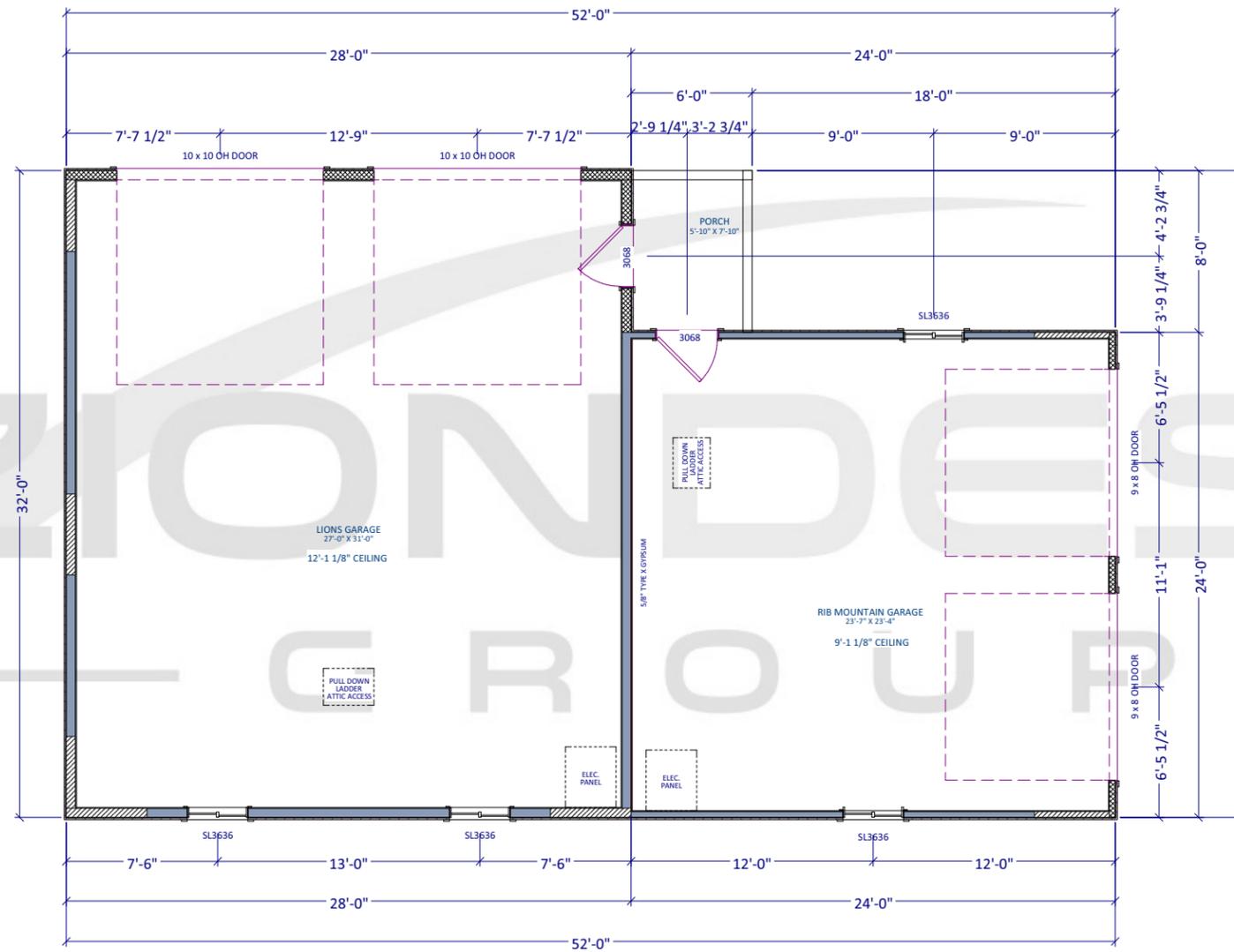
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DATE:  
10/15/2019  
 DRAWN BY:  
APV  
 SHEET:  
**A-3**



### Wall Bracing

- (A)** Continuous Sheathing WSP, 3/8" For Maximum 16" O.C. Stud Spacing, 7/16" For Maximum 24" O.C. Stud Spacing, 1/2" Common Nail or 8d Box Nail, or 7/16" - or 1/2" - Crown 16-Gage Staples, 1 1/4" Long, 6" Dodge, 12" Field (Nails, 3" Edges, 6" Field (Staples), 12" Maximum Nominal Wall Height, Minimum Braced Wall Panel Widths or Brace Angle per Table SPS321.25.14. (Panels On Plan Are 4' Unless Noted Otherwise)
- (B)** PP Portal Frame, 7/16" For Maximum 16" O.C. Stud Spacing, 1/2" Maximum Nominal Wall Height, Minimum Braced Wall Panel Width, Fasteners, & Maximum Spacing per Figure SPS321.25-A
- (C)** OSB Gypsum Board Installed On Both Sides Of Wall, 1/2" Gypsum For Maximum 24" Stud Spacing, 5d Cooler Nail, or #6 Screws, 7" Edges, 7" Field (Including Top & Bottom Plates), 10" Maximum Nominal Wall Height, 96" Minimum Braced Wall Panel Width.
- (D)** Engineered tall wall solution

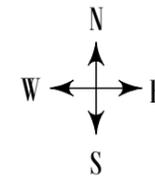
**GENERAL NOTES:**  
 1. Required Length of Continuous Bracing on Walls Parallel to Each Rectangle Side at Each Floor Level per Table SPS321.25.1  
 2. Braced Wall Panels Shall Begin No More Than 12.5' From Each End of a Braced Wall Line With a Maximum of 21 Between Panels Per Figure SPS321.25-C

### FLOOR PLAN

1/4" = 1'-0" (22x34)  
 1/8" = 1'-0" (11x17)

Lions Garage Square Footage: 896  
 Rib Mt Garage Square Footage: 576

12'-1 1/8" Wall Heights @ Lions  
 9'-1 1/8" Wall Heights @ Rib Mt.  
 82" Window Header Height (u.n.o.)  
 Dimensions Are Framing To Framing  
 Headers & Beams Sized By Supplier



CUSTOM  
STORAGE BUILDING

**TOWN OF  
RIB MOUNTAIN**  
3700 N. MOUNTAIN RD  
WAUSAU, WI 54401

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**DATE:**

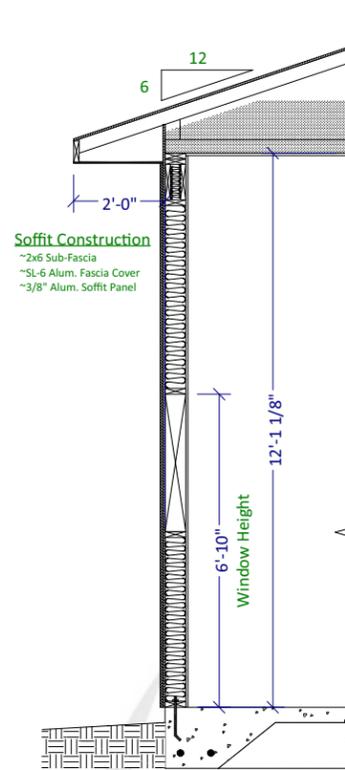
10/15/2019

**DRAWN BY:**

APV

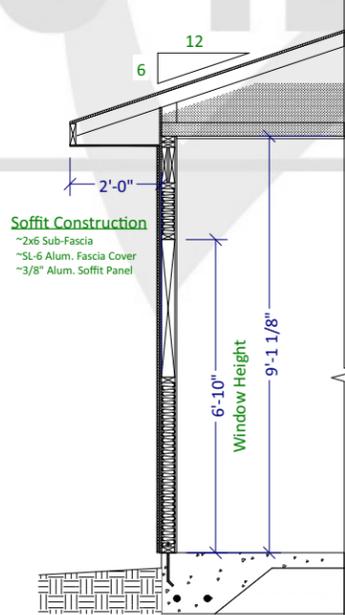
**SHEET:**

**A-4**



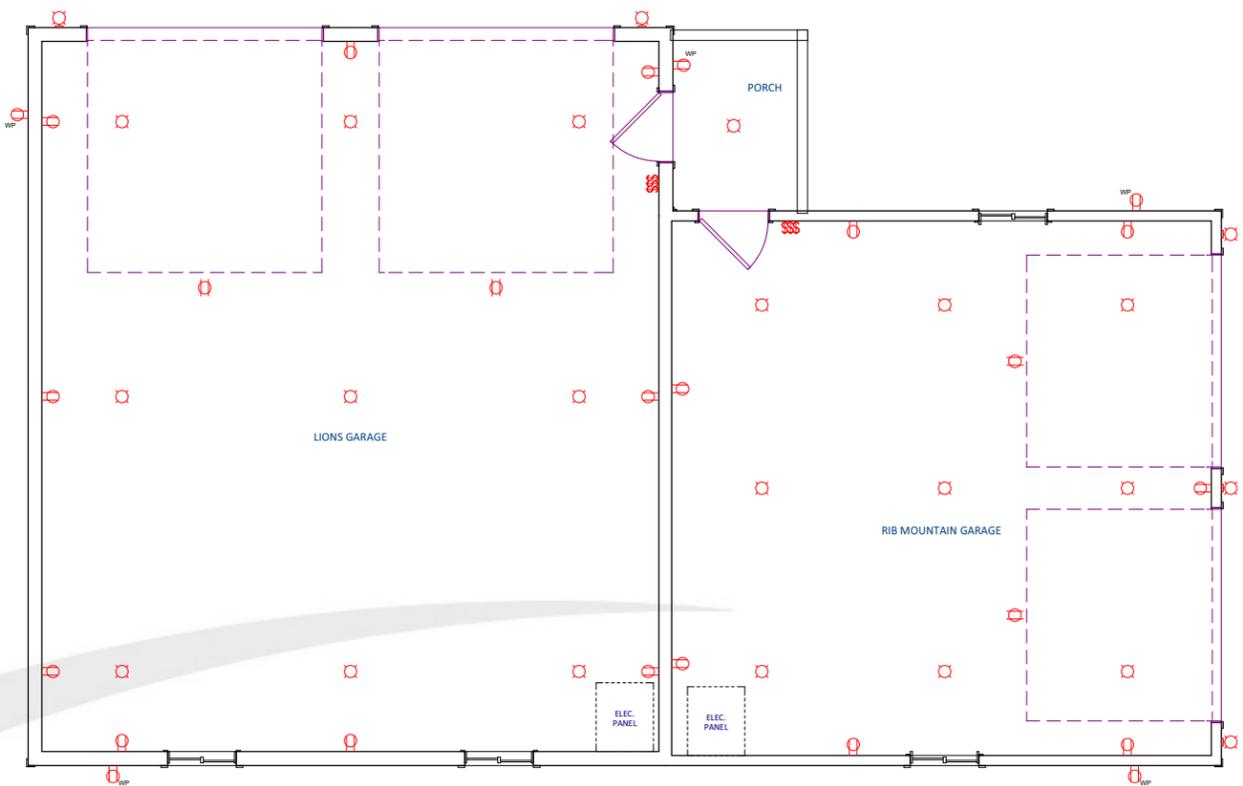
- Roof Construction**
- ~Architectural Shingles
  - ~Synthetic Underlayment
  - ~15/32" Osb Sheathing w/ Clips
  - ~ODE Roof Edge
- Truss / Attic Construction**
- ~Proper Vents
  - ~R-50 Fiberglass/Cellulose Insulation (if needed)
  - ~Engineered Spread Web Storage Wood Trusses (24" o.c.)
- Ceiling Construction**
- ~6 mil Vapor Barrier (if needed)
  - ~5/8" Sheetrock or 1/2" No-Sag Sheetrock (if needed)
- Wall Construction**
- ~1/2" Sheetrock (if needed)
  - ~6 mil Vapor Barrier (if needed)
  - ~R-19 Fiberglass Insulation (if needed)
  - ~2x6 Studs 16" o.c.
  - ~7/16" Osb Exterior Sheathing
  - ~House Wrap
  - ~8" Smartside (or similar)
- Foundation/Slab Construction**
- ~Continuous Poured Concrete Thickened Slab Tapered To Foot
  - ~4" Poured Concrete floor sealed at edges
  - ~2x6 Treated Sill Plate w/ 1/2" Anchor Bolts 72" O.C. Within 18" From Corner & 2 Per Wall Min.
  - ~(2) Rows #4 Re-bar At Bearing
  - ~Wire Mesh or Fiber Reinforcement Interior
  - ~6mil Poly Vapor Barrier Lapped 12" Min.
  - ~Compacted Granular Fill

**LIONS WALL SECTION**  
 1/2" = 1'-0" (22x34)  
 1/4" = 1'-0" (11x17)

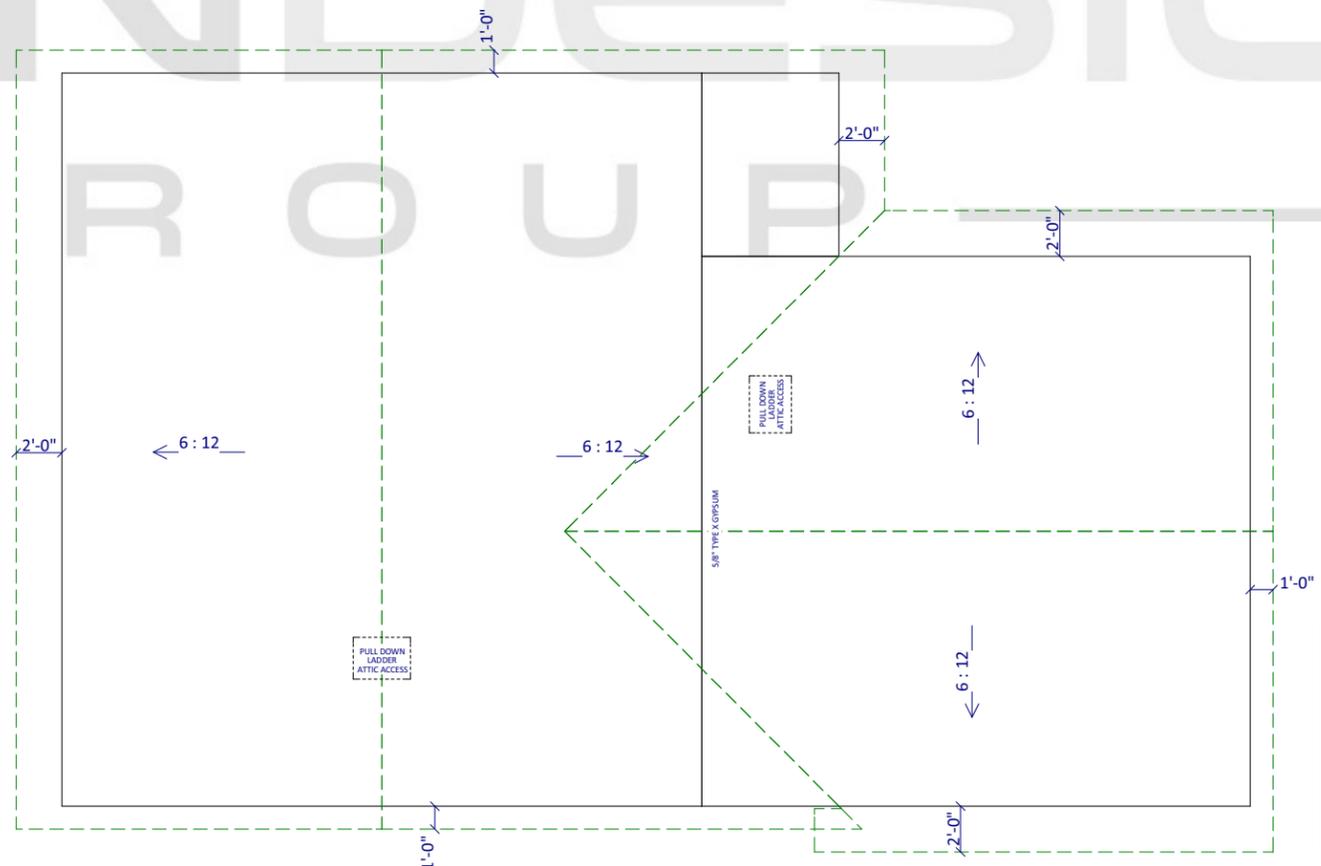


- Roof Construction**
- ~Architectural Shingles
  - ~Synthetic Underlayment
  - ~15/32" Osb Sheathing w/ Clips
  - ~ODE Roof Edge
- Truss / Attic Construction**
- ~Proper Vents
  - ~R-50 Fiberglass/Cellulose Insulation (if needed)
  - ~Engineered Spread Web Storage Wood Trusses (24" o.c.)
- Ceiling Construction**
- ~6 mil Vapor Barrier (if needed)
  - ~5/8" Sheetrock or 1/2" No-Sag Sheetrock (if needed)
- Wall Construction**
- ~1/2" Sheetrock (if needed)
  - ~6 mil Vapor Barrier (if needed)
  - ~R-13 Fiberglass Insulation (if needed)
  - ~2x4 Studs 16" o.c.
  - ~7/16" Osb Exterior Sheathing
  - ~House Wrap
  - ~8" Smartside (or similar)
- Foundation/Slab Construction**
- ~Continuous Poured Concrete Thickened Slab Tapered To Foot
  - ~4" Poured Concrete floor sealed at edges
  - ~2x4 Treated Sill Plate w/ 1/2" Anchor Bolts 72" O.C. Within 18" From Corner & 2 Per Wall Min.
  - ~(2) Rows #4 Re-bar At Bearing
  - ~Wire Mesh or Fiber Reinforcement Interior
  - ~6mil Poly Vapor Barrier Lapped 12" Min.
  - ~Compacted Granular Fill

**RIB MT. WALL SECTION**  
 1/2" = 1'-0" (22x34)  
 1/4" = 1'-0" (11x17)



**ELECTRICAL LAYOUT**  
 1/4" = 1'-0" (22x34)  
 1/8" = 1'-0" (11x17)



**ROOF LAYOUT**  
 1/4" = 1'-0" (22x34)  
 1/8" = 1'-0" (11x17)

**NOTES**

- 24" EAVE OVERHANGS TYPICAL
- 12" GABLE OVERHANGS TYPICAL
- 24" O.C. TRUSS SPACING
- SPREAD WEB STORAGE TRUSSES
- 8" HEEL HEIGHTS
- 2x6 SUBFASCIA

CUSTOM  
STORAGE BUILDING

TOWN OF  
**RIB MOUNTAIN**  
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**VIZIONDESIGN**  
GROUP

**DATE:**  
10/15/2019

**DRAWN BY:**  
APV

**SHEET:**  
**A-5**



# Land Information Mapping System



- ### Legend
- Parcel Annotations
  - Parcels
  - Land Hooks
  - Address Points
  - Section Lines/Numbers
  - Right Of Ways
  - Municipalities
- ### 2015 Orthos Rib Mountain
- Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3
- ### Surrounding\_Counties
- CLARK
  - LANGLADE
  - LINCOLN
  - PORTAGE
  - SHAWANO
  - TAYLOR
  - WAUPACA
  - WOOD

59.43 0 59.43 Feet



NAD\_1983\_HARN\_WISCRS\_Marathon\_County\_Feet

**DISCLAIMER:** The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes



# TOWN OF RIB MOUNTAIN

Where Nature, Family & Sport Come Together

## AGENDA ITEM COVER SHEET

<b>MEETING/DATE:</b>	Plan Commission, May 13, 2020
<b>ITEM:</b>	Discussion and approval of the final draft of the Comprehensive Plan document
<b>FROM:</b>	Jared Wehner, Director of Community Development

## BACKGROUND

Based on all the previous discussions, I believe that I have encapsulated all the comments from the Commissioners in the latest and final draft of the Comp Plan. After receiving some comments back on the Vision Statement, I have come up with what is hopefully the final version:

*“The Town of Rib Mountain is a unique convergence of quality, balanced commerce with attractive, distinct natural recreational opportunities which provides a welcoming environment to foster a safe, affordable community that enjoys a high quality of life”*

Once this version is approved by the Commission, it will then be forwarded onto the NCWRPC, where they will make the changes that were requested to the maps. They will assist me with the necessary resolutions and ordinances to officially adopt the document.

<b>PREVIOUS ACTIONS:</b>	Continuous work on the various drafts of the document.
<b>STAFF COMMENTS:</b>	Staff believes the final draft is ready to be forwarded onto the NCWRPC for changes to the maps and beginning the approval process of the document.
<b>ATTACHMENTS:</b>	<a href="#">Link to May 13, 2020 Final Draft of the Comprehensive Plan</a>

## POSSIBLE ACTIONS TO BE TAKEN

- A) Move to approve the final draft of the document and direct Staff to work with the NCWRPC on final changes to all the maps and start the approval process.
- B) Move to approve the final draft of the document *with changes* and direct Staff to work with the NCWRPC on final changes to all the maps and start the approval process.
- C) Move to send the draft back to staff for considerable changes and bring back to the next available Plan Commission agenda.

<b>REQUESTED ACTION:</b>	Staff recommends the approval of the final draft of the document and direct Staff to work with the NCWRPC on final changes to all the maps and start the approval process.
<b>FURTHER ACTION(s):</b>	Work with NCWRPC to complete the modifications to this map and begin the approval process [Staff].

# Staff Report

---

**Date Modified:** May 7, 2020

**To:** Plan Commission

**CC:** Building Inspector

**From:** Jared Wehner, Director of Community Development/Zoning Administrator

**Subject:** Director and Department Projects and Meetings Report

**Attachment:** Building Permit Report (YTD)

---

## Meetings and Conversations:

<b>Date:</b>	<b>Contact:</b>	<b>Description:</b>
4/29/2020	Stephanie Finamore, MiTech	GIS Services and upgrades. It was a discussion on upgrading the Town's GIS services to ArcOnline, allowing for additional capabilities for a relatively small investment.

---

## Projects:

<b>Date:</b>	<b>Project:</b>	<b>Description:</b>
5/5/2020	Robin Lane	There is a proposal to split the lot the Scherrer Construction owns into 2 lots with the construction of an office building (tbd) on that lot. Project in very early phases.
5/5/2020	Royal View Subdivision	Lot 32 is proposed to be split into 3 lots. The barn on the corner of Bittersweet and County Road N will be razed to be compliant with the Zoning Code. Proposed lot 37 will be combined with Lot 36 and Lot 39 will be made larger. Lot 39 has alternative development potential ranging from multi-family townhomes to low-impact commercial/office.
5/13/2020	Rib Mountain Drive.	There is a very preliminary project of a potential doctor's office. More information to come.

---

## Notes:

Site prep for the Family Dollar and Jiffy Lube sites is nearly complete. Building permits have been issued and ready for construction to start soon. The Discount Tire location has resumed construction. The shell of the building is nearly complete.

There has been a noticeable uptick in residential building permits for various individual projects since people have been required to stay-home from all non-essential business.

Thank you,

Jared Wehner  
Director of Community Development

2020 Permit List

										YTD Totals		\$ 5,068,338.00	\$ 10,614.25	\$ 115,566.00	\$ 1,950.00
48 # Permits - Total YTD										Filtered Totals		\$ 5,068,338.00	\$ 10,614.25	\$ 115,566.00	\$ 1,950.00
48 # Permits - Filtered															
Permit #	Property Owner	Contractor	Street Address	Date	Project Type	Permits Req'd	Description	Parcel Number	Construction \$	Permit \$	Bond \$	Park \$			
2020-001	Sue Sheils	Tundraland Home Impr	153512 Larkspur Ln	7-Jan	RR	C	Window Replacement	34.90.000.010.01.00	\$ 9,453.00	\$ 50.00	\$ -	\$ -			
2020-002	Mountain View Church	JAS Construction	152302 FIDDLEHEAD LN	9-Jan	CR	C	Truss Repair	34.152807.013.020.00.00	\$ 12,900.00	\$ 50.00	\$ -	\$ -			
2020-003	Matt Johnson	Reimer Construction	150090 PEREGRINE WAY	13-Jan	RR	C, E, P	Kitchen Remodel	34.792.000.021.00.00	\$ 18,000.00	\$ 85.00	\$ -	\$ -			
2020-004	Glass Nickel Pizza	Finishing Touch Sign	227255 Rib Mountain Dr	13-Jan	SI	Z	New Business Signage	34.102807.001.008.00.00	\$ 8,000.00	\$ 132.00	\$ -	\$ -			
2020-005	180 Cuts	Finishing Touch Sign	227307 RIB MOUNTAIN DR	21-Jan	SI	Z	Business Wall Signage	34.032807.015.032.00.00	\$ 5,000.00	\$ 117.00	\$ -	\$ -			
2020-006	Larson	Niziolek Builders	225901 BLUEGILL AVE	3-Feb	RA	C, E	Garage Addition	34.097.000.008.00.00	\$ 13,000.00	\$ 150.00	\$ -	\$ -			
2020-007	Hansen	Tundraland Home Impr	225556 Indigo Dr	3-Feb	RR	C	Window Replacement	34.459.000.027.00.00	\$ 15,559.00	\$ 50.00	\$ -	\$ -			
2020-008	Niksich	Malbrit Mechanical	152440 Foxsedge Ln	7-Feb	MC	H	New Gas Furnace	34.175.000.015.00.00	\$ 2,700.00	\$ 50.00	\$ -	\$ -			
2020-009	TNC Development / Service Master	Todd Frank	225005 LILAC AV	11-Feb	CR	C, E, P	Add Training Room and Office	34.142807.0GL.003.04.00	\$ 40,000.00	\$ 350.00	\$ -	\$ -			
2020-010	Fore Development	Creative Sign	225547 RIB MOUNTAIN DR	20-Feb	SI	C	Monument Sign	34.142807.006.032.00.00	\$ 8,900.00	\$ 128.00	\$ -	\$ -			
2020-011	Blaschka	Eugene Zoromski	224341 Bittersweet Rd	21-Feb	RA	C, E, P, H, Z	Add sitting area to kitchen	34.346.000.010.00.00	\$ 40,000.00	\$ 139.00	\$ -	\$ -			
2020-012	Jiffy Lube	Pinnacle Construction	225547 RIB MOUNTAIN DR	28-Apr	CB	C, P, H, Z	New Building	34.142807.006.032.00.00	\$ 1,126,500.00	\$ 650.00	\$ 20,257.00	\$ -			
2020-013	TDS Telecom	Bushman Sign	227040 RIB MOUNTAIN DR	25-Feb	SI	Z	New Business Signage	34.102807.002.022.00.00	\$ 5,000.00	\$ 114.00	\$ -	\$ -			
2020-014	Debbie Igl	Hall Construction	152451 PARROT LN	26-Feb	RR	C,E,P	Bathroom Remodel	34.666.000.003.00.00	\$ 26,000.00	\$ 76.00	\$ -	\$ -			
2020-015	Mark Peters	Self	223851 LAKESHORE DR	2-Mar	RR	C,E,P,H	Lower Level Kitchen Addition	34.660.001.006.00.00	\$ 20,000.00	\$ 110.00	\$ -	\$ -			
2020-016	Palecek	Verhasselt Construction	153620 Shoreland Ln	2-Mar	RA	C,E,P,H	Addition and Interior Remodel	34.142807.0GL.011.05.00	\$ 200,000.00	\$ 267.00	\$ -	\$ -			
2020-017	Wimmer/Verizon	Buell Consulting / Rosstelecom	226483 Woodduck Ln	4-Mar	CR	Z	Class II Collocation	34.112807.010.012.00.00	\$ 15,000.00	\$ 350.00	\$ -	\$ -			
2020-018	Jonnee Bauer Agency	Super Lettering	227088 Rib Mountain Dr	6-Mar	SI	Z	New Business Signage	34.102807.002.022.00.00	\$ 650.00	\$ 85.00	\$ -	\$ -			
2020-019	Beverly Aschebrock	Current Connections	226879 Canary Av	17-Mar	MC	E	Service Upgrade	34.331.000.001.00.00	\$ 1,800.00	\$ 50.00	\$ -	\$ -			
2020-020	Kennedy, Ryan	Tundraland Home Impr	227261 Partridge Av	18-Mar	RR	C	Window Replacement	34.755.000.026.00.00	\$ 16,871.00	\$ 50.00	\$ -	\$ -			
2020-021	Jenine Larson	Kevin LaPorte	225107 LAKESHORE DR	23-Mar	RR	C	Siding Replacement	34.142807.0GL.003.17.00	\$ 40,000.00	\$ 50.00	\$ -	\$ -			
2020-022	Brumbaugh	Royalty Custom Homes	150778 Strawberry Ln	10-Apr	SF	C, E, P, H, Z	New Single Family	34.762.000.031.00.00	\$ 320,000.00	\$ 1,367.00	\$ 1,000.00	\$ 650.00			
2020-023	Stan Smith	R. Ross Construction	150909 Baltimore Ln	24-Mar	RR	C	Shingle to Metal Roof	34.75.006.001.00.00	\$ 13,000.00	\$ 50.00	\$ -	\$ -			
2020-024	Randy Winter	R. Ross Construction	151005 Lily Ln	24-Mar	RR	C	Chimney Repair	34.25.004.002.00.00	\$ 7,000.00	\$ 50.00	\$ -	\$ -			
2020-025	Diane Christians	Quality Construction of CWI	150845 Lavender Ln	30-Mar	RR	C	Shingle to Metal Roof	34.346.000.008.00.00	\$ 26,600.00	\$ 50.00	\$ -	\$ -			
2020-026	Finamore	Mike Polecheck	225633 Indigo Dr	2-Apr	DK	C	Deck Replacement	34.459.000.030.00.00	\$ 15,000.00	\$ 100.00	\$ -	\$ -			
2020-027	Jan Klein	Elite Construction	152345 SOUTH MOUNTAIN RD	13-Apr	RA	C, E,	Bedroom Addition	34.22807.001.018.00.00	\$ 35,000.00	\$ 168.00	\$ -	\$ -			
2020-028	Bob Massop	Self	150231 Bellflower St	13-Apr	DK	C, Z	Covered Porch/Deck	34.760.000.001.00.00	\$ 28,000.00	\$ 100.00	\$ -	\$ -			
2020-029	Michaela Walters	Self	152085 SOUTH MOUNTAIN RD	22-Apr	AB	C, Z	Yard Shed	34.223.000.002.00.00	\$ 3,000.00	\$ 50.00	\$ -	\$ -			
2020-030	Leah Graf	Countryside Fence	150950 Baltimore Ln	17-Apr	FN	Z	Fence Install	34.735.002.008.00.00	\$ 5,000.00	\$ 50.00	\$ -	\$ -			
2020-031	Brad Fehl	Self	226853 Canary Av	17-Apr	AB	C, Z	Yard Shed	34.331.002.007.00.00	\$ 4,000.00	\$ 50.00	\$ -	\$ -			
2020-032	Wayne Lambrecht	Ken Bauer Construction	223937 ROSE AV	14-Apr	RR	P	(2) Bath Tub Replacements	34.175.000.016.00.00	\$ 11,000.00	\$ 50.00	\$ -	\$ -			
2020-033	Dollar Tree	Summit General Contr.	4703 Rib Mountain Dr	23-Apr	CB	Z	New Commercial Building	#N/A	\$ 1,260,000.00	\$ 650.00	\$ 47,309.00	\$ -			
2020-034	Gusman	R. Ross Construction	223425 Magnolia Av	14-Apr	RA	C, E, Z	3 Season Room Addition	34.970.000.005.00.00	\$ 28,000.00	\$ 124.00	\$ -	\$ -			
2020-035	Culvers	Brian Luedtke & Assoc	Not Assigned	28-Apr	CB	C, P, H, Z	New Commercial Building	#N/A	\$ 850,000.00	\$ 650.00	\$ 45,000.00	\$ -			
2020-036	Austin Landowski	Self	222003 Buttercup Rd	17-Apr	RR	C	Stair Rebuild	34.262807.0GL.006.09.00	\$ 2,500.00	\$ 50.00	\$ -	\$ -			
2020-037	Dave Mikalfsky	Solid Rock Builders	149312 MANDARIN LN	17-Apr	DK	C	Deck Replacement	34.610.000.006.00.00	\$ 9,000.00	\$ 75.00	\$ -	\$ -			
2020-038	Royalty Custom Homes	Royalty Custom Homes	150771 Lavender Ln	29-Apr	SF	C, E, P, H, Z	New Single Family	34.762.000.010.00	\$ 320,000.00	\$ 1,354.00	\$ 1,000.00	\$ 650.00			
2020-039	Mary Cole	Randy Koffarnus	224234 Rose Av	29-Apr	RA	C, E, H, Z	16x16 Addition	34.915.001.006.00.00	\$ 60,000.00	\$ 164.00	\$ -	\$ -			
2020-040	Victoria Zuber	Seffrood Property Pros	152401 Flax Ln	23-Apr	RR	C, E, P	Bathroom Remodel	34.675.000.001.00.00	\$ 16,000.00	\$ 67.00	\$ -	\$ -			
2020-041	Vandervest	American Fence	224012 Magnolia Av	23-Apr	FN	Z	Backyard Fence	Not Assigned	\$ 3,200.00	\$ 50.00	\$ -	\$ -			
2020-042	Rick & Gayle Swanson	Fleming and Sons	152441 Lily Ln	28-Apr	RA	C, E, Z	Addition and Bath Remodel	34.590.000.023.00.00	\$ 49,500.00	\$ 244.00	\$ -	\$ -			
2020-043	Dollar Tree	D&L Signs	Not Assigned	27-Apr	SI	Z	Building Signage	#N/A	\$ 3,000.00	\$ 197.25	\$ -	\$ -			
2020-044	John Fink	Self	219790 County Road KK	28-Apr	AB	C, E, Z	Detached Garage	34.332807.013.001.00.00	\$ 18,000.00	\$ 160.00	\$ -	\$ -			
2020-045	Willard Anderson	Pinno Buildings	150848 Woodthrush Ln	29-Apr	AB	C, Z	Detached Garage	34.735.003.005.00.00	\$ 33,850.00	\$ 133.00	\$ -	\$ -			
2020-046	Adam Knospe	Bob's Electric	152309 South Mountain Rd	29-Apr	MC	E	Service Upgrade	34.222807.001.001.00.00	\$ 2,000.00	\$ 50.00	\$ -	\$ -			
2020-047	Wayne Baneck	Self	223132 Azalea Rd	29-Apr	DK	C	Rebuild Landing/Front Steps	34.232807.013.013.00.00	\$ 355.00	\$ 50.00	\$ -	\$ -			
2020-048	Morrison	Royalty Custom Homes	150	5/	SF	C, E, P, H, Z	New Single Family	34.762.000.023.00.00	\$ 320,000.00	\$ 1,408.00	\$ 1,000.00	\$ 650.00			