



TOWN OF RIB MOUNTAIN

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3700 North Mountain Road
Wausau, Wisconsin 54401
(715) 842-0983
Fax(715) 848-0186

PLAN COMMISSION

OFFICIAL NOTICE & AGENDA

A meeting of the Town of Rib Mountain Plan Commission will be held on **Wednesday, February 14th, 2018; 6:30 P.M. at 3700 North Mountain Road, Town of Rib Mountain Municipal Center.** The Town Board may attend for purposes of gathering information. Subject matter for consideration and possible action follows:

- 1.) Call to Order
- 2.) Roll Call
- 3.) Minutes
 - a. **Approval of minutes from the 2-24-2018 Plan Commission meeting.**
- 4.) Public Hearing(s)
 - a. **REI Engineering, agent, requests Precise Implementation Plan approval for a new distribution and retail building at the property addressed 908 Cloverland Lane. Parcel #34.112807.010.020.00.00. Docket #2018-05.**
 - b. **Wausau Youth Baseball, applicant, requests conditional use approval to install sponsorship banners within the baseball diamond at Doepke Park, 2200 South Mountain Road. Parcel #34.152807.012.003.00.00. Docket #2018-06.**
- 5.) New Business:
 - a. **Discussion and recommendation on possible creation of a short-term rental ordinance. Docket #2018-07.**
- 6.) Correspondence/ Questions/Town Board Update:
- 7.) Public Comment
- 8.) Adjourn

TOWN OF RIB MOUNTAIN
PLANNING COMMISSION MEETING
January 24, 2018

Chairperson Harlan Hebbe, called the meeting of the Plan Commission to order at 6:30 pm. Other Plan Commission members present included Ryan Burnett, Jim Hampton, Laura McGucken, Tom Steele and Jay Wittman. Also present were Community Development Director, Steve Kunst, and Building Inspector / Assistant Zoning Administrator, Paul Kufahl.

MINUTES:

Motion by Tom Steele, second by Jim Hampton to approve the minutes of the January 10, 2018 Plan Commission meeting, as presented. Motion carried 6-0.

PUBLIC HEARINGS:

- a. *Riverside Land Surveying LLC, agent, requests General Development Plan and Precise Implementation Plan approval for the property addressed 1501 Bluebird Lane for development of four duplex structures. Parcel #34.412.003.001.01.00. Docket #2018-01.*

Community Development Director, Steve Kunst, noted the applicant seeks approval for a duplex development on the properties immediately east of the 'Lift Athletics' fitness facility. The property is currently zoned Suburban Commercial, and as a result, the property would need to be rezoned in order to be considered for this style development. The applicant desires to construct four (4) duplexes on the 1.48-acre property (or 5.4 units per acre), making the UDD process the most realistic option. Kunst also noted that the Plan Commission discussed this concept at a pre-application conference on December 13th, 2017. It was also noted staff received one phone call from a neighboring property owner who stated they believed the proposal to be a "down-zoning."

Nathan Wincentsen, agent from Riverside Land Surveying, and Austin Jones, of Denyon Homes, stated the proposal includes four (4) two-bedroom duplexes, each with slightly different floor plans. There would be six (6) points of access on Dove Lane. Some units are designed for a zero entry garage to accommodate empty nesters. All units also include a concrete patio which is screened from neighbors by the presented landscape plan. Additionally, they plan to have restrictive covenants which would allow for a maximum of two vehicles and a 30-consecutive day maximum on recreational vehicle storage onsite. They noted the intended tenants would be empty nesters and young professionals.

Commissioner Hampton questioned who would enforce the covenants. Kunst noted Town staff cannot enforce private covenants and therefore, the property owner / manager would be required to enforce them or the covenants themselves need to identify enforcement parameters.

Laura McGucken asked how the presented lots sizes compare to others in the neighborhood. Kunst indicated proposed lot sizes are similar if not a bit larger than the existing lots. He noted many of the

existing lots are legally non-conforming with current zoning standards. Commissioners noted they thought the proposal was a good transitional use between the existing neighborhood and the commercial corridor.

Hampton asked if the applicant was required to provide additional right-of-way along Robin Lane. Other Commissioners noted they would prefer to see a full right of way width, if possible. McGucken asked if the applicant was required to provide a buffer along the western edge of the property with Lift Gym. Kunst noted because the proposed land use is less intense than the neighboring commercial space, they are not required to provide a buffer to the business. Ryan Burnett noted he had spoken with a resident from the neighborhood and they were receptive to the proposed idea.

Chairman Hebbe opened the meeting to public comment at 6:54 pm.

Maxine Braunel, 2705 Dove, noted she was generally accepting of the project and wondered if it was possible to save the old oak tree currently on the property. Wincentzen noted that it was unlikely to be saved given its location on the parcel.

The Public Hearing was closed at 6:56 pm.

Kunst reviewed the Finding of Facts with the Commission. Commissioners discussed the likely tenants of the new buildings, as noted by the agent, and the impact an addition of a third bedroom may have on the use of the property. They agreed any proposed bedroom addition would require a modification of the Precise Implementation Plan. Commissioners also noted decreased setbacks along Robin Lane were acceptable in exchange for additional right-of-way.

Motion by Jay Wittman, second by Tom Steele to recommend approval of the General Development Plan and Precise Implementation Plan for the property addressed 1501 Bluebird Lane conditioned upon having only two bedrooms per dwelling unit, landscaping to match the presented plan, and staff's negotiation with the applicant for additional right of way considerations along Robin Lane.

Motion Carried 6-0

CERTIFIED SURVEY MAPS:

- a. Riverside Land Surveying, agent, requests Certified Survey Map approval for a land division at the property addressed 1501 Bluebird Lane. Parcel #34.412.003.001.01.00. Docket #2018-02.*

Kunst noted the applicant seeks Plan Commission approval for a land division creating four (4) parcels to facilitate the duplex development as requested in the rezoning application. If the property is rezoned to UDD, the proposed lots would meet applicable zoning standards. Kunst also stated the presented CSM does not show an increased right-of-way width along Robin Lane, as discussed in the previous item.

Commissioners discussed the LIFT Athletics parking area and its future expansion and concerns about parking near Robin Lane, as well as loss of an informal access to the East of their building.

Commissioners felt comfortable with the proposal as discussed in the previous duplex development proposal.

Motion by Jay Wittman, second by Tom Steele to recommend approval of the Certified Survey Map for the property addressed 1501 Bluebird Lane conditioned upon staff's negotiation with the applicant for additional right of way considerations along Robin Lane.

Motion Carried 6-0

NEW BUSINESS:

- a. *Don Hall, agent, requests a pre-application discussion regarding a potential rezoning and minor subdivision development. Docket #2018-03.*

Kunst stated the applicant seeks Plan Commission feedback on the concept of rezoning approximately 29 acres on the north side of South Mountain Road, between Red Bud and Thornapple Roads to facilitate a minor subdivision. Kunst distributed a conceptual plan for the subdivision.

Don Hall, agent, noted the current property owners are looking for feedback so they can list the property as having subdivision potential for interested developers. Hall noted they are currently only considering the front four lots and they will retain ownership of the northern 40 acres and the lot containing their home. The nine (9) lots as shown on the northern 40-acre parcel would be future consideration, 10 plus years later, should the owners decide to sell it. Hall noted he sees a need for estate style homes in the Rib Mountain area and these lots would lend themselves to that type of development.

Plan Commissioners noted they would likely be comfortable with the four (4) additional lots and cul-de-sac on the southern parcel, but they would be concerned about the lot sizes and ingress/egress routes on the northern parcel. They noted should the owners pursue the northern parcel development they would likely require an additional road connection. It was also noted a rezone of the property would be required and they would need to confirm the location of the proposed road with the Marathon County Highway Department.

- b. *Bill Shnowske, owner, requests a pre-application discussion regarding a potential Unified Development District development. Docket #2018-04.*

Kunst indicated the applicant seeks Plan Commission feedback on a proposed mixed-use development including an 18-lot subdivision and three (3) commercial buildings. The subject property was rezoned in 2017 from Rural Agricultural as part of the development of Royal View Estates. The subdivision portion of the proposal appears to meet minimum zoning and land division ordinance provisions. The proposed commercial development likely requires rezoning to UDD.

Bill Shnowske, owner and applicant, gave a brief recap and forecast for the Royal Ridge and Royal View subdivisions. He then noted a significant level of interest in empty nester style housing which led him to this proposal. Shnowske noted the residential portion of the development would be

individually owned, single story, single family homes with restrictive covenants governed by a homeowner's association with the option for lawn maintenance and snow removal agreements. He indicated the potential for three (3) small commercial units, which he envisions being a neighborhood friendly business like a dentist, chiropractor, coffee shop, day care, etc. Additionally, Shnowske highlighted the proposed multiuse paths to increase walkability and the common area with a gazebo. He also noted the development may facilitate a traffic signal at Bittersweet and South Mountain roads which could help make the area feel safer.

Plan Commission members had the following comments and concerns about the proposal.

- They were generally accepting of the presented residential development and questioned whether the commercial area could be removed and additional residential development added
- There was concern about the impact and interaction of commercial uses within an established neighborhood
- If a commercial use is proposed, hours of operation would be a major concern
- Plan Commission would like to see a variety of façade options for the commercial spaces if proposed to help with neighborhood fit, recommended they look more like homes than businesses
- They felt ok with a Daycare use, but were unsure of other potential uses presented because of their tendencies to draw customers from outside the area
- They asked the applicant if he would consider reconfiguring the location of the commercial spaces either to the west end of the property or find a way to potentially screen it from the existing residents
- They didn't want to see cookie cutter style houses, would prefer custom homes

CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

Fern Lane Accessory Building – Kunst stated the Town Board denied the request for the second-floor plumbing at 2600 Fern Lane; however, the request will be reconsidered at a later date because of an issue receiving correspondence from the applicant prior to the meeting.

Countywide Addressing – Kunst noted Marathon County's readdressing project will be underway early this year, but with the Town being granted its injunction Rib Mountain will not be participating.

Trillium Parking – Ryan Burnett recommended a trailhead parking area on Trillium Lane for the new bike and pedestrian trail.

Park Rd Parking – Commissioners also suggested additional parking along Park Road to accommodate the increased use of the Bone & Joint trail and to alleviate some traffic concerns

Gustave Larson – Kunst noted the next meeting will include an application for the new Gustave Larson Building on Cloverland.

PUBLIC COMMENT: None Received

ADJOURN:

Motion by Tom Steele, second by Laura McGucken to adjourn the Plan Commission Meeting.

Motion carried 6-0. Meeting adjourned at 8:35 pm.

Respectfully Submitted,
Paul Kufahl, Building Inspector / Assistant Zoning Administrator

DRAFT

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: February 8, 2018
SUBJECT: Precise Implementation Plan (PIP) Approval

APPLICANT: REI Engineering, agent for Gustave Larson
OWNER: Ronald and Joan Wimmer

PROPERTY ADRESSE(S): 908 Cloverland Lane

REQUEST: Precise Implementation Plan approval for a new Gustave A Larson facility and additional tenant space.

CURRENT ZONING: UDD

ADJACENT ZONING: UDD (North); SC (West & South); SR-3 (East)

FUTURE LAND USE DESIGNATION: Commercial

CURRENT USE: Single-Family Residential

PROPOSED USE(S): Indoor Sales and Service & Distribution

NARRATIVE:

The applicant requests PIP approval for a new light industrial / retail building to house Gustave A Larson and another unidentified tenant. Gustave A Larson currently operates in Town at 1301 Starling Lane, at the intersection with Rib Mountain Drive. The subject property was rezoned as part of this applicant's General Development Plan (GDP) approval in late 2017. The proposal calls for an approximately 24,500 square foot, two tenant building to house Gustave A Larson and an unidentified end user. Gustave A Larson represents a mix of retail and distribution uses for heating, ventilation, and air conditioning units.

The first stage of the PIP review requires the Plan Commission to determine whether the PIP is reasonably consistent with the approved GDP. Upon receiving the consistency determination, the next step includes identifying all typical zoning standards not being met by the proposal as well as any public benefits. At this point it is important to point out any tenant desiring to move into the proposed vacant space is required to go through the PIP process as well.

ZONING STANDARDS NOT MET BY THE PROPOSAL:

The RMMC requires the listing of zoning standards not being met by a proposed UDD request for the purpose of helping the Plan Commission by providing information necessary to determine the relative merits of the project in regard to the private vs. public benefits. Below is a list of the staff identified code non-compliances:

- Portions of the access drive and parking lot (west and south) pavement are closer than the typical coder requirement of 10 feet.
- Bufferyard requirement of a 44-inch picket fence along the west property line
- Bufferyard to the east requirement of a 5 or 6-foot berm
 - Existing wetland complex shared between properties appears to provide a minimum separation of usable land of 150 feet.

PUBLIC BENEFITS OF THE PROPOSAL:

- Redeveloping an older, underutilized site near the Town's primary commercial corridor.
- Removing a chronic nuisance residence.
- Retaining an existing Town business and its employees.
- Relocating a light industrial use to a more appropriate location and as a result, opening an opportunity for new retail development along Rib Mountain Drive.

Proposed Site Visitors (Gustave Larson Only):

- 1) Employees: 5
- 2) Daily Customers: 3-4 per day, 15-20 per week

Hours of Operation: Monday – Friday 7:00 am – 5:00 pm

Ingress/Egress Access:

- o Access to the property is primarily off Cloverland Lane; however, trucks are proposed to be able to exit the property via Red Tail Lane.

Parking:

- 1) Total Parking Required = 20 spaces
- 2) Total Parking Provided = 31 spaces

Landscaping

- 1) Landscape Surface Ratio
 - o Required - 0.25
 - o Proposed - 0.50

Building Details:

- o Floor Area = 22,450 square feet
- o Pre-finished metal roof
- o Pre-finished vertical and horizontal metal wall panels
- o Insulated glass entry door and main floor windows

ADDITIONAL CONSIDERATIONS:

At the time this report was generated the following items were yet to be submitted or determined by the applicant. It is anticipated the Town will receive the necessary materials prior to the Plan Commission meeting.

- A lighting plan detailing photometrics of the site
- Detailed landscaping chart/table breaking down the number of points required by code vs. the points provided with the proposal
- Total proposed signage
 - o This can be addressed by the Plan Commission through standard zoning calculations
 - Total allowable through typical zoning is 160 square feet
 - Signage allocations can either be determined by the applicant or evenly split between the tenant spaces by the Commission.
- Approved easement granting access across adjacent property to the north allowing access to Red Tail Lane

FINDINGS OF FACT

Below are the six questions representing the Plan Commission’s finding of fact to be forwarded to the Town Board as found within the Rib Mountain Code of Ordinances, along with initial staff interpretation.

1. How is the proposed conditional use (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?
The Town’s Comprehensive Plan identifies goals and objectives of revitalizing older industrial and commercial areas within the Town, encouraging new commercial development in appropriate locations, and proactively planning for commercial uses.

2. How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

The Future Land Use Map identifies this area for commercial development and the existing residence is planned to be demolished. Dating back to 2005 when the Future Land Use Map was adopted, the Town envisioned this property to contribute to the commercial corridor around Rib Mountain Drive.

3. Is it likely that the proposed conditional use, in its proposed location and as depicted on the required site plan (see (3)(d), above), will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Town or other governmental agency having jurisdiction to guide growth and development?

The light industrial use being proposed is consistent with the uses to the north and west. Although residential uses exist to the east, an extensive wetland complex exists between the subject property and any homes; acting as a natural bufferyard and transition area from the Town's commercial and residential areas. Noise concerns related to regular truck traffic may be identified by the residential neighborhood. The proposed layout attempts to limit this interaction to a degree by having the access drive along the west property line, furthest from the neighboring residentially zoned properties.

4. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed use is consistent with the commercial activities to the northwest (distribution centers, mini warehouses, etc.). In addition, the residential uses to the south of the subject property are zoned for commercial development.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

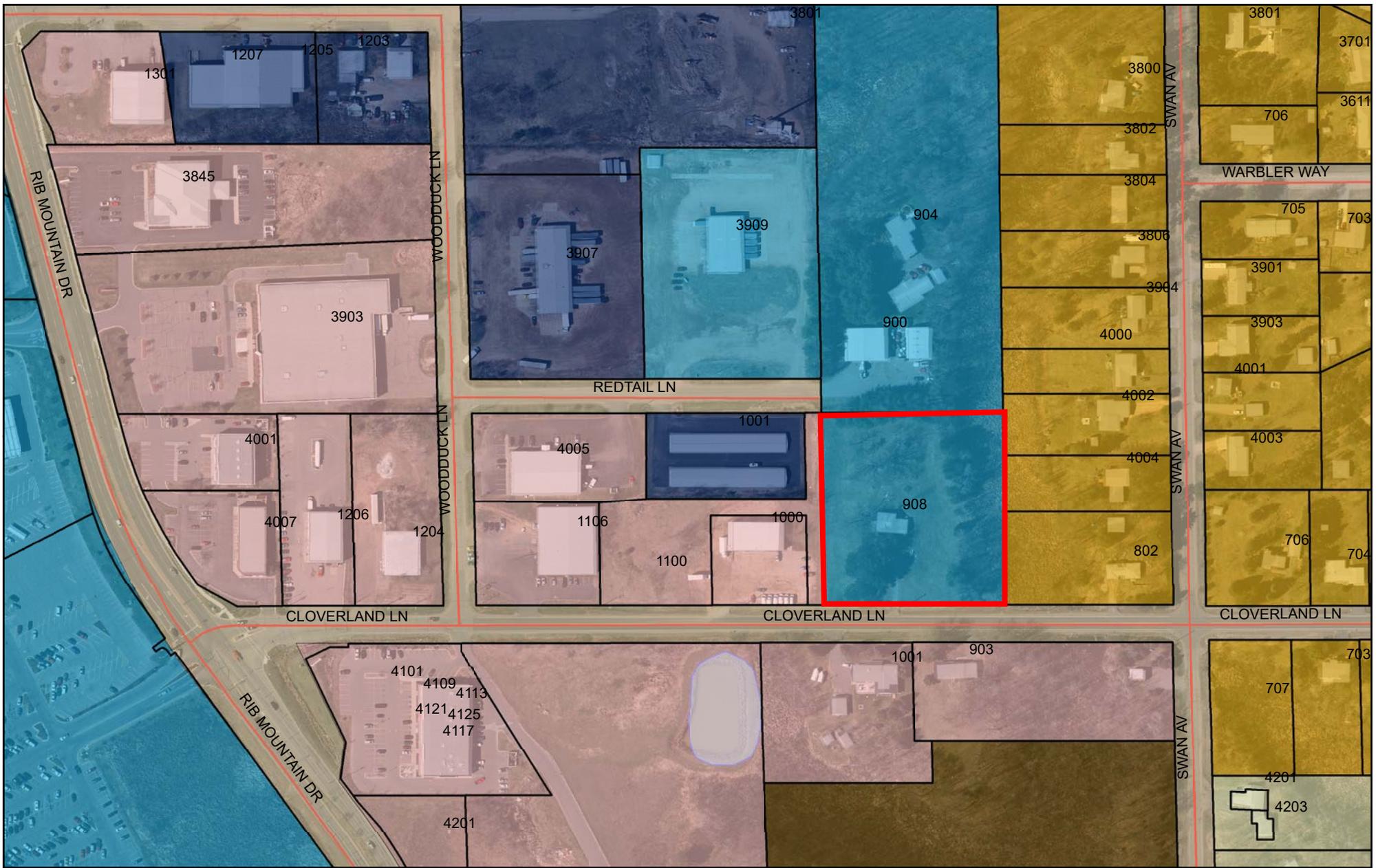
The subject property is accessed via Town road currently serving similar uses in the surrounding area. Further, the property is served by municipal water and sewer.

6. Do the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

The proposal accomplishes a number goals and objectives of the Town's Comprehensive Plan related to commercial development and redevelopment. It also retains an existing business while simultaneously opening up a desirable corner lot within the commercial corridor for redevelopment.

POSSIBLE ACTION

1. Recommend approval of the PIP for the property addressed 908 Starling Lane, as presented.
2. Recommend approval of the PIP for the property addressed 908 Starling Lane, with conditions / modifications.
3. Recommend denial of the PIP for the property addressed 908 Starling Lane.



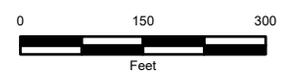
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*Rib Mountain:
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Prepared by:
MI-TECH
www.mi-tech.us

Map Printed: 12/8/2017

- | | | | | | |
|----------------------------|--------------------------------|-------------------------|------------------------|---------------------------|------------------------|
| Parcel Outline | EO Estate Office | OR Outdoor Recreation | RR Rural Residential | SR-2 Suburban Residential | UR-8 Urban Residential |
| Parcel Address | ER-1 Estate Residential | RA-1 Rural Agricultural | SC Suburban Commercial | SR-3 Suburban Residential | Building Outline |
| Zoning Districts | MR-4 Mixed Residential | RA-2 Rural Agricultural | SI Suburban Industrial | UC Urban Commercial | Road Centerline |
| Unzoned | CR-5ac Countryside Residential | ROW | SO Suburban Office | UDD Unified Development | Water Feature |
| NC Neighborhood Commercial | | | | | |



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**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**



January 24, 2018

Town of Rib Mountain
Director of Community Development
Attn: Mr. Steve Kunst
3700 North Mountain Road
Wausau, WI 54401

Subject:

Submittal of 908 Cloverland Lane, Gustave Larson Redevelopment Project
Unified Development District (UDD) Request.

Dear Steve:

Please accept the UDD submittal on behalf of Gustave Larson for the redevelopment of the parcel located at 908 Cloverland Lane. We have provided the enclosed civil and architectural plans for review and approval at the February 14, 2018 Planning Commission meeting as required by Town of Rib Mountain Code 17.233(3) & (4).

We look forward to working with the Town of Rib Mountain on this project.

Sincerely,
REI Engineering, Inc.

Michael Mohr, PE

Enclosures



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4080 N. 20th Avenue Wausau, WI 54401
715-675-9784 www.REIengineering.com

INDEX OF SHEETS

SHEET T1	PAGE #1	TITLE SHEET
SHEET C0	PAGE #2	EXISTING SITE CONDITIONS
SHEET D0	PAGE #3	DEMO PLAN
SHEET C1	PAGE #4	SITE PLAN
SHEET C1.1	PAGE #5	SITE DETAILS
SHEET C2	PAGE #6	GRADING & EROSION CONTROL PLAN
SHEET C2.1	PAGE #7	EROSION CONTROL DETAILS
SHEET C2.2	PAGE #8	EROSION CONTROL DETAILS
SHEET C3	PAGE #9	UTILITY PLAN
SHEET C3.1	PAGE #10	UTILITY DETAILS
SHEET SP	PAGE #11	SITE SPECIFICATIONS

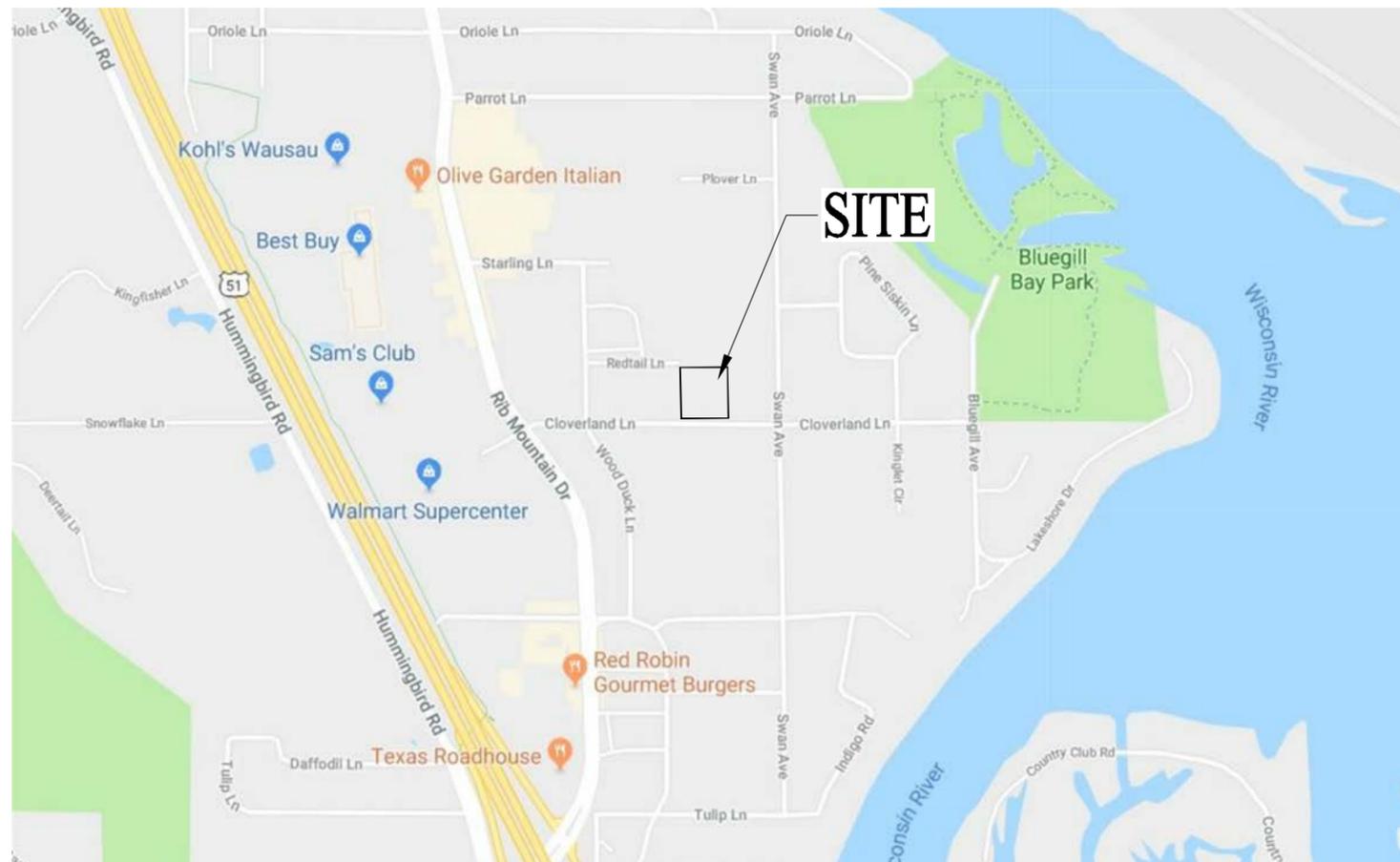
TOTAL SHEETS = 11

LIST OF STANDARD ABBREVIATIONS

&	AND
AB	AUGER BORING
ADT	AVERAGE DAILY TRAFFIC
BC	BOTTOM OF CURB
BM	BENCHMARK
BOC	BACK OF CURB
BR	BOTTOM OF RAMP
BS	BOTTOM OF STEPS
BW	BOTTOM OF WALL
CB	CATCH BASIN
CMAC	CORRUGATED METAL ARCH CULVERT
CMBC	CORRUGATED METAL BOX CULVERT
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC.	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
DGB	DENSE GRADED BASE
DIP	DUCTILE IRON PIPE
D/S	DOWNSTREAM
(E)	EAST
ELEV.	ELEVATION
EOG	EDGE OF GRAVEL
FFE	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
F.O.	FIBER OPTIC
INL	INLET
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HMA	HOT MIX ASPHALT
HP	HIGH POINT
IE	INVERT ELEVATION
LF	LINEAL FEET
LP	LOW POINT
MEG	MATCH EXISTING GRADE
MH	MANHOLE
(N)	NORTH
(NE)	NORTHEAST
(NW)	NORTHWEST
OH	OVERHEAD
PC	POINT OF CURVATURE
PE	POLYETHYLENE PIPE
P/L	PROPERTY LINE
PP	POWER POLE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
RCB	CREINFORCED CONCRETE BOX CULVERT
RCP	REINFORCED CONCRETE PIPE
RR	RAIL ROAD
R/W	RIGHT OF WAY
(S)	SOUTH
SAN	SANITARY SEWER
SB	SOIL BORING
SS	STORM SEWER
STM	STORM
(SW)	SOUTHWEST
TC	TOP OF CURB
TBR	TO BE REMOVED
TLE	TEMPORARY LIMITED EASEMENT
TNH	TOP NUT FIRE HYDRANT
TP	TEST PIT
TR	TOP OF RAMP
TYP.	TYPICAL
TS	TOP OF STEPS
TW	TOP OF WALL
U/S	UPSTREAM
VAR.	VARIES
(W)	WEST

REVIEW PLANS FOR: GUSTAVE LARSON

TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN

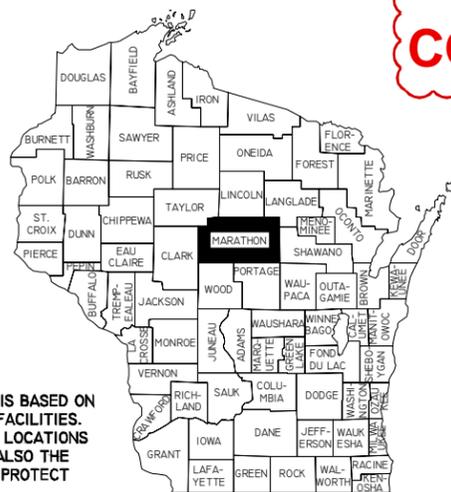


— NOT TO SCALE —

NOT FOR CONSTRUCTION

TITLE WORK REQUIRED
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INFORMATION SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES IS BASED ON INFORMATION AND DATA FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS OF ALL UNDERGROUND FACILITIES PRIOR TO COMMENCING ANY WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FACILITIES.



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HEARING IMPAIRED: TDD (800)542-2289
EMERGENCY ONLY: (877) 500-9592
WWW.DIGGERSHOTLINE.COM

UTILITY CONTACTS:

FRONTIER:
(TELEPHONE)
521 FOURTH STREET
WAUSAU, WI 54403-4869
(231) 727-1327

WISCONSIN PUBLIC SERVICE CORPORATION:
(GAS & ELECTRIC)
700 NORTH ADAMS STREET
PO BOX 19001
GREEN BAY, WI 54307-9001
(920) 433-1703

CHARTER COMMUNICATIONS:
(CABLE TV)
853 MCINTOSH STREET
PO BOX 1818
WAUSAU, WI 54403-1818
(715) 845-4223

DNR WAUSAU SERVICE CENTER
5301 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401
(715) 359-2872
ATTN: MELISSA YARRINGTON

TOWN OF RIB MOUNTAIN STREET AND PARKS DEPARTMENT
3700 NORTH MOUNTAIN ROAD
WAUSAU, WISCONSIN 54404
(715) 842-0983
ATTN: MR. SCOTT TURNER P.E.

RIB MOUNTAIN SANITARY DISTRICT
5703 LILAC AVENUE
WAUSAU, WISCONSIN 54401
(715) 359-6177
ATTN: MR. MICHAEL HEYROTH

OWNER:
GUSTAVE LARSON

SURVEYOR:
REI ENGINEERING, INC.
4080 N. 20TH AVENUE
WAUSAU, WI 54401
(715) 675-9784

ENGINEER:
REI ENGINEERING, INC.
4080 N. 20TH AVENUE
WAUSAU, WI 54401
(715) 675-9784
PROJECT MANAGER
MICHAEL MOHR, P.E.

APPROVING AUTHORITIES:
TOWN OF RIB MOUNTAIN
WDNR
DSPS

LEGEND

	BENCHMARK
	1" IRON BAR
	EXISTING MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING WATER SHUTOFF
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING GAS VALVE
	EXISTING CURB INLET
	EXISTING WELL
	TEST PIT LOCATION
	SOIL BORING
	EXISTING AIR CONDITIONING UNIT
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING UTILITY PEDESTAL
	EXISTING RAILROAD TRACKS
	EXISTING TREE LINE
	EXISTING GUY POLE
	EXISTING CABLE TV
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING OVERHEAD UTILITIES
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING PROPERTY LINE
	PROPOSED HANDICAP PARKING
	PROPOSED CURB STOP
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED FORCE MAIN
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED WATER LATERAL
	PROPOSED WATER MAIN
	PROPOSED PUMP STATION
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED CLEANOUT
	PROPOSED DRAINAGE FLOW
	PROPOSED SLOPE
	PROPOSED CURB & GUTTER
	PROPOSED REJECT CURB & GUTTER
	PROPOSED MOUNTABLE CURB & GUTTER
	EXISTING GROUND CONTOUR (INTERVAL-1 FT.)
	PROPOSED GROUND CONTOUR (INTERVAL-1 FT.)
	PROPOSED SPOT ELEVATION (TOP OF CURB)
	PROPOSED SPOT ELEVATION (BOTTOM OF CURB)
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED RIPRAP
	PROPOSED EROSION MAT
	PROPOSED SAWCUT
	PROPOSED DRAINAGE SWALE

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PLOTTED: JAN 24, 2018 - 11:44PM PLOTTED BY: SPENGERH

REI Engineering, INC.
4080 N. 20TH AVENUE
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CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING



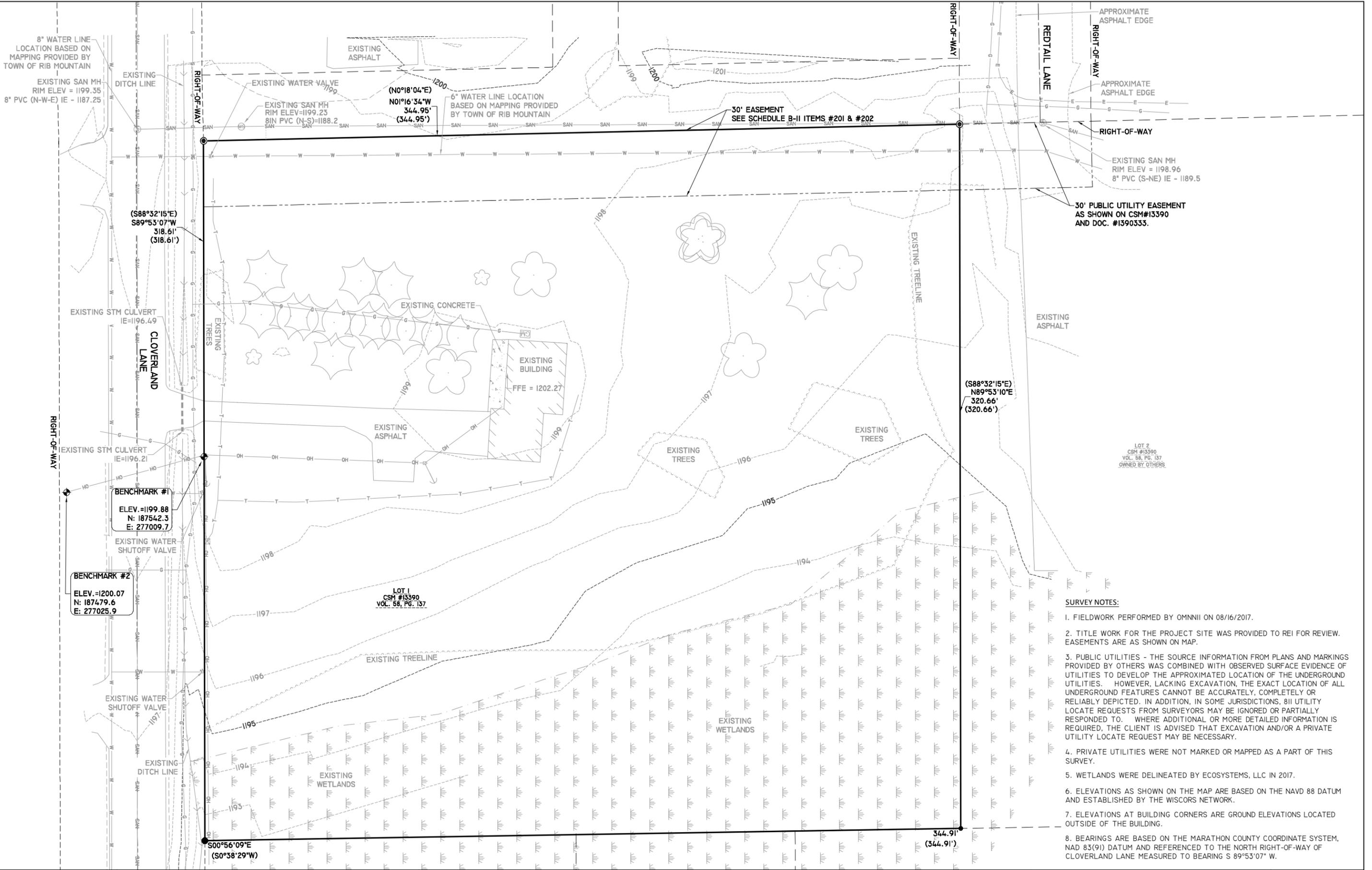
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				SURVEYED BY: JAF/AJB	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 1/23/2018

TITLE SHEET
GUSTAVE LARSON
CLOVERLAND LANE
TOWN OF RIB MOUNTAIN

REI
REI No. 7929
SHEET T1 PG# 1

4a-6

DRAWING FILE: P:\17900-7999\7929 - GUSTAVE LARSON - Rib Mountain\DWG\PLANS\7929-C0-EXISTING.dwg LAYOUT: C0
 PLOTTED: JAN 24, 2018 - 1:45PM PLOTTED BY: SPENCERH

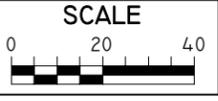


- SURVEY NOTES:**
1. FIELDWORK PERFORMED BY OMNII ON 08/16/2017.
 2. TITLE WORK FOR THE PROJECT SITE WAS PROVIDED TO REI FOR REVIEW. EASEMENTS ARE AS SHOWN ON MAP.
 3. PUBLIC UTILITIES - THE SOURCE INFORMATION FROM PLANS AND MARKINGS PROVIDED BY OTHERS WAS COMBINED WITH OBSERVED SURFACE EVIDENCE OF UTILITIES TO DEVELOP THE APPROXIMATED LOCATION OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY OR RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR PARTIALLY RESPONDED TO. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
 4. PRIVATE UTILITIES WERE NOT MARKED OR MAPPED AS A PART OF THIS SURVEY.
 5. WETLANDS WERE DELINEATED BY ECOSYSTEMS, LLC IN 2017.
 6. ELEVATIONS AS SHOWN ON THE MAP ARE BASED ON THE NAVD 88 DATUM AND ESTABLISHED BY THE WISCORS NETWORK.
 7. ELEVATIONS AT BUILDING CORNERS ARE GROUND ELEVATIONS LOCATED OUTSIDE OF THE BUILDING.
 8. BEARINGS ARE BASED ON THE MARATHON COUNTY COORDINATE SYSTEM, NAD 83(91) DATUM AND REFERENCED TO THE NORTH RIGHT-OF-WAY OF CLOVERLAND LANE MEASURED TO BEARING S 89°53'07\"/>

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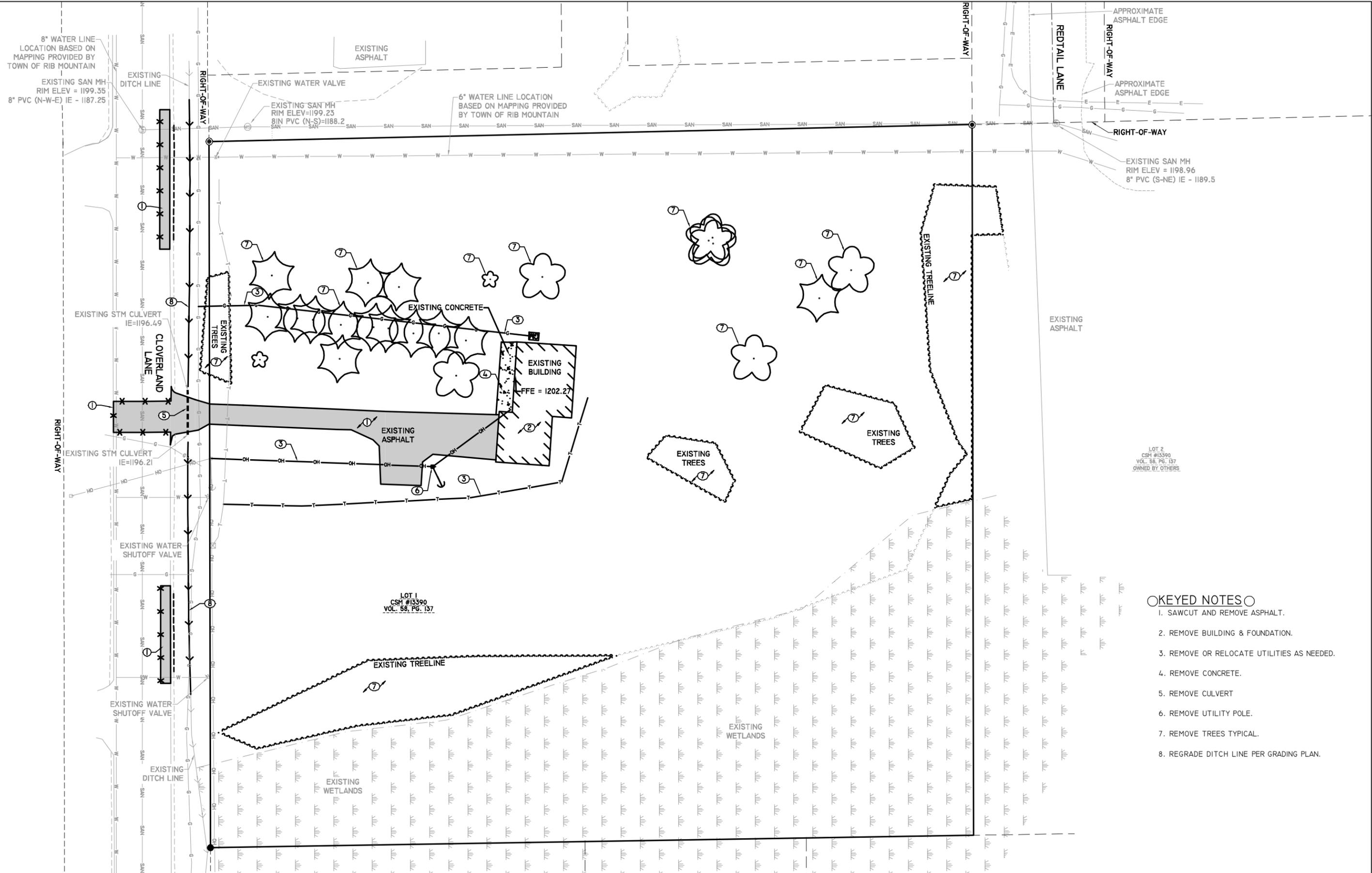
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DRAWN BY: NAP	DATE: 1/23/2018

EXISTING SITE CONDITIONS
 GUSTAVE LARSON
 CLOVERLAND LANE
 TOWN OF RIB MOUNTAIN

REI
 REI No. 7929
 SHEET C0 PG#2

4a-7

DRAWING FILE: P:\17900-7999\7929 - GUSTAVE LARSON - Rib Mountain\DWG\PLANS\7929-D0-DEMO.DWG LAYOUT: D0
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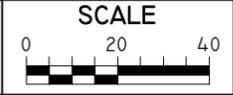


- KEYED NOTES**
1. SAWCUT AND REMOVE ASPHALT.
 2. REMOVE BUILDING & FOUNDATION.
 3. REMOVE OR RELOCATE UTILITIES AS NEEDED.
 4. REMOVE CONCRETE.
 5. REMOVE CULVERT
 6. REMOVE UTILITY POLE.
 7. REMOVE TREES TYPICAL.
 8. REGRADE DITCH LINE PER GRADING PLAN.

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DATE	REVISION	BY	CHK'D

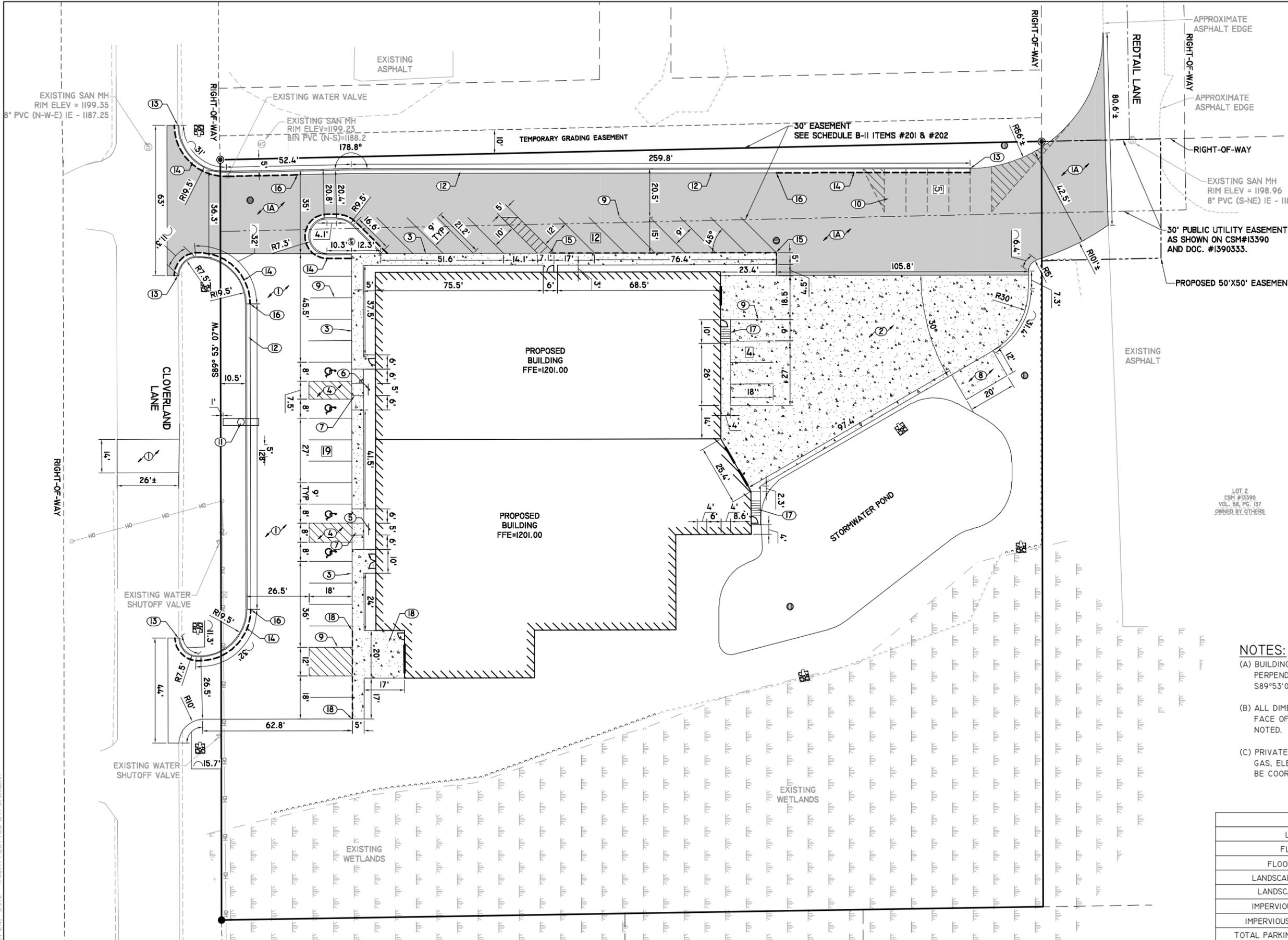
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DEMO PLAN
 GUSTAVE LARSON
 CLOVERLAND LANE
 TOWN OF RIB MOUNTAIN

REI
 REI No. 7929
 SHEET D0 PG#3

4a-8

DRAWING FILE: P:\17900-7999\7929 - GUSTAVE LARSON - Rib Mountain\DWG\PLANS\7929-CI-SITE.DWG LAYOUT: CI
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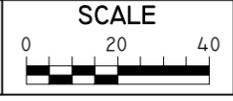


- ### KEYED NOTES
1. ASPHALT PAVEMENT. SEE DETAIL A/C.I.I.
 - 1A. HEAVY ASPHALT PAVEMENT. SEE DETAIL A/C.I.I.
 2. CONCRETE PAVEMENT. SEE DETAIL B/C.I.I.
 3. SIDEWALK WITH INTEGRAL CURB. SEE DETAIL C/C.I.I.
 4. HANDICAP PARKING SPACES & STRIPING. SEE DETAIL D/C.I.I.
 5. VAN ACCESSIBLE HANDICAP SIGN WITH DOUBLE ARROW. SEE DETAIL E/C.I.I.
 6. HANDICAP SIGN WITH DOUBLE ARROW. SEE DETAIL E/C.I.I.
 7. TYPE I HANDICAP RAMP. SEE DETAIL F/C.I.I.
 8. 12'X20' REFUSE AREA- 6" CONCRETE PAD WITH 6"X6" WELDED WIRE MESH. REFER TO ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
 9. PAINTED STRIPING, YELLOW. (TYPICAL)
 10. FUTURE PARKING.
 11. PROPOSED SIGN BY OTHERS.
 12. 24" CURB & GUTTER. SEE DETAIL G/C.I.I.
 13. STANDARD CURB TERMINATION. SEE DETAIL H/C.I.I.
 14. 24" REJECT CURB & GUTTER. SEE DETAIL G/C.I.I.
 15. 4" CONCRETE SIDEWALK. SEE DETAIL J/C.I.I.
 16. TRANSITION CURB & GUTTER. SEE DETAIL I/C.I.I.
 17. SEE ARCHITECTURAL PLANS FOR EXTERIOR STEP DETAILS.
 18. 6" CONCRETE SIDEWALK. SEE DETAIL J/C.I.I.

- ### NOTES:
- (A) BUILDINGS AND PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO PROPERTY LINE LABELED, S89°53'07"W, AS TAKEN FROM THE SURVEY.
- (B) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (C) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

ZONING	UDD
LOT AREA	110,235 S.F.
FLOOR AREA	22,450 S.F.
FLOOR AREA RATIO	20.4%
LANDSCAPE SURFACE AREA	55,440 S.F.
LANDSCAPE AREA RATIO	50.3%
IMPERVIOUS SURFACE AREA	54,795 S.F.
IMPERVIOUS SURFACE AREA RATIO	49.7%
TOTAL PARKING REQUIRED / PROVIDED	20 / 31

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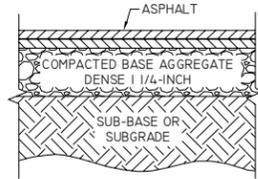
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SITE PLAN
 GUSTAVE LARSON
 CLOVERLAND LANE
 TOWN OF RIB MOUNTAIN

REI
 REI No. 7929
 SHEET C1 PG#4

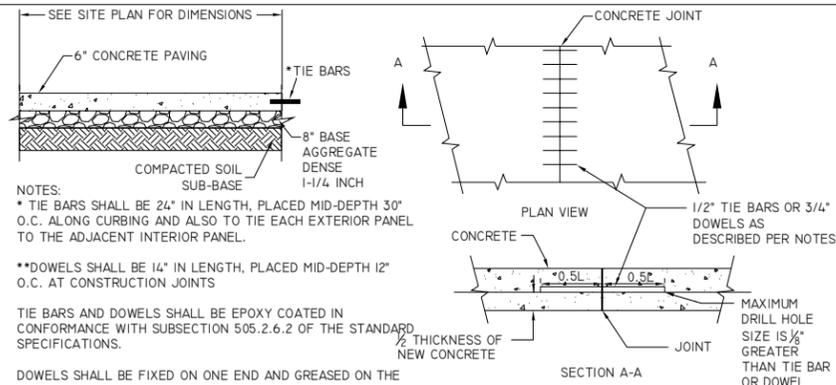
4a-9

LIGHT DUTY		HEAVY DUTY	
SURFACE COURSE (4 LT 58-28S)	1.5"	SURFACE COURSE (4 LT 58-28S)	1.75"
BINDER COURSE (4 LT 58-28S)	1.5"	BINDER COURSE (3 LT 58-28S)	2.25"
BASE AGGREGATE	8"	BASE AGGREGATE	8"



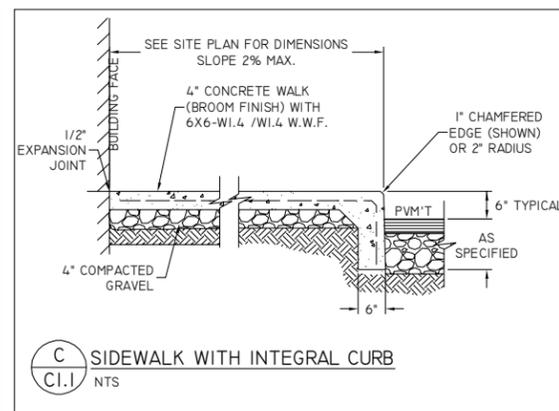
- NOTES:
 1. BASE AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT.
 2. ASPHALT TO BE CONSIDERED LIGHT DUTY UNLESS SPECIFIED OTHERWISE.

A ASPHALT PAVEMENT
C.I.1 NTS

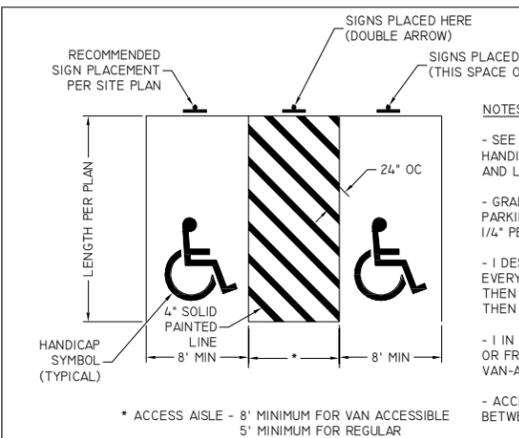


- NOTES:
 * TIE BARS SHALL BE 24" IN LENGTH, PLACED MID-DEPTH 30" O.C. ALONG CURBING AND ALSO TO TIE EACH EXTERIOR PANEL TO THE ADJACENT INTERIOR PANEL.
 ** DOWELS SHALL BE 14" IN LENGTH, PLACED MID-DEPTH 12" O.C. AT CONSTRUCTION JOINTS.
 TIE BARS AND DOWELS SHALL BE EPOXY COATED IN CONFORMANCE WITH SUBSECTION 505.2.6.2 OF THE STANDARD SPECIFICATIONS.
 DOWELS SHALL BE FIXED ON ONE END AND GREASED ON THE OTHER.
 CONCRETE PANELS SHALL NOT BE GREATER THAN 15' IN LENGTH IN ANY DIRECTION AND CONTRACTION JOINTS SHALL BE TO A MINIMUM DEPTH OF 1/2 THE CONCRETE DEPTH.

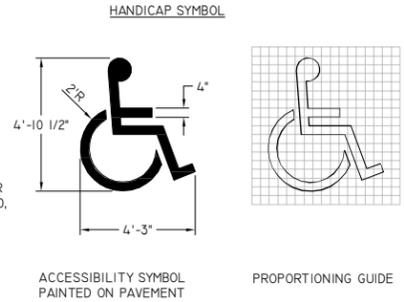
B CONCRETE PAVEMENT DETAIL
C.I.1 NTS



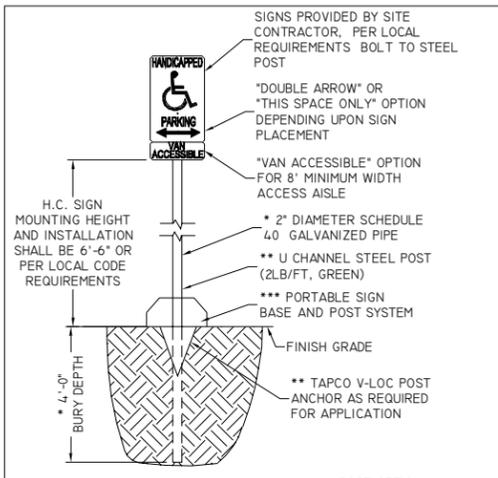
C SIDEWALK WITH INTEGRAL CURB
C.I.1 NTS



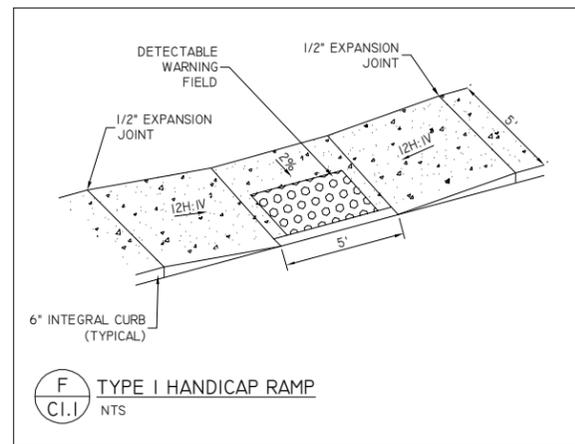
- NOTES:
 - SEE SITE PLAN FOR SITE SPECIFIC HANDICAPPED PARKING LOCATIONS AND LAYOUT
 - GRADES WITHIN DESIGNATED PARKING AREAS SHALL NOT EXCEED 1/4" PER FT IN ANY DIRECTION
 - 1 DESIGNATED STALL REQUIRED PER EVERY 25 PARKING STALLS UP TO 100, THEN 1 PER 50 FROM 101-200, THEN 1 PER 100 FROM 201-500
 - 1 IN EVERY 6 DESIGNATED STALLS OR FRACTION OF 6 SHALL BE VAN-ACCESSIBLE
 - ACCESS AISLES MAY BE SHARED BETWEEN DESIGNATED STALLS



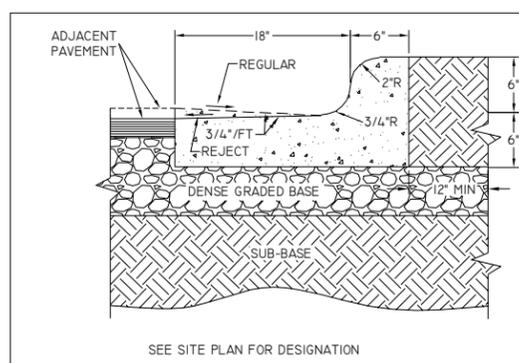
D HANDICAP PARKING SPACES & STRIPING
C.I.1 NTS



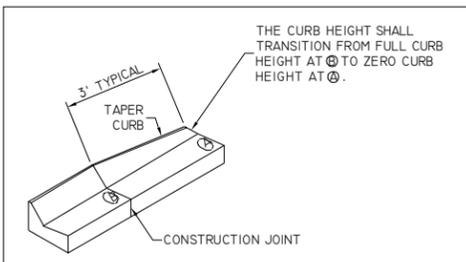
E HANDICAP SIGN
C.I.1 NTS



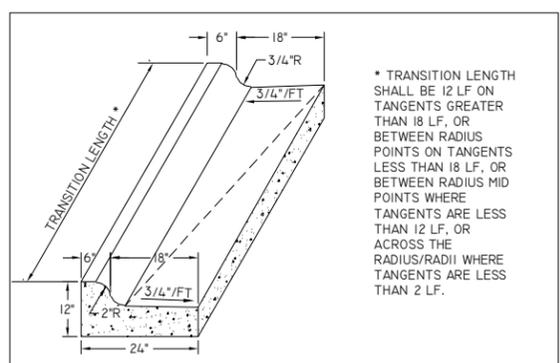
F TYPE I HANDICAP RAMP
C.I.1 NTS



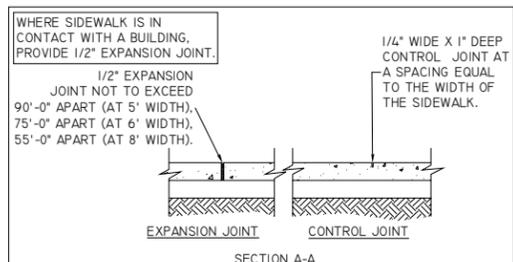
G 24" CURB & GUTTER / 24" REJECT CURB & GUTTER
C.I.1 NTS



H STD CURB & GUTTER TERMINI
C.I.1 NTS



I TRANSITION CURB & GUTTER
C.I.1 NTS



J SIDEWALK SECTION
C.I.1 NTS

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NO SCALE

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				DRAWN BY: NAP	DATE: 1/23/2018

SITE DETAILS
 GUSTAVE LARSON
 CLOVERLAND LANE
 TOWN OF RIB MOUNTAIN

REI
 REI No. 7929
 SHEET CI.1 PG#5

4a-10

KEYED NOTES

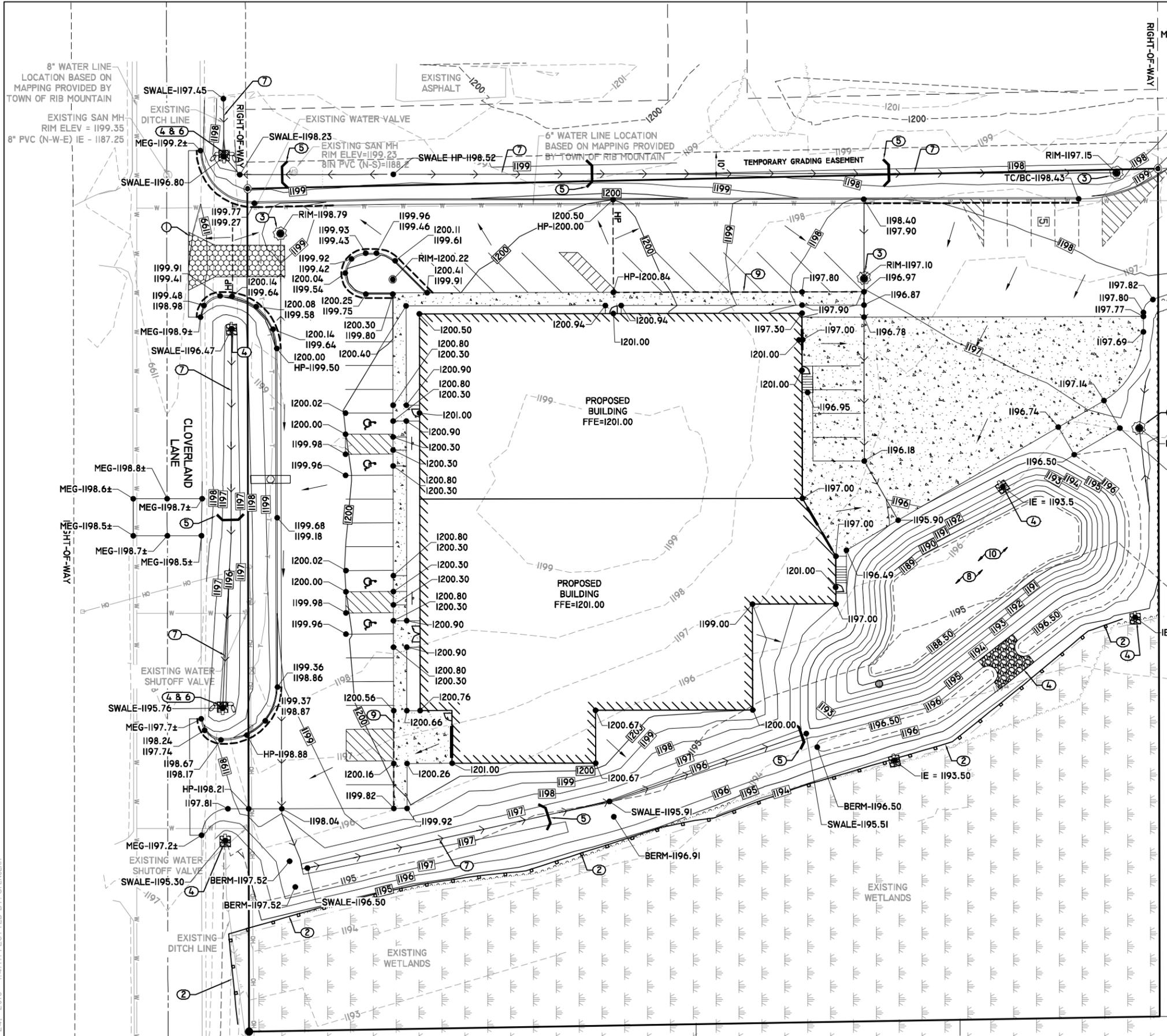
1. TEMPORARY CONSTRUCTION ENTRANCE/EXIT. SEE DETAIL A/C2.1.
2. INSTALL SILT FENCE. SEE DETAIL B/C2.1.
3. PROVIDE INLET PROTECTION. SEE DETAIL C/C2.1.
4. INSTALL LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL D/C2.1.
5. INSTALL DITCH CHECKS @ MAX. OF 200-FT INTERVALS OR EVERY 2-FT OF DROP. SEE DETAIL E/C2.1.
6. CULVERT PROTECTION. SEE DETAIL F/C2.1.
7. DRAINAGE SWALE.
8. WET DETENTION POND. USE AS SEDIMENT BASIN DURING CONSTRUCTION
TOP = 1196.50
BOTTOM = 1188.50
10'-WIDE WEIR = 1196.00
INSTALL TYPE A LINER FROM ELEVATION 1188.50 - 1194.90 PER SPECIFICATIONS OF APPENDIX D OF WDNR TECHNICAL STANDARD 1001. SEE DETAIL G/C3.1.
9. SIDEWALK FLUSH WITH ADJACENT PAVEMENT.
10. SEDIMENT TRAP DURING CONSTRUCTION.
TOP = 1196.50
BOTTOM = 1192.50
SPILLWAY TOP = 1196.00
SEE DETAIL A/C2.2.

SUGGESTED SEQUENCING:

- PROVIDE CONSTRUCTION ACCESS.
- INSTALL SILT FENCE
- SITE REMOVALS
- ROUGH GRADING
- INSTALL DITCH CHECKS IN SWALES
- BUILDING CONSTRUCTION
- SITE UTILITY INSTALLATION
- INSTALL INLET AND CULVERT PROTECTION ON NEW STORM STRUCTURES
- FINISH GRADING
- PAVING
- FINAL STABILIZATION

NOTES:

- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.
- (E) INSTALL EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER AND WITHIN SWALE BOTTOMS.
- (F) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL.
- (G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.
- (H) IN AREAS WHERE THE PARKING LOT DRAINS ONTO ADJACENT GRASS AREAS, MAINTAIN ASPHALT 1" ABOVE GRASS.
- (I) SPOT ELEVATIONS SHOWN ALONG CURBLINE DENOTE FLOWLINE UNLESS SPECIFIED. REFER TO LAYOUT PLAN FOR CURB TYPES.
- (J) WETLAND DELINEATION COMPLETED BY ECOSYSTEMS, LLC IN 2017. NO WETLAND DISTURBANCE IS INTENDED WITH THIS PROJECT.

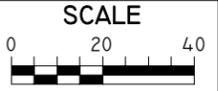


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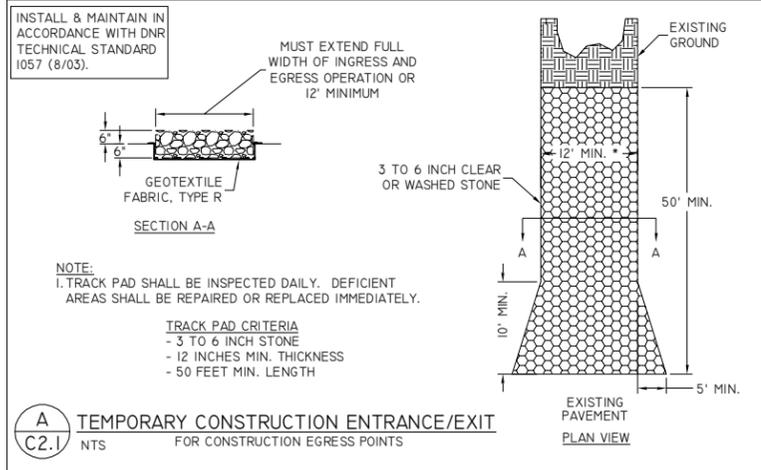
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				DRAWN BY: NAP	DATE: 1/23/2018

GRADING & EROSION CONTROL PLAN
GUSTAVE LARSON
CLOVERLAND LANE
TOWN OF RIB MOUNTAIN

REI
REI No. 7929
SHEET C2 PG#6

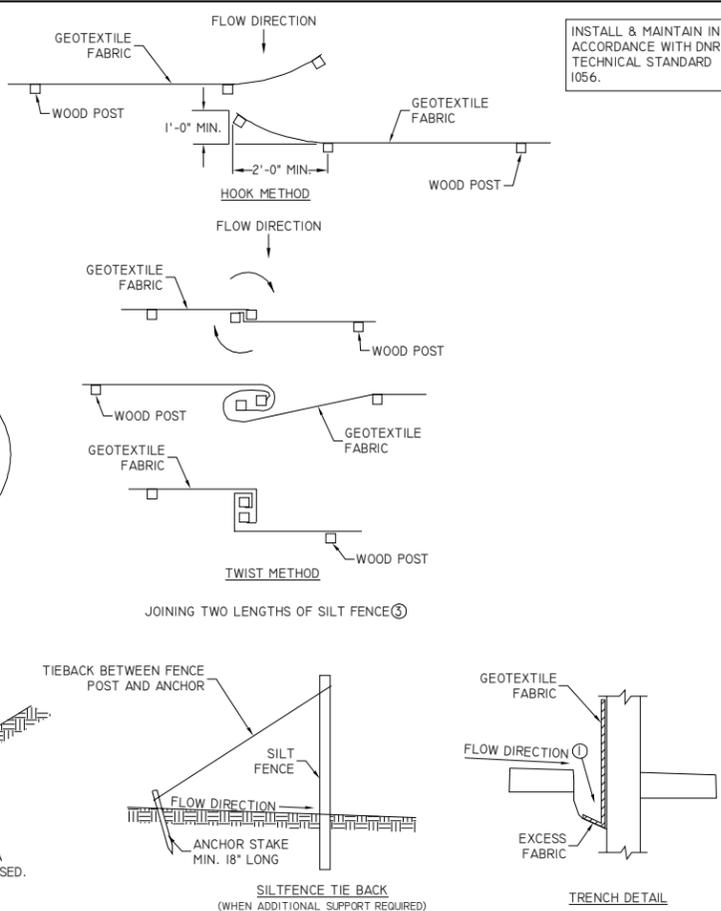
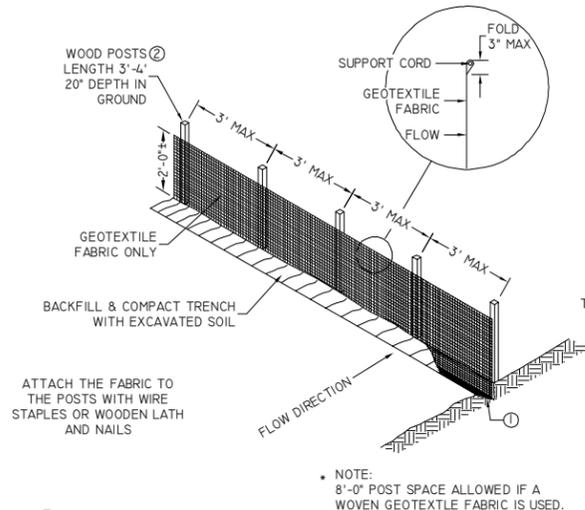
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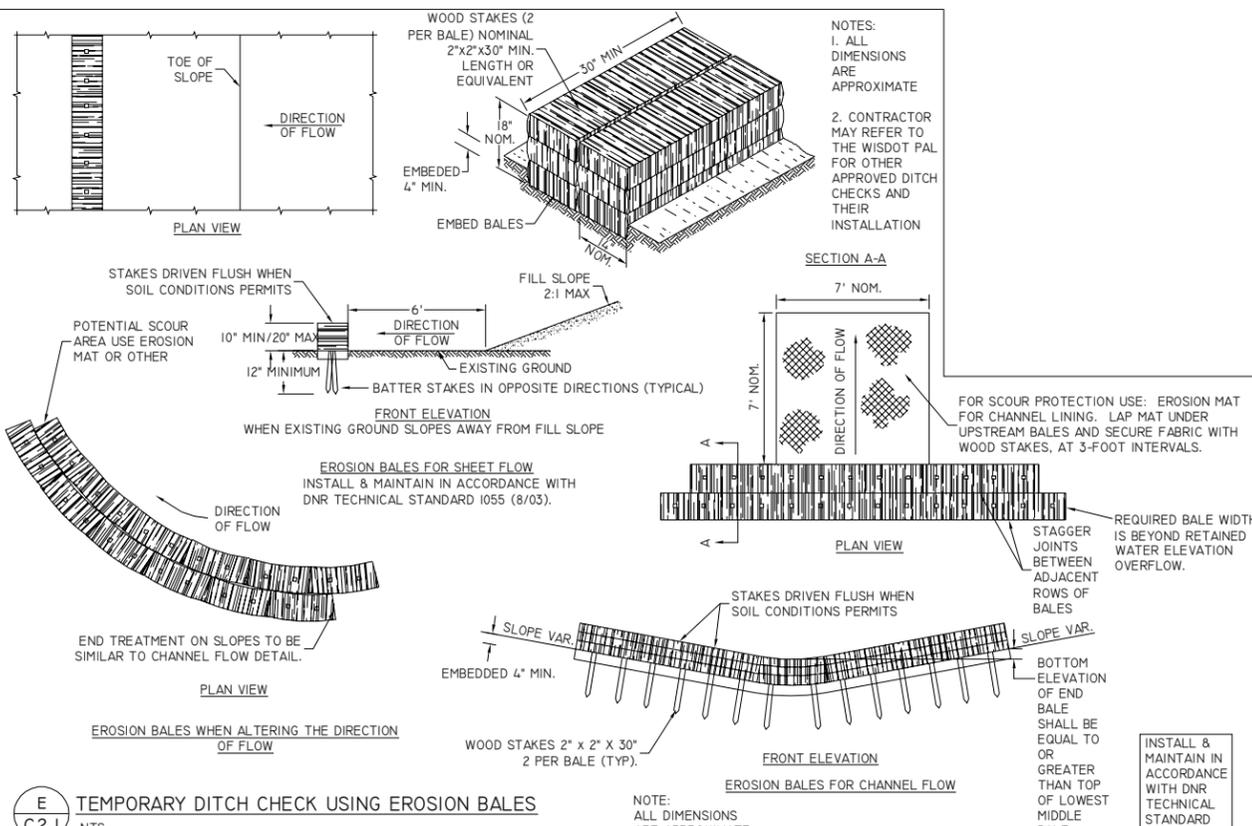
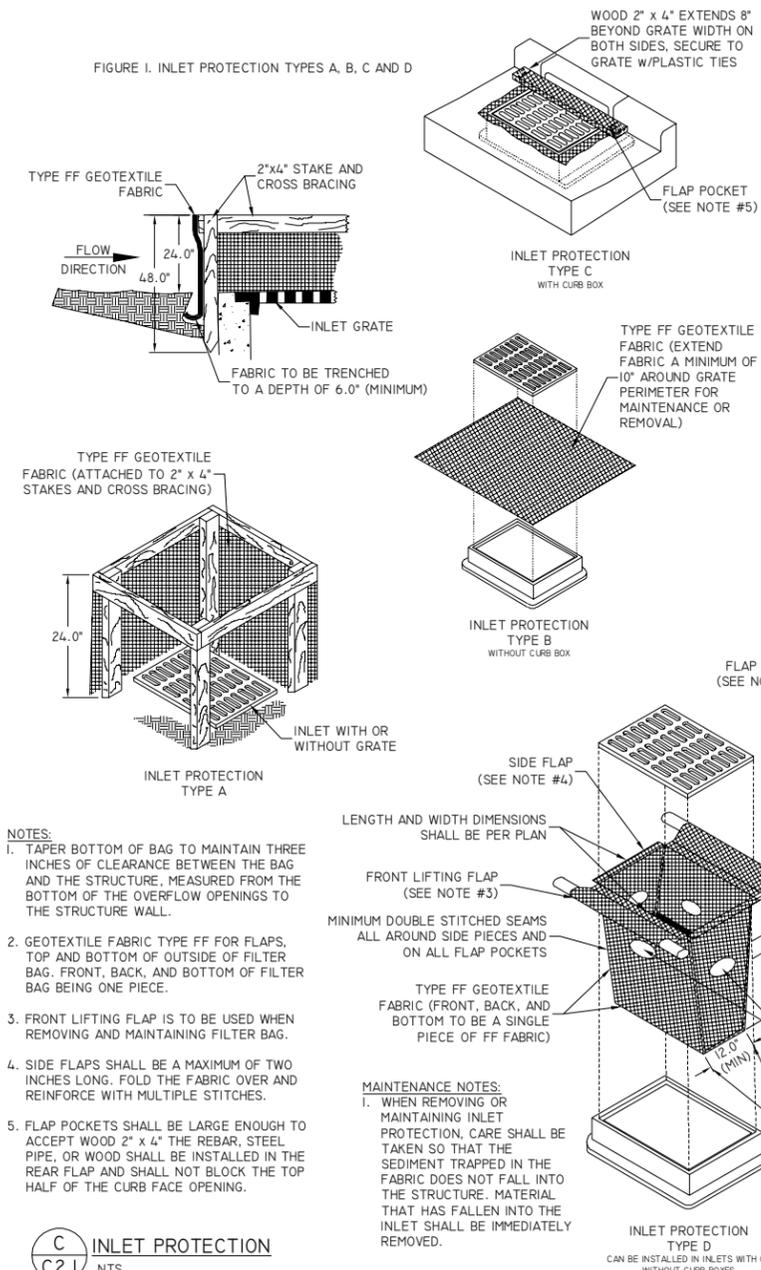
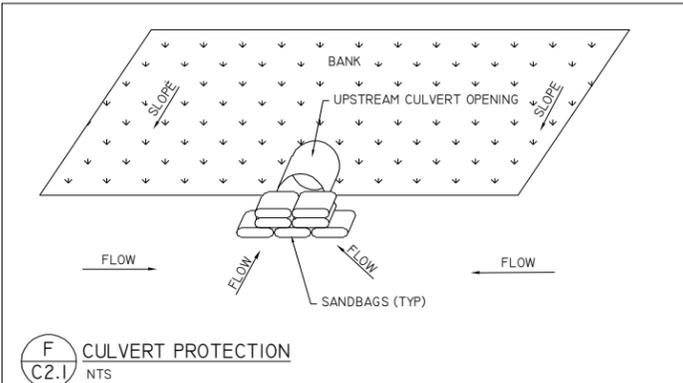


- GENERAL NOTES:**
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL 7", COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE:
 ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS



INSTALL & MAINTAIN IN ACCORDANCE WITH DNR TECHNICAL STANDARD 1056.



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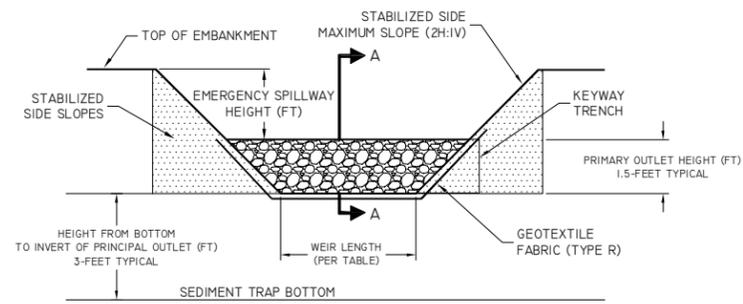
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EROSION CONTROL DETAILS
 GUSTAVE LARSON
 CLOVERLAND LANE
 TOWN OF RIB MOUNTAIN

REI
 REI No. 7929
 SHEET C2.1 PG#7

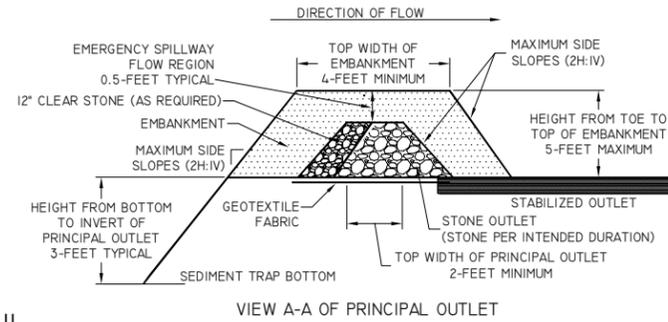
- NOTES:
1. SIDE SLOPES AND FACES OF EARTHEN EMBANKMENT AROUND OUTLET SHALL BE ARMORED WITH RIPRAP OR STABILIZED WITH EROSION MAT SUFFICIENT TO HANDLE FLOWS FROM THE 10-YEAR STORM.
 2. STONE (SHORT DURATION): 3-6" WELL GRADED ANGULAR CLEAR STONE.
 3. STONE (6+ MONTHS): COMBINATION OF LIGHT RIPRAP WITH 12"-THICK LAYER OF 1" ANGULAR CLEAR STONE.
 4. REFER TO WDNR TECH STD 1063 FOR ADDITIONAL INFORMATION.



CROSS-SECTION VIEW OF PRINCIPAL OUTLET

AS = 625 X Adr (COARSE GRAINED SOILS + SANDS)

Adr (OC)	WEIR LENGTH (FT)
1	4
2	6
3	8
4	10
5	12



VIEW A-A OF PRINCIPAL OUTLET

A
C2.2 SEDIMENT TRAP DETAIL
NTS

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ENGINEERING, SURVEYING**

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EROSION CONTROL DETAILS
GUSTAVE LARSON
CLOVERLAND LANE
TOWN OF RIB MOUNTAIN

REI
REI No. 7929
SHEET C2.2 PG# 8

DRAWING FILE: P:\17900-7999\7929 - GUSTAVE LARSON - Rib Mountain\DWG\PLANS\7929-C3-UTILITIES.DWG LAYOUT: C3
 PLOTTED: JAN 24, 2018 - 1:48PM PLOTTED BY: SPENCERH

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 ENGINEERING, SURVEYING**

SCALE

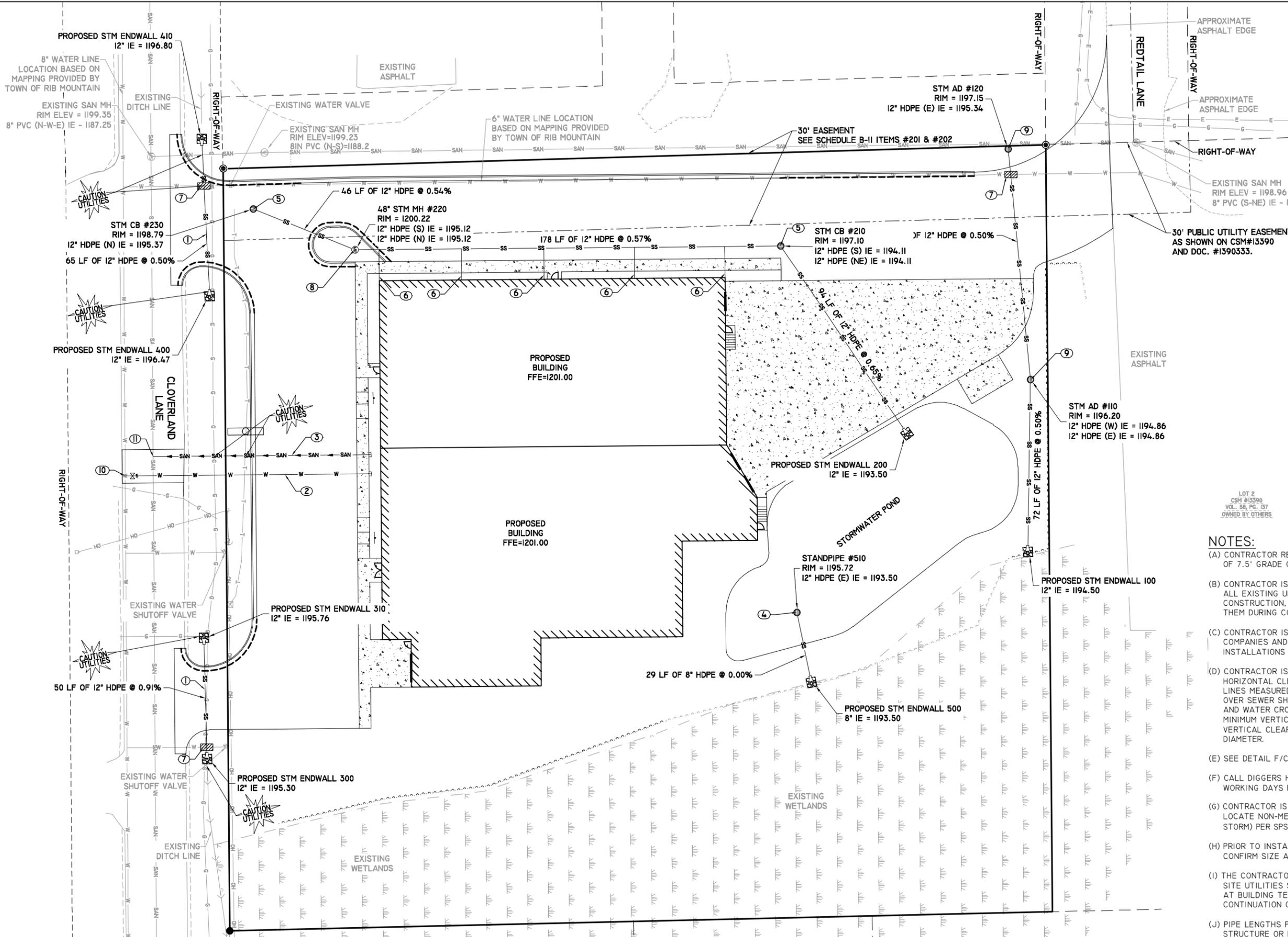


DATE	REVISION	BY	CHK'D

DESIGNED BY: MEM	CHECKED BY: JJB
SURVEYED BY: JAF/AJB	APPROVED BY: MEM
DRAWN BY: NAP	DATE: 1/23/2018

UTILITY PLAN
 GUSTAVE LARSON
 CLOVERLAND LANE
 TOWN OF RIB MOUNTAIN

REI
 REI No. 7929
 SHEET C3 PG#9

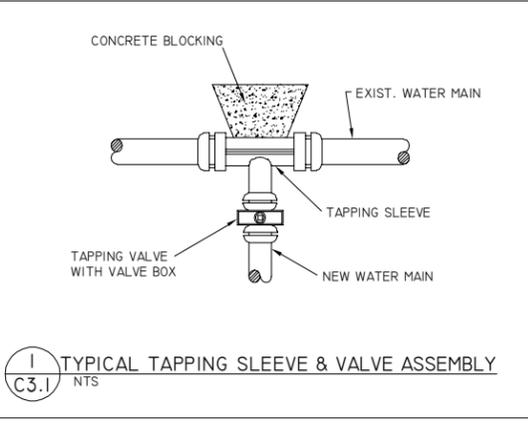
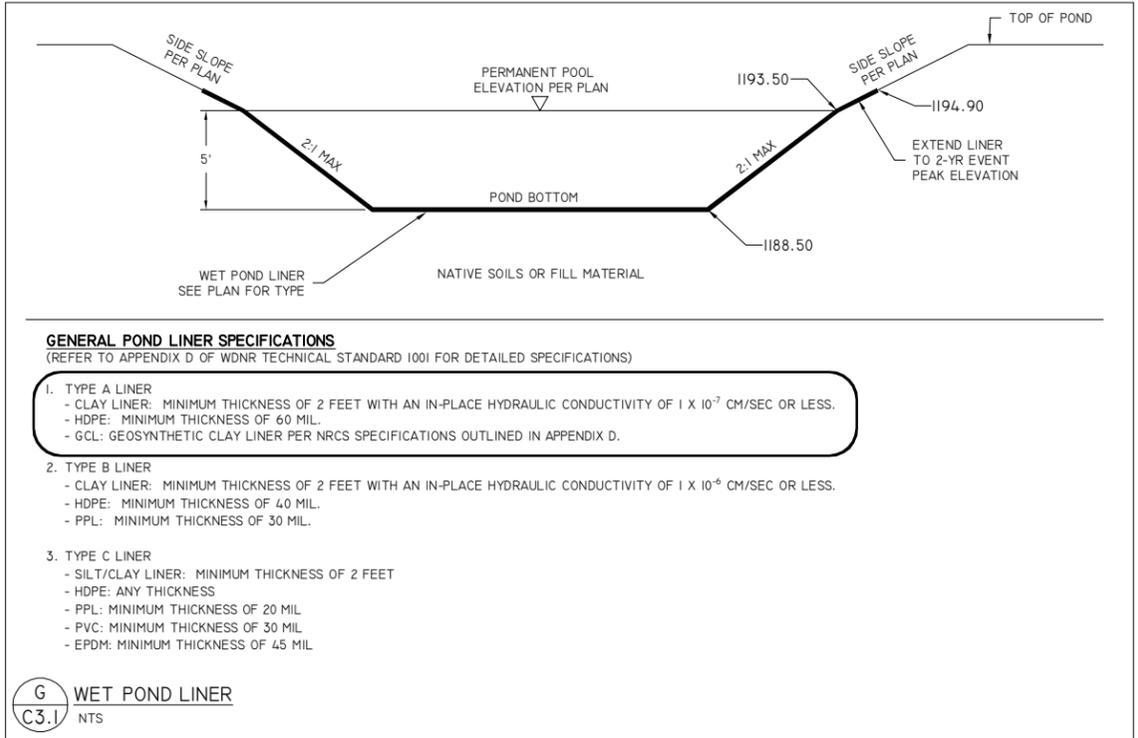
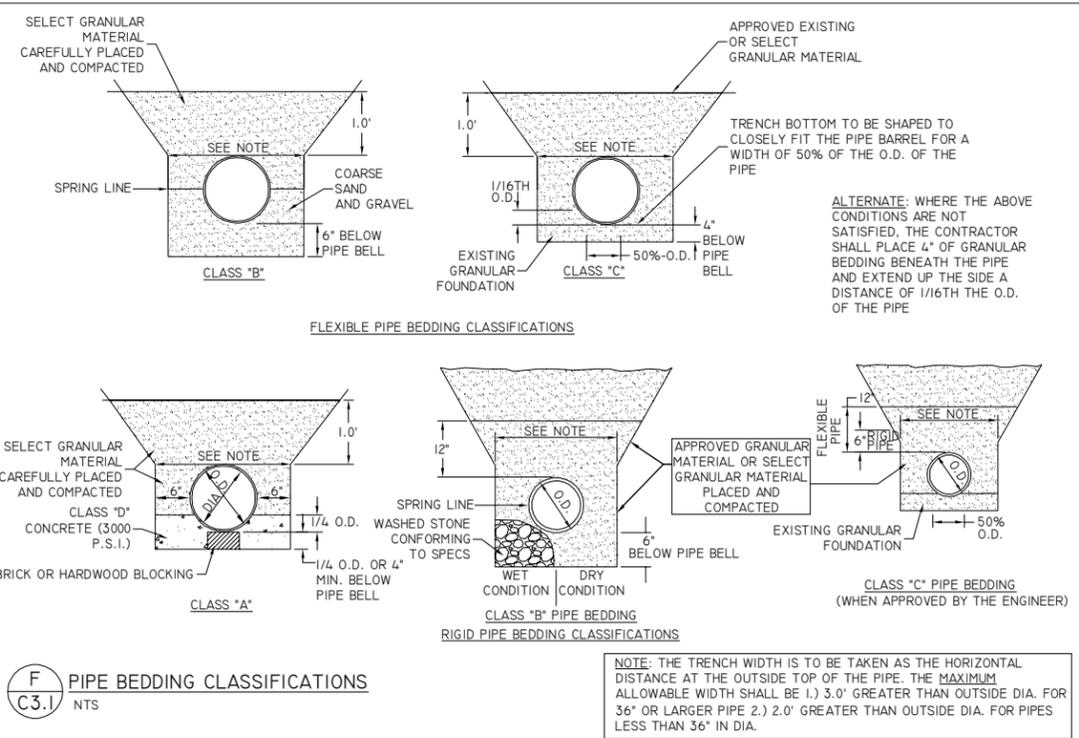
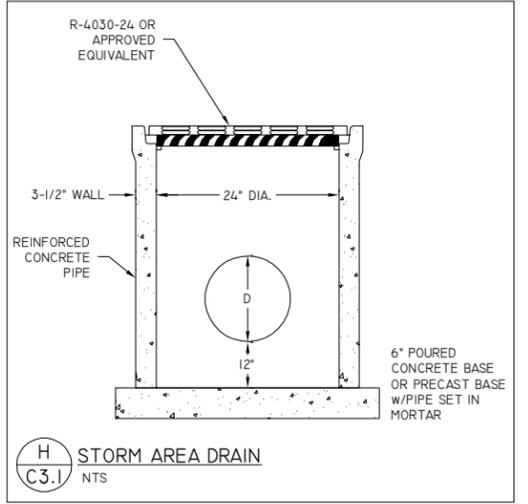
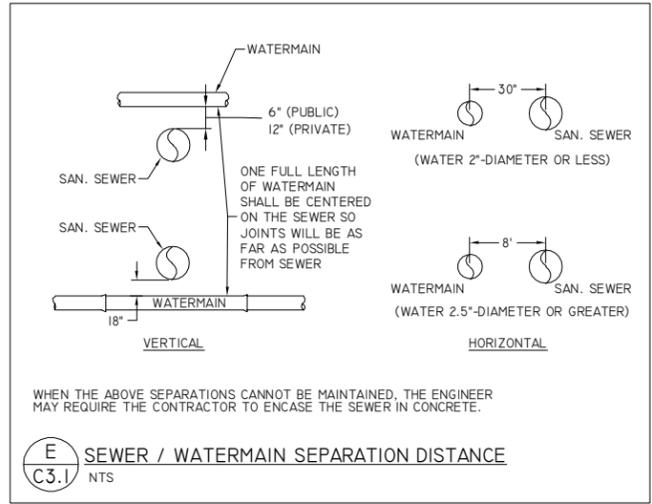
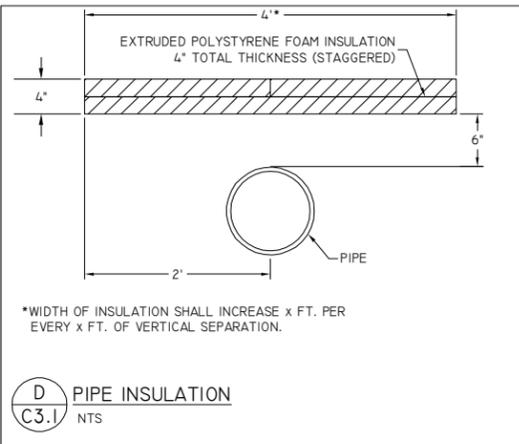
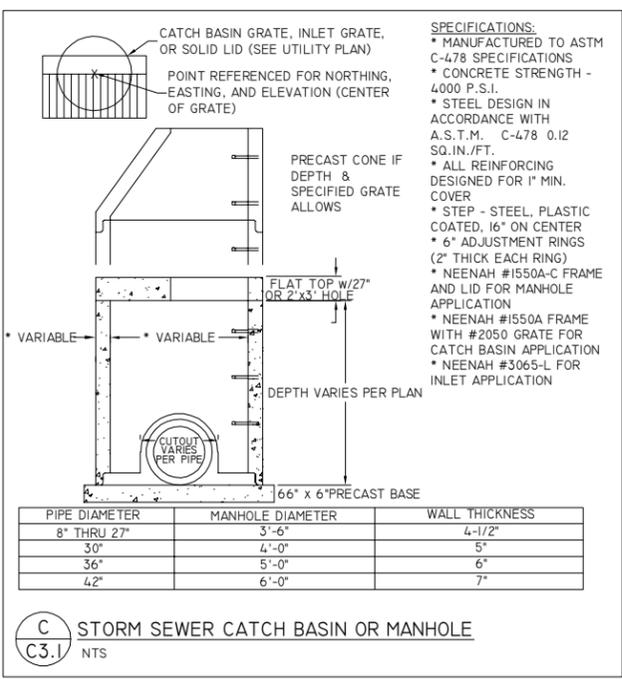
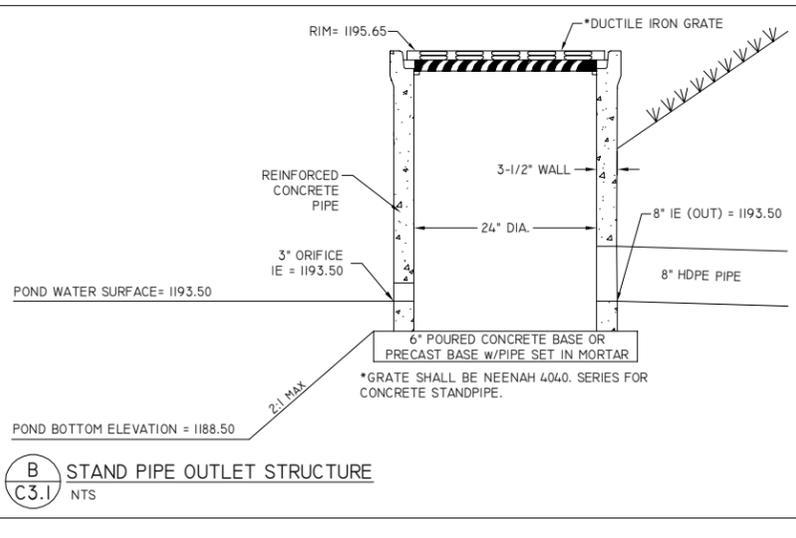
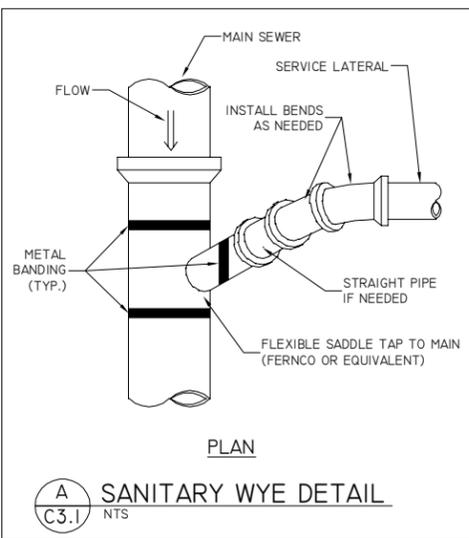


- KEYED NOTES**
1. INSTALL 12" HDPE CULVERT PIPE.
 2. INSTALL 103 LF OF 6" WATER LATERAL.
 3. INSTALL 92 LF OF 4" SANITARY LATERAL.
 4. INSTALL STAND PIPE OUTLET STRUCTURE. SEE DETAIL B/C3.1.
 5. INSTALL STORM SEWER CATCH BASIN. SEE DETAIL C/C3.1.
 6. PROPOSED 8" PVC ROOF DRAIN LEAD.
 7. INSTALL INSULATION OVER WATER PIPE AT CROSSING. SEE DETAIL D/C3.1.
 8. INSTALL STORM SEWER MANHOLE. SEE DETAIL C/C3.1.
 9. INSTALL AREA DRAIN. SEE DETAIL H/C3.1.
 10. INSTALL TAPPING VALVE AND TEE FOR WATERMAIN TO CONNECT TO EXISTING MAIN. SEE DETAIL I/C3.1.
 11. PROVIDE SADDLE TAP FOR SANITARY AND CONNECT TO EXISTING MAIN. SEE DETAIL A/C3.1.

LOT 2
 CSM #13390
 VOL. 58, PG. 137
 OWNED BY OTHERS

- NOTES:**
- (A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5' GRADE OVER PROPOSED WATER LINE.
 - (B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
 - (C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
 - (D) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A MINIMUM HORIZONTAL CLEARANCE OF 8" BETWEEN SEWER AND WATER LINES MEASURED CENTER TO CENTER. WATER CROSSING OVER SEWER SHALL HAVE 12" MINIMUM VERTICAL CLEARANCE AND WATER CROSSING BENEATH SEWER SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18". SEE DETAIL E/C3.1. VERTICAL CLEARANCES ARE MEASURED FROM OUTSIDE PIPE DIAMETER.
 - (E) SEE DETAIL F/C3.1 FOR PIPE BEDDING.
 - (F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
 - (G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.
 - (H) PRIOR TO INSTALLATION OF SANITARY AND WATER SERVICES, CONFIRM SIZE AND LOCATION WITH GENERAL CONTRACTOR.
 - (I) THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF SITE UTILITIES SHALL PROVIDE A TEMPORARY CAP OR PLUG AT BUILDING TERMINATION. REFER TO PLUMBING PLANS FOR CONTINUATION OF WORK INSIDE THE BUILDING.
 - (J) PIPE LENGTHS PROVIDED ARE GIVEN TO CENTER OF STRUCTURE OR END OF END STRUCTURE.

4a-14



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REI CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING

NO SCALE

DATE	REVISION	BY	CHK'D	DESIGNED BY: MEM	CHECKED BY: JJB
				SURVEYED BY: JAF/AJB	APPROVED BY: MEM
				DRAWN BY: NAP	DATE: 1/23/2018

UTILITY DETAILS
GUSTAVE LARSON
CLOVERLAND LANE
TOWN OF RIB MOUNTAIN

REI
REI No. 7929
SHEET C3.1 PG#10

4a15

GENERAL NOTES/SPECIFICATIONS

1. SITE USAGE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS TO FACILITATE CONSTRUCTION OF PROPOSED IMPROVEMENTS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH EQUIPMENT AND MATERIALS. MATERIAL STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
2. ALL SUB-CONTRACTORS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR (OR OWNER'S REPRESENTATIVE) WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
3. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, SAFE ACCESS TO FACILITIES, FIRE PREVENTION, AND PROJECT PHASING, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
4. CONTRACTOR SHALL KEEP A CLEAN SITE DURING CONSTRUCTION AND THROUGH FINAL ACCEPTANCE.
5. ALWAYS FOLLOW WRITTEN DIMENSIONS. DO NOT SCALE. IF DISCREPANCY EXISTS, CONTACT THE ENGINEER.
6. REMOVE ALL TREES WITHIN THE GRADING LIMITS, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER TO LOCATE ALL TREES TO REMAIN.
7. PROTECT TREES, UTILITY POLES, ABOVE AND BELOW GRADE UTILITIES, AND OTHER FEATURES THAT ARE TO REMAIN. THE REPAIR OF ANY DAMAGE TO FEATURES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO PAYMENT DUE FOR SUCH REPAIRS.
8. PROTECT ABOVE AND BELOW GRADE UTILITIES THAT ARE TO REMAIN.
9. ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, WATER VALVES, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO THE SITE GRADING PLAN SHEET.
10. PROTECT BENCHMARKS, REFERENCE SURVEY POINTS AND OTHER PROVIDED CONSTRUCTION STAKES.
11. CALL DIGGER'S HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
12. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
13. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS, AND RELOCATIONS.
14. NOTIFY ELECTRIC UTILITY AT LEAST ONE WEEK PRIOR TO WORKING IN AREAS WHERE UTILITY POLES EXIST. UTILITY COMPANY WILL PROTECT POLES AS NECESSARY.
15. DURING CONSTRUCTION THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR INSPECTION AND DOCUMENTATION OF THE EROSION CONTROL DEVICES AS REQUIRED BY THE WPDES PERMIT. IF CHANGES TO THE EROSION CONTROL PLAN ARE REQUIRED, THE CONTRACTOR SHALL RECORD THOSE CHANGES ON THE PLAN. UPON COMPLETION OF WORK AND PRIOR TO LEAVING THE SITE, THE CONTRACTOR AND OWNER'S DESIGNEE SHALL COORDINATE ONGOING RESPONSIBILITY UNTIL THE SITE'S WPDES PERMIT IS TERMINATED BY THE WDNR.
16. EROSION CONTROL DEVICES SHALL ABIDE BY THE WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS. [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML)
17. CONFIRM THAT ALL TOPSOIL HAS BEEN STRIPPED FROM AREAS TO RECEIVE EMBANKMENT BEFORE PLACING EMBANKMENT MATERIAL.
18. EMBANKMENT MATERIAL SHALL BE EXCAVATED SITE MATERIAL AND/OR IMPORTED MATERIAL DEEMED SUITABLE BY THE OWNER AND OWNER'S REPRESENTATIVE, AND CONFORM TO THE REQUIREMENTS OF SUB-SECTION 207.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MODIFY WATER CONTENT OF THE MATERIAL AS NECESSARY TO OBTAIN SPECIFIED COMPACTION FOR ALL EMBANKMENT MATERIAL.
19. CONSTRUCT ALL EMBANKMENT THAT WILL SUPPORT ROADWAYS OR ASPHALT PARKING IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; AND MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE.
20. CONSTRUCT UTILITY TRENCHES IN EMBANKMENT AREAS AFTER CONSTRUCTION OF EMBANKMENT.
21. BORROW MATERIAL SHALL BE IMPORTED MATERIAL MEETING THE ABOVE REQUIREMENTS FOR EMBANKMENT. THE CONTRACTOR SHALL IDENTIFY ITS BORROW SOURCES TO THE OWNER'S CONSTRUCTION REPRESENTATIVE AT LEAST TWO WEEKS IN ADVANCE OF HAULING MATERIAL TO THE PROJECT SITE SO THE OWNER'S CONSTRUCTION REPRESENTATIVE CAN OBTAIN SAMPLES AND PERFORM THE DESIRED TESTING.
22. STRUCTURAL FILL IS REQUIRED IN ALL AREAS THAT WILL SUPPORT PRESENT OR FUTURE BUILDING STRUCTURES, AND WITHIN AREAS EXTENDING DOWNWARD AND OUTWARD FROM THE BUILDING LIMITS AT FINISHED GRADE ON A 1-TO-1 (HORIZONTAL TO VERTICAL) SLOPE TO THE BOTTOM OF THE FILL. CONFIRM THAT ALL UNSUITABLE MATERIAL HAS BEEN REMOVED FROM AREAS TO RECEIVE STRUCTURAL FILL BEFORE PLACING MATERIAL. SUB GRADES MAY NOT RECEIVE STRUCTURAL FILL IF FROZEN, AND FROZEN STRUCTURAL FILL IS NOT ACCEPTABLE FOR USE. PROVIDE ADEQUATE ADVANCED NOTIFICATION, ACCESS, EQUIPMENT, AND OPERATOR TO PERMIT TESTING AGENCY TO OBSERVE COMPACTION OF SUB GRADE PRIOR TO PLACEMENT OF STRUCTURAL FILL MATERIAL. PROVIDE ADEQUATE ADVANCE NOTIFICATION, ACCESS AND COOPERATION TO TESTING AGENCY TO PERFORM DENSITY TESTING ON EACH LIFT OF FILL PLACED, PRIOR TO PLACING FILL ABOVE THE LIFT. THE TESTING FREQUENCY WILL BE DETERMINED BY THE OWNER OR OWNER'S DESIGNATED REPRESENTATIVE. CONSTRUCT ALL STRUCTURAL FILL IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; ALL LIFTS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557; MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE; THE LIMIT OF STRUCTURAL FILL FOR PURPOSES OF COMPACTION REQUIREMENTS IS DEFINED AS THE AREA ENCOMPASSED BY PLANS EXTENDING DOWNWARD AND OUTWARD FROM THE EDGES OF THE STRUCTURE OR CONCRETE SLAB AT 45-DEGREE ANGLES RELATIVE TO HORIZONTAL (I.E. 1:1 SLOPES).
23. THE CONTRACTOR SHALL PREPARE THE SITE TO SUPPORT THE PROPOSED SURFACE PER SEC. 211 OF THE WISDOT STANDARD SPECS.
24. DENSE GRADED BASE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS FOR DENSE GRADED BASE, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
25. HOT MIX ASPHALT PAVEMENT SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 460 OF THE WISDOT STANDARD SPECIFICATIONS FOR PAVEMENT, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
26. CONCRETE PAVEMENT AND CURBING SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 501 OF THE WISDOT STANDARD SPECS, TYPE A OR A-FA.
27. HDPE STORM SEWER SHALL BE CORRUGATED EXTERIOR WITH SMOOTH INTERIOR AND SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M 294 TYPE S, ASTM F667, ASTM F405. END SECTIONS FOR CULVERTS SHALL BE OF THE SAME MATERIAL TYPE AS THE PIPE TO WHICH THE APRON END WALL WILL BE CONNECTED, EXCEPT STEEL END SECTIONS MAY BE USED FOR HDPE PIPE. INSTALL HDPE PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 607 OF THE WISDOT STANDARD SPECIFICATIONS.
28. NON-PRESSURE POLYVINYL CHLORIDE PIPE SHALL BE SDR 35 OR SCHEDULE 40 PVC PIPE. ALL BENDS OR OTHER FITTINGS SHALL BE SCHEDULE 40.
29. POLYVINYL CHLORIDE PIPE FOR PRESSURE APPLICATIONS SHALL CONFORM TO THE REQUIREMENTS OF AWWA C900, PRESSURE CLASS 150.
30. DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST REVISION OF ANSI A21.51 (AWWA C151). DUCTILE IRON PIPE SHALL BE CEMENT-MORTAR LINED AND COATED IN ACCORDANCE WITH THE LATEST REVISION OF ANSI A21.4 (AWWA C104). ALL DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 UNLESS OTHERWISE SPECIFIED.
31. PIPE INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
32. PIPE INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.30(1)(C)2 AS REQUIRED BY SPS 382.30(1), SPS 382.36(7) & SPS 382.40(8).
33. RIPRAP AND FABRIC SHALL CONFORM TO THE REQUIREMENTS OF SECTION 606 OF THE WISDOT STANDARD SPECS, WITH THE GRADE BEING SPECIFIED ON THE PLANS.
34. TYPE SAS FABRIC SHALL CONFORM TO THE REQUIREMENTS OF SECTION 645 OF THE WISDOT STANDARDS SPEC.
35. PAVEMENT MARKING PAINT SHALL BE PRE-MIXED WATERBORNE EMULSION APPLIED TO A CLEAN SURFACE AT MANUFACTURER'S RATES TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILLIMETERS. CONFIRM COLOR WITH OWNER PRIOR TO APPLICATION.
36. AFTER FINAL STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED SUCH THAT THE BOTTOM OF ANY STORM WATER FACILITY IS AT PLAN ELEVATION. SEDIMENT SHALL BE DISPOSED OF LEGALLY OFFSITE..
37. AT A MINIMUM RESTORE SITE BY SEEDING & MULCHING ALL DISTURBED AREAS TO BE VEGETATED AND ENSURE ESTABLISHMENT OF ADEQUATE VEGETATION. SEED IS TO BE OF A SINGLE URBAN LAWN MIX TYPE INTENDED FOR THE EXISTING SITE SOILS AND CONFORMING WITH SECTION 630 OF THE WISDOT STANDARD SPECIFICATION.
38. SITE AND IMPORTED TOPSOIL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF SECTION 625 OF THE WISDOT STANDARD SPECIFICATIONS, GRADED FREE OF STONES AND LUMPS LARGER THAN 1 INCH AND FREE OF ROOTS, VEGETATION, AND OTHER UN-DECOMPOSED ORGANIC MATERIAL.
39. REFER TO "REPORT OF GEOTECHNICAL EXPLORATION & REVIEW" FOR SITE-SPECIFIC SOIL PREPARATION AND PAVEMENT RECOMMENDATIONS.
40. ELEVATIONS SHOWN AT THE TOP AND BOTTOM OF WALL DEPICT THE EXPOSED WALL FACE. THESE ELEVATIONS DO NOT ACCOUNT FOR WALL FOOTING DESIGN.
41. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL EXCESS AND UNUSED MATERIALS FROM THE SITE FOLLOWING COMPLETION OF THEIR WORK.

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PLOTTED: JAN 24, 2018 - 14:09PM PLOTTED BY: SPENCERH

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REI

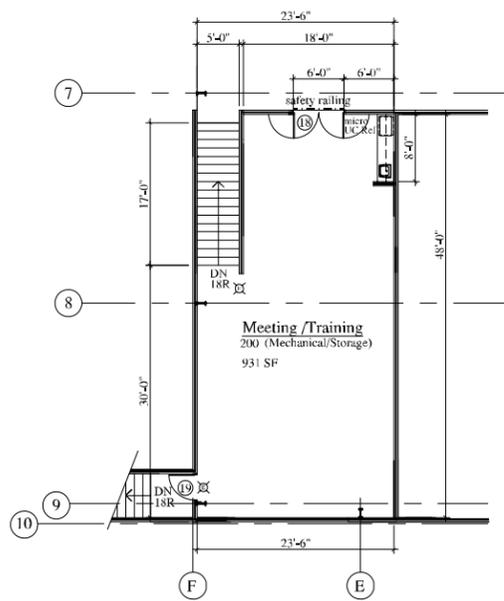
**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**

DATE	REVISION	BY	CHK'D

DESIGNED BY: MEM	CHECKED BY: JJB
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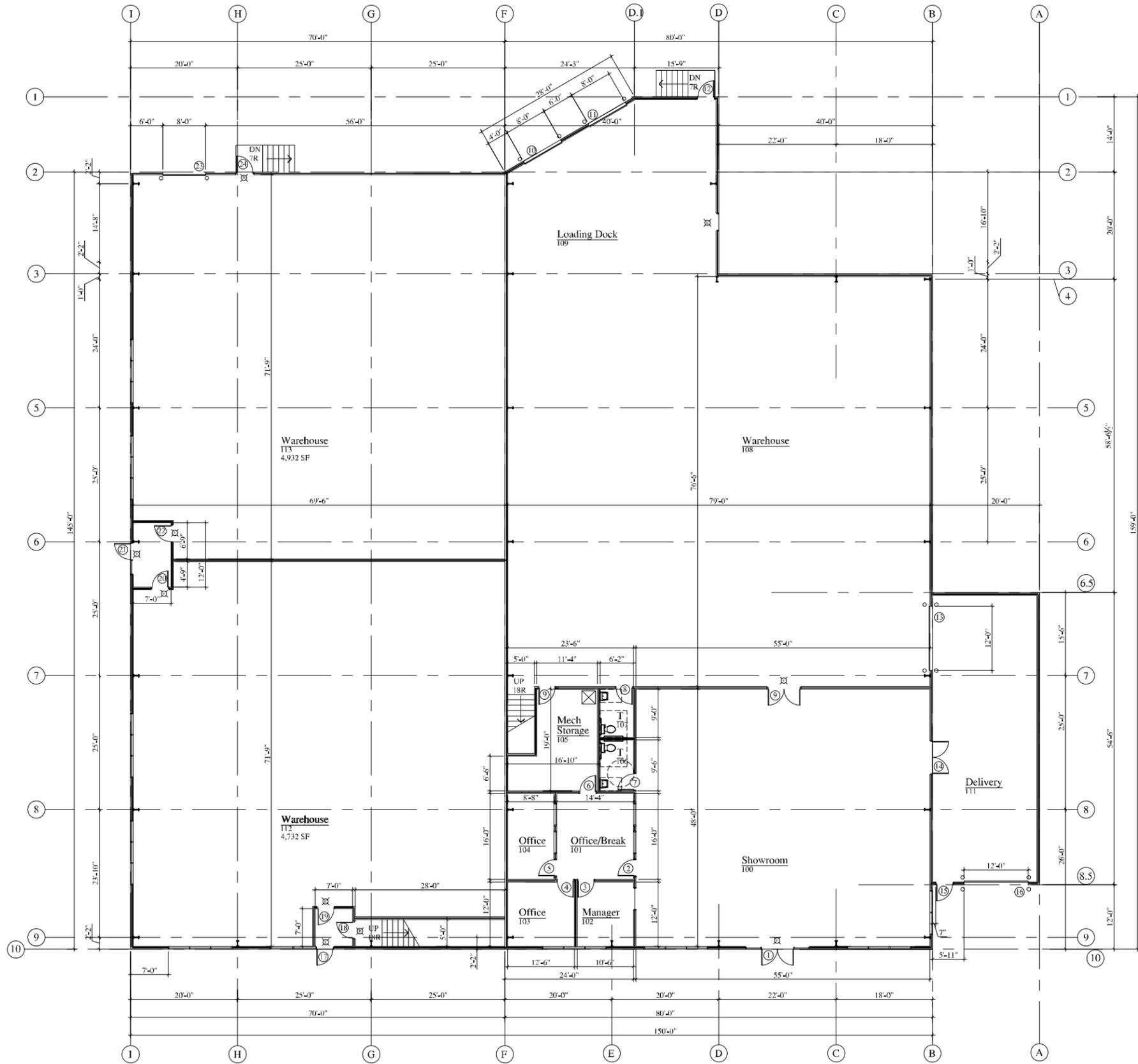
SITE SPECIFICATIONS
GUSTAVE LARSON
CLOVERLAND LANE
TOWN OF RIB MOUNTAIN

REI
REI No. 7929
SHEET SP PG# 11



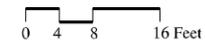
Second Floor Level - Training

Scale: 1/8" = 1'-0"



First Floor Plan

Scale: 1/8" = 1'-0"



01.24.2018
Site Plan
Review

TOM W. MEIKLEJOHN, III AIA
A R C H I T E C T
79 East Division Street
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p (920) 923-3163



Remodeling For:
Gustave A. Larson Company
Rib Mountain Drive & Goose Lane
Town Of Rib Mountain, WI

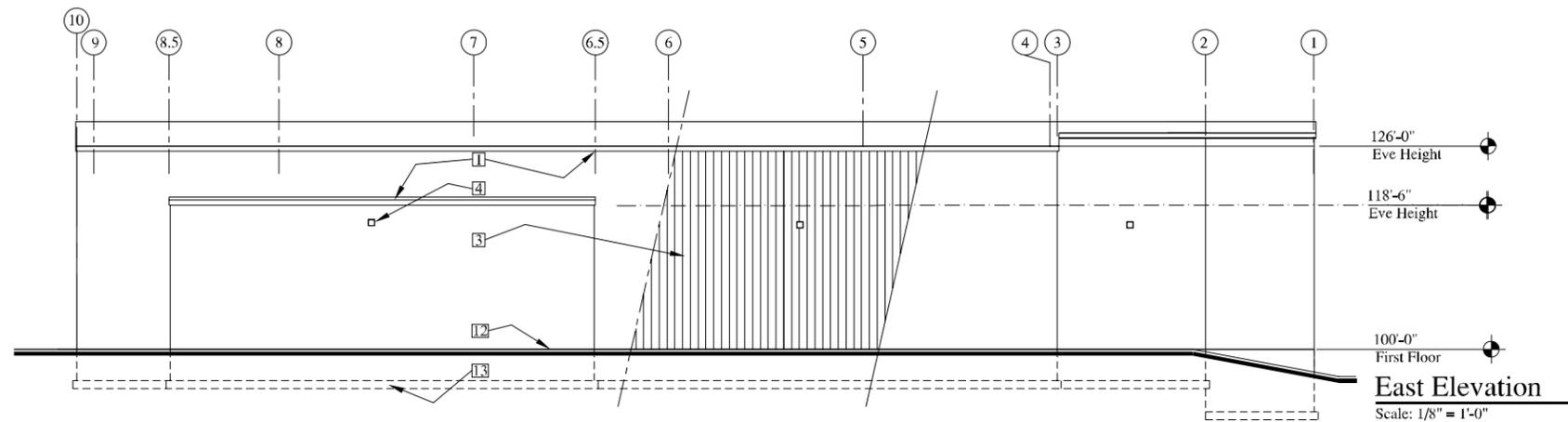
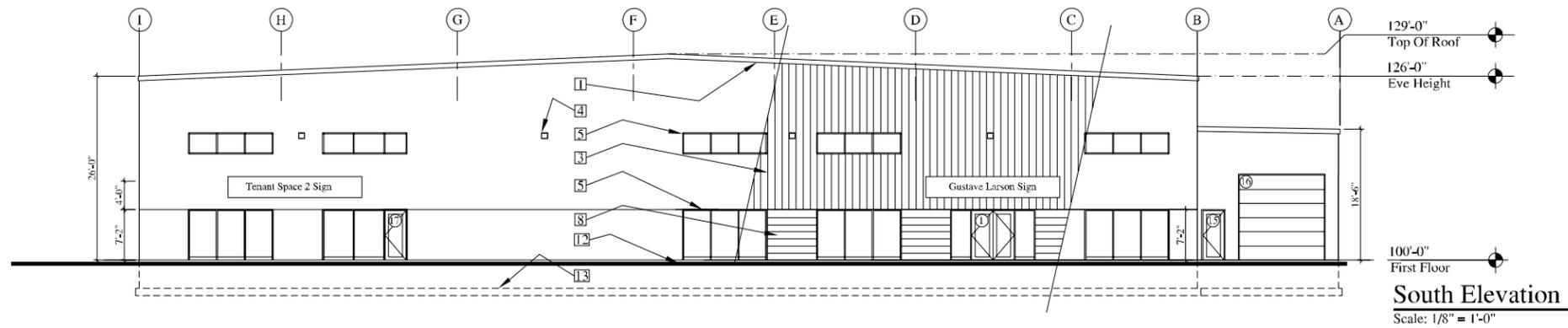
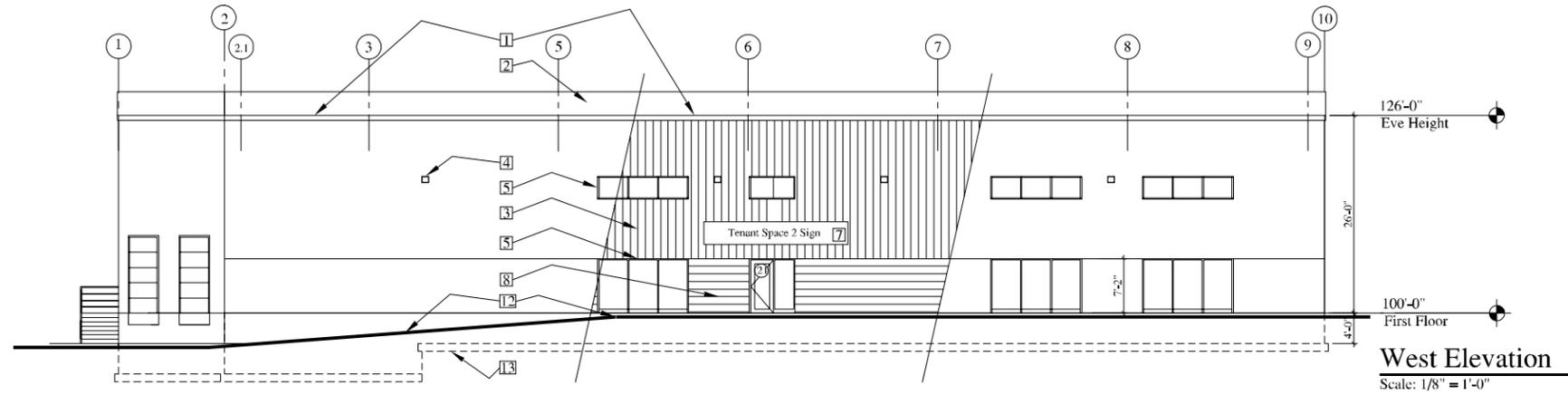
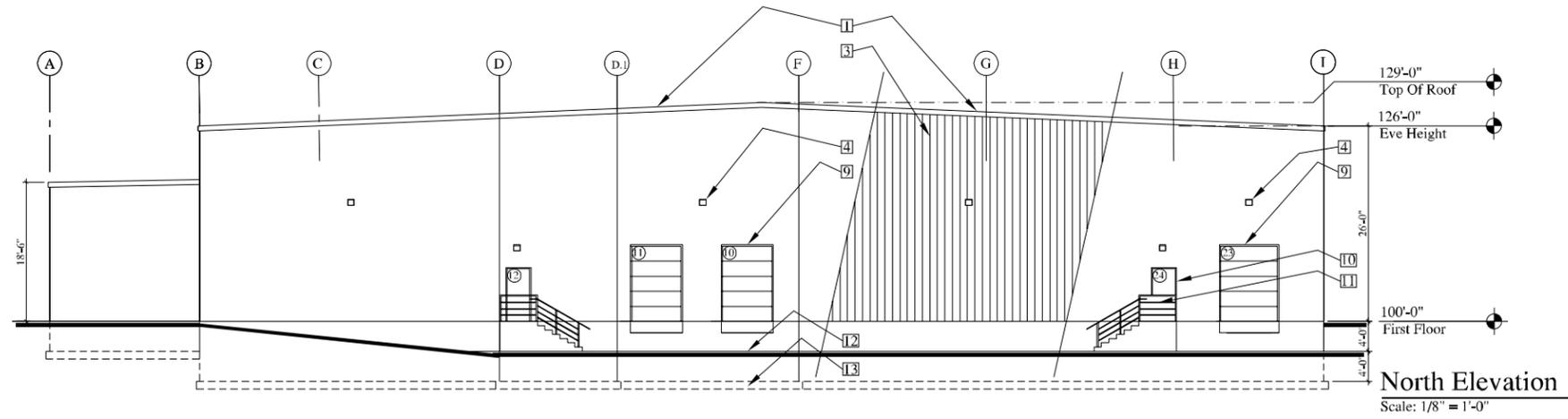
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1 of 2

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Exterior Materials List

- 1 Pre Finished Metal Roof Edge & Fascia, Gutters
- 2 Pre Finished White Metal Roof Panels
- 3 Pre Finished Metal Colored Vertical Wall Panels
- 4 Wall Lights
- 5 Insulated Glass set in Insulated Alum Frames
- 6 Insulated Glass / Door set Alum Door Frames
- 7 Signage
- 8 Pre Finished Metal Colored Horizontal Wall Panels
- 9 Insulated OH Door with Opener
- 10 Insulated Hollow Metal Walk Door & Frame
- 11 Hand / Guard Railing
- 12 Grade
- 13 Line of Concrete Foundation / Footing



01.24.2018
Site Plan
Review

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ARCHITECT
79 East Division Street
Fond du Lac, Wisconsin
p (920) 923-3163



Remodeling For:
Gustave A. Larson Company
Rib Mountain Drive & Goose Lane
Town Of Rib Mountain, WI

2016.51

2 of 2



4a-19





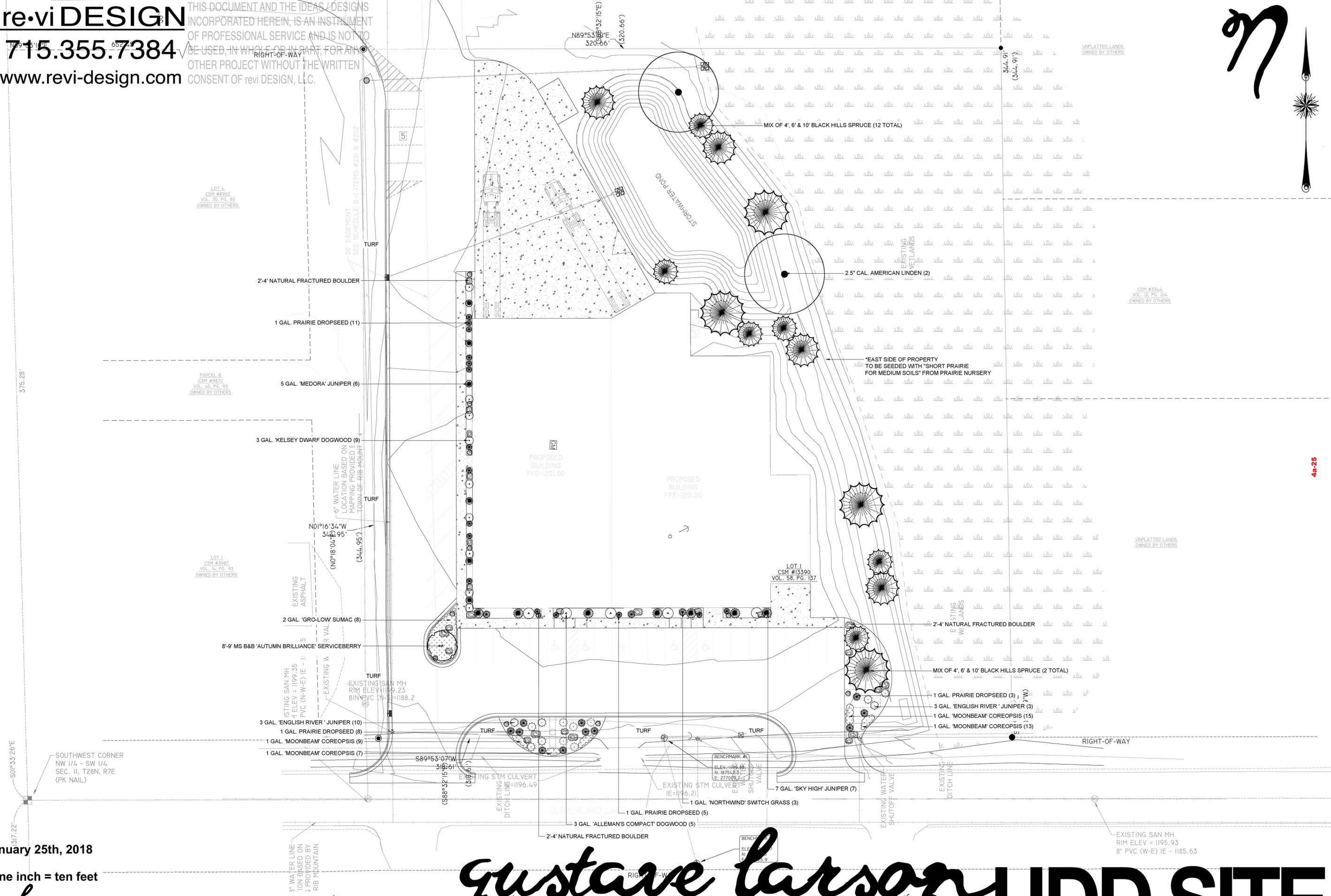
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date: january 25th, 2018
scale: one inch = ten feet
drawn by: DAVE SETHER

gustave larson **UDD SITE**



REPORT TO PLANNING COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: February 8, 2018
SUBJECT: Conditional Use Application

REQUEST: Conditional Use approval for installation of sponsorship banners along the outfield fence of the ball diamond at Doepke Park, per RMMC 'Unique Sign.'

APPLICANT: Wausau Youth Baseball, agent
PROPERTY OWNER: Town of Rib Mountain

PROPERTY ADDRESS(S): 2200 South Mountain Road
PARCEL #(S): 34.152807.012.003.00.00

CURRENT ZONING: Outdoor Recreation (OR)
ADJACENT ZONING: OR (North & East); ER-1 (South); MR-4 (West); SR-3 (West)

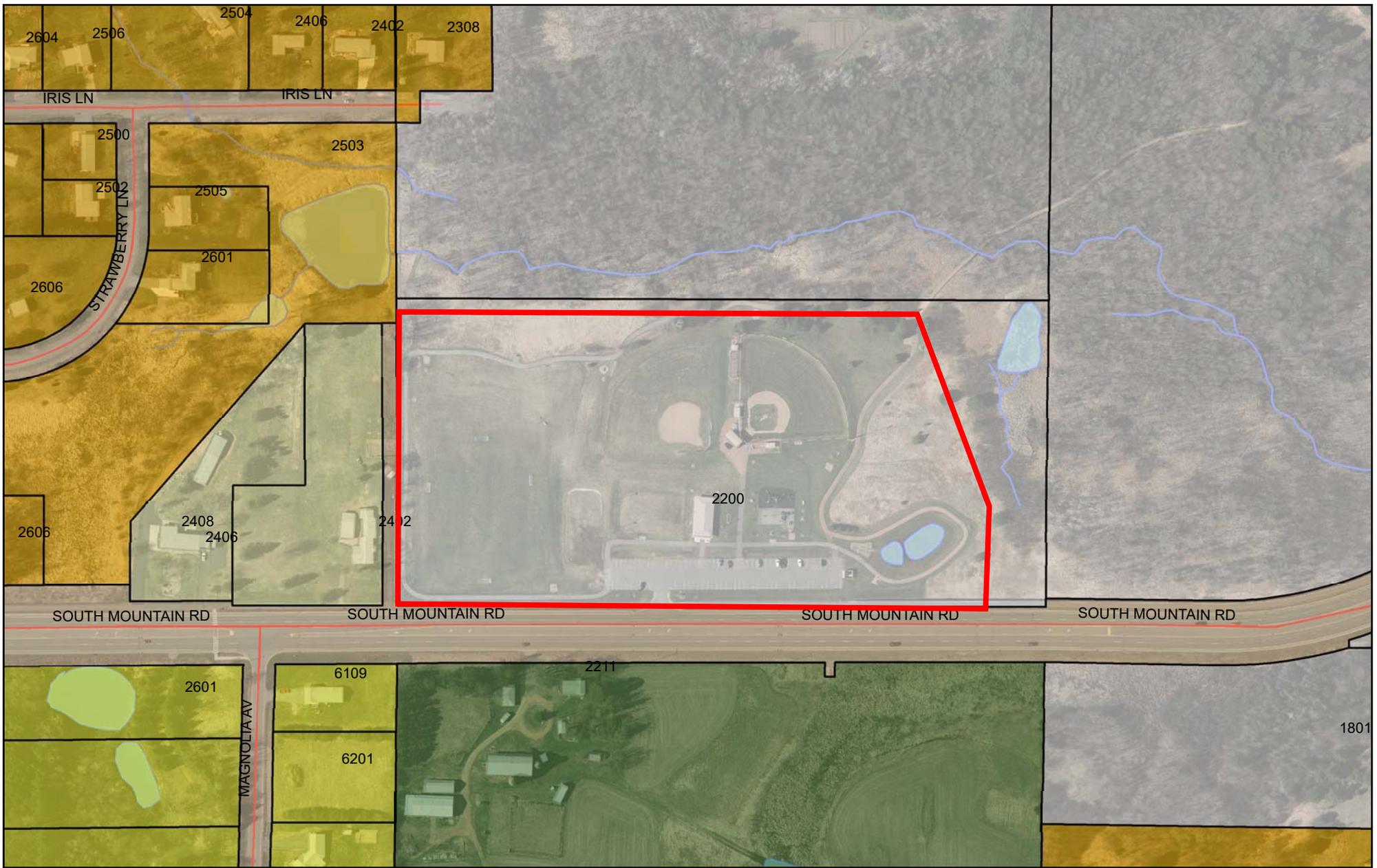
NARRATIVE:

The applicant seeks Plan Commission approval to install sponsor appreciation banners along the outfield fence of the large baseball diamond at Doepke Park. The 60 square feet (10'x6'), green and white banners would be displayed from April until August. The proposed banners do not directly fall into any of the sign configurations defined within the Town's Zoning Ordinance, and thus is handled as a 'Unique Sign' The Zoning Ordinance defines a 'unique sign' as "a sign which, in the opinion of the Zoning Administrator, dos not fall into any of the other sign categories." The Rib Mountain Park Commission approved the proposal as part of the agreement between the Park Commission and Wausau Youth Baseball on December 12, 2017.

Per RMMC Section 17.216(8): Other signs or unique signs may be permitted which is approved by the Town Board as a conditional use due to unique or special circumstances. As a condition of approving a sign under this paragraph, when any element of the approved sign is altered including the exterior appearance of any part of the sign, its frame, its supporting structure, or its lighting; the message on the sign (except for approved marquee signs) including the name of the product or service advertised on the sign or changing the name of the business shown on the sign; or changing the symbols, color, material, height, or location of the sign, the sign shall be removed unless the Town Board approves the alteration following the conditional use procedures.

POSSIBLE ACTION:

1. Recommend approval of the conditional use request at the property addressed 2200 South Mountain Road, as presented
2. Recommend approval of the conditional use request at the property addressed 2200 South Mountain Road, with conditions/modifications.
3. Recommend denial of the conditional use request at the property addressed 2200 South Mountain Road.



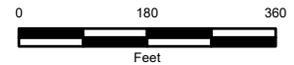
4b-2

*Rib Mountain:
"Where Nature, Family, and
Sport Come Together"*

Prepared by:
MI-TECH
www.mi-tech.us

Map Printed: 2/8/2018

- | | | | | | |
|----------------------------|--------------------------------|-------------------------|------------------------|---------------------------|------------------------|
| Parcel Outline | EO Estate Office Residential | OR Outdoor Recreation | RR Rural Residential | SR-2 Suburban Residential | UR-8 Urban Residential |
| Parcel Address | ER-1 Estate Residential | RA-1 Rural Agricultural | SC Suburban Commercial | SR-3 Suburban Residential | Building Outline |
| Zoning Districts | MR-4 Mixed Residential | RA-2 Rural Agricultural | SI Suburban Industrial | UC Urban Commercial | Road Centerline |
| Unzoned | CR-5ac Countryside Residential | ROW | SO Suburban Office | UDD Unified Development | Water Feature |
| NC Neighborhood Commercial | | | | | |



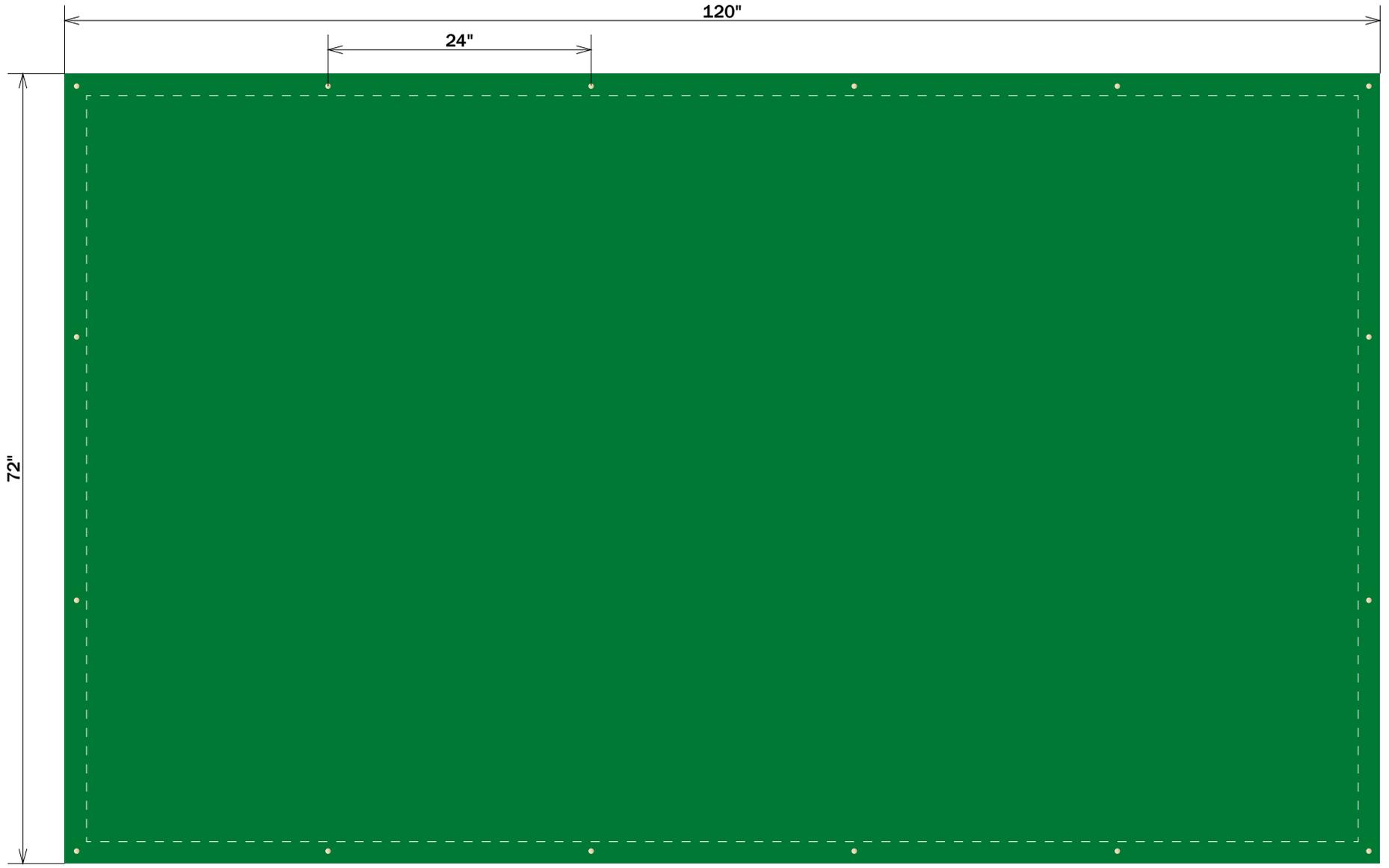
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SIGN SPECIFICATIONS

- * 10'w X 6'h mesh printed banners
- * grommets every 2 feet with all edges folded and hemmed
- *

White Pantone 356C



4b-3

Job Number

15897

file name and extension

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Customer: Wausau Youth Baseball

Customer Rep: David

Date: 11/1/17

Revision Date:

FINAL DRAWING APPROVAL

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signature:

date:

COLORS SHOWN FOR REPRESENTATION ONLY. ACTUAL PAINT OR VINYL GRAPHICS MAY NOT MATCH INK COLORS ON LAYOUT



SIGN SPECIFICATIONS

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SPORTING
GOODS**

**DOVORANY
ORTHODONTICS**

EASTBAY

**FEATHERSTONE
CABINETS
& DESIGN**

4b-4

Job Number

15897

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Customer: Wausau Youth Baseball

Date: 11/1/17

Customer Rep: David

Revision Date:

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signature:

date:

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Finishing Touch
ftsign.com

608 Creske Ave 715-845-0500

Client:
Wausau Youth Baseball
Wausau, WI

SIGN SPECIFICATIONS

- * 10'w X 6'h mesh printed banners
- * grommets every 2 feet with all edges folded and hemmed
- *

**FINISHING
TOUCH**

**FURNITURE AND
APPLIANCE
MART**

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**KIWANIS CLUB
OF WAUSAU**

**KNIGHTS OF
COLUMBUS
COUNCIL 1069**

**M3 INSURANCE
OF WAUSAU**

**MALLERY &
ZIMMERMAN, SC**

**NOON
OPTIMIST
OF WAUSAU**

4b-5

Job Number

15897

file name and extension

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NORLEN/
TOMCOR

ROTARY
OF WAUSAU

TEXAS
LIONS

VFW
OF WAUSAU

WAGNER
OIL

WAOW
TV-9

4b-6

WAUSAU
LIONS

WAUSAU
BREAKFAST
OPTIMIST

WAUSAU
ELKS NO. 248

REPORT TO PLAN COMMISSION & TOWN BOARD

FROM: Steve Kunst, Community Development Director
DATE: February 8, 2018
SUBJECT: Short-Term Rental Ordinance

NARRATIVE:

The popularity of the short-term rental market through the use of online marketplaces (e.g. Airbnb, VRBO, etc.) continues to grow as travel preferences evolve worldwide. Short-term rentals see homeowners, renters, and/or businesses lease or rent their living quarters to travelers for periods of time ranging from one day to multiple weeks. The concept began in larger cities and tourist destinations, but has more recently made its way to the Wausau metropolitan area. Depending on the community, this type of use is either welcomed or closely regulated. Critics of the use express concern over the potential adverse impacts to existing residential neighborhoods.

The Town of Rib Mountain does not directly define this type of land use within the Zoning Ordinance; and therefore, effectively prohibits it. Renting of space intended for overnight housing is regulated through zoning as either 'Commercial Indoor Lodging' (i.e. hotels/motels) or 'Bed and Breakfasts.' Town zoning regulations associated with each use can be found below. The intent behind this discussion is general in nature. Staff seeks direction as to whether this type of use is appropriate for the Town. For reference, the Village of Ashwaubenon's short-term rental ordinance is attached.

COMMERCIAL INDOOR LODGING:

Commercial indoor lodging facilities include any use of property for rental purposes specifically used by transient guests, which provide overnight housing in individual rooms or suites of rooms, each room or suite having a private bathroom. Such land uses may provide in-room or in suite kitchens, and may also provide indoor recreational facilities for the exclusive use of their customers. Transient guests typically include people whose length of stay is less than 30 days. Lodging may include any type of dwelling, including the use of one-family and two-family homes, where the lodger does not take up residency. Restaurant, arcades, fitness centers, and other on-site facilities available to nonlodgers are not considered accessory uses and therefore require review as a separate land use.

1. Permitted by Right: Not applicable.
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations {EO, SO, SC, UC, CC}:
 - a. If located on the same side of a building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 100 feet of a residentially zoned property.
 - b. Facility shall provide a bufferyard with a minimum opacity of 0.60 along all borders of the property abutting residentially zoned property (see Section 17.150).
 - c. Within the EO and SO District, each and every room must take primary access via an individual interior door, and may not be accessed via an external balcony, porch or deck, except for emergency purposes.
 - d. Shall comply with Section 17.225, standards and procedures applicable to all conditional uses.
4. Parking Regulations: One space per bedroom, plus one space for each employee on the largest work shift.

BED AND BREAKFAST:

Description: Bed and breakfast establishments are exclusively indoor lodging facilities which provide meals only to paying lodgers. Such land uses may provide indoor recreational facilities for the exclusive use of their customers.

1. Permitted by Right: Not applicable.
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations {OR-35ac, RR-35ac, CR-5ac, ER-1, SR-2, SR-3, MR-4, UR-8, EO, NC, SC, UC, CC}: (Am. #09-05)
 - a. All such facilities shall be required to obtain a permit to serve food and beverages. They shall be inspected annually at a fee as established by a separate ordinance, to

verify that the land use continues to meet all applicable regulations.

b. 1 sign, with a maximum area of 20 square feet, shall be permitted on the property.

c. Facility shall provide a bufferyard with a minimum opacity of .60 along all borders of the property abutting residentially zoned property (see Section 17.150).

d. No premises shall be utilized for a bed and breakfast operation unless there are at least 2 exits to the outdoors from such premises. Rooms utilized for sleeping shall have a minimum size of 100 square feet for 2 occupants with an additional 30 square feet for each additional occupant to a maximum of 4 occupants per room. Each sleeping room used for the bed and breakfast operation shall have a separate operational smoke detector alarm, as required in the Rib Mountain Building Code. One lavatory and bathing facility shall be required for every 10 occupants, in addition to the owner/occupant's personal facilities.

e. The dwelling unit in which the bed and breakfast takes place shall be the principal residence of the operator/owner and said operator/owner shall live on the premises when the bed and breakfast operation is active.

f. Only the meal of breakfast shall be served to overnight guests.

g. Each operator shall keep a list of names of all persons staying at the bed and breakfast operation. This list shall be kept on file for a period of one year. Such list shall be available for inspection by Town officials at any time.

h. The maximum stay for any occupants of a bed and breakfast operation shall be 14 days.

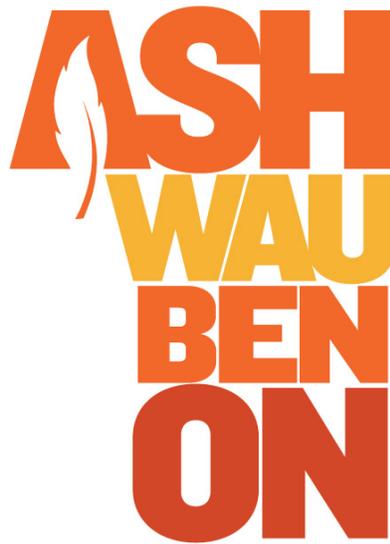
i. It shall be unlawful for any persons to operate a bed and breakfast operation as defined and as permitted in the Municipal Code of the Town of Rib Mountain without first having obtained a conditional use permit and a license. The fee for issuance of a license required under this Ordinance shall be in accordance with Section 17.255 and collected by the office of the Town Clerk. The amount of such fee shall be established by the Town Board and shall be in an amount sufficient to defray the cost of inspections and supervision necessary for the implementation and enforcement of this Ordinance.

POSSIBLE ACTION: No formal action to be taken. Item is for discussion only.

Village of Ashwaubenon

Municipal Code Book

Monday, January 29, 2018 8:08 AM



Printed for:
Chapter 6 - Businesses
Article 13 - Licensing of Short-Term Rentals

Municipal Code Book

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Chapter 6 - Businesses

Article 13 - Licensing of Short-Term Rentals

6-13-20 Purpose

The purpose of this Article is to ensure that the quality of short-term rentals operating within the Village is adequate for protecting public health, safety and general welfare, including establishing minimum standards of space for human occupancy and for an adequate level of maintenance; determining the responsibilities of owners, operators and property managers offering these properties for tourists or transient occupants, to protect the character and stability of all areas, especially residential areas, within the Village of Ashwaubenon; to provide minimum standards necessary for the health and safety of persons occupying or using buildings, structures or premises; and provisions for the administration and enforcement thereof.

Ord. No. O9-2-17, 9-26-2017

6-13-21 Definitions

- (A) For the purpose of administering and enforcing this Article, the terms or words used herein shall be interpreted as follows:
- (1) Words used in the present tense include the future.
 - (2) Words in the singular number include the plural number.
 - (3) Words in the plural number include the singular number.

(B) The following definitions and conditions apply unless specifically modified:

Clerk. The Village Clerk of the Village of Ashwaubenon or designee.

Corporate Entity: A corporation, partnership, limited liability company, or sole proprietorship licensed to conduct business in this state.

Dwelling Unit: One (1) or more rooms with provisions for living, cooking, sanitary, and sleeping facilities and a bathroom arranged for exclusive use by one (1) person or one (1) family. Dwelling Units include residential, tourist rooming house, seasonal employee housing and dormitory units.

License. The Short-Term Rental License issued under 6-13-23

Owner. The owner of a short-term rental.

Person. Shall include a corporation, firm, partnership, association, organization and any other group acting as a unit as well as individuals, including a personal representative, receiver or other representative appointed according to law. Whenever the word person is used in any section of this Article prescribing a penalty or fine, as to partnerships or associations, the word shall include the partners or members hereof, and as to corporations, shall include the officers, agents or members thereof who are responsible for any violation of such section.

Property Manager. Any person that is not the property owner and is appointed to act as agent and/or provides property management services to one or more short-term rental.

Short Term Rental. A residential dwelling that is offered for rent for a fee and for fewer than 29 consecutive days, as defined in Wis. Stat. Sec. 66.0615 (1)(dk).

State. The State of Wisconsin Department of Health, or its designee.

Ord. No. 10-3-17, 10-6-2017, Ord. No. 09-2-17, 9-26-2017

6-13-22 Operation of Short-Term Rentals

(A) No person may maintain, manage, or operate a short-term rental more than 10 nights each year without a short-term rental license. Every short-term rental shall be operated by a Property Owner or Property Manager.

(B) Each short-term rental is required to have the following licenses and permits:

- (1) A State of Wisconsin Tourist Rooming House License;
- (2) A seller's permit issued by the Wisconsin Department of Revenue;
- (3) A Room Tax Permit; and
- (4) A permit or license issued pursuant to the provisions of this Article.

(C) Each short-term rental shall comply with all of the following:

- (1) The total number of days within any consecutive 365-day period that the dwelling may be rented shall not exceed 180 days.
- (2) The Property Owner or Property Manager shall notify the Clerk in writing when the first rental within a 365-day period begins.
- (3) No vehicular traffic shall be generated that is greater than normally expected in the residential neighborhood.
- (4) There shall not be excessive noise, fumes, glare, vibrations generated during the use.
- (5) Name plates or other signage shall not exceed one square foot. No other signage advertising the short-term rental is permitted on site. Off-site advertising in media channels relating to the availability of the rental may take place only after all Village, County and State permits and licenses have been obtained.
- (6) The number of occupants in any unit shall not exceed the limits set forth in the State of Wisconsin Uniform Dwelling Code and other applicable county and village housing regulations based upon the number of bedrooms in each unit.
- (7) No recreational vehicles (RVs), camper, tent, or other temporary lodging arrangement shall be permitted on site as a means of providing additional accommodations for paying guests or other invitees.
- (8) Any outdoor event held at the short-term rental shall last no longer than one day occurring between the hours of 8:00 a.m. and 10:00 p.m. Any activities shall be in compliance with other noise regulations of the Village.
- (9) All rentals of the short-term rental shall be subject to payment of the Brown County room tax at the current applicable rate. Permit holders are responsible for complying with all regulations of the room tax.
- (10) Compliance with all applicable state, county, and local codes and regulations is required.
- (11) Annual general building inspection is required prior to issuance or renewal of the license.
- (12) A local property management contact must be on file with the Village at the time of application. The local Property Manager must be within twenty-five (25) miles of the short-term rental property and must be available 24 hours a day. The Property Owner must notify the Village within twenty-four (24) hours of a change in management contact information for the short-term rental.
- (13) A short-term rental license will not be issued until the following contingencies have been met:
 - (a) License from the County received;

- (b) General building and fire code inspection completed by the village and no outstanding orders remain.
- (14) Short-term rental licenses are issued for one year period and must be renewed annually subject to Village approval or denial.
- (15) The Property Owner of the short-term rental shall have appropriate insurance for the home that is used for short-term rental and provide proof of insurance with the license application and renewal.
- (16) Each short-term rental shall provide a register and require all guests to register their true names and addresses before being occupancy of the short-term rental. The register shall be kept intact and available for inspection by representatives of the Village for at least one year.
- (17) Each short-term rental shall maintain the following written records for each rental of the dwelling unit: the full name and current address of any person renting the property, the time period for that rental, and the monetary amount or consideration paid for that rental.

Ord. No. 09-2-17, 9-26-2017, Ord. No. 10-3-17, 10-6-2017, Ord. No. 10-4-17, 10-24-2017

6-13-23 Short-Term Rental License

- (A) The Clerk shall issue a short-term rental license to all applicants following the approval of an application and the filing of all documents and records required under this Article. The application shall also contain the following information:
 - (1) Identify the Property Owner with contact information including mailing address, physical address, and 24 hour phone number;
 - (2) Identify the Property Manager with contact information including mailing address, physical address, and 24 hour phone number;
 - (3) The maximum days of occupancy for the premises for individual rentals;
 - (4) The license term; and
 - (5) State lodging license number, if any.

Ord. No. 10-3-17, 10-6-2017, Ord. No. 09-2-17, 9-26-2017

6-13-24 Short-Term Rental License Procedure

- (A) All applications for a short-term rental license shall be filed with the Clerk on forms provided. Applications must be filed by the Property Owner. No permit shall be issued unless the completed application form is accompanied by payment of the required fee.
- (B) Each application shall include the following information and documentation for each short-term rental unit:

- (1) A copy of State of Wisconsin License for a Tourist Rooming House License issued under Wis. Stat. Sec. 254.64;
 - (2) A copy of a completed State Lodging Establishment Inspection form dated within one (1) year of the date of issuance or renewal;
 - (3) Proof of Insurance;
 - (4) A copy of Seller's Permit from the Department, if any;
 - (5) Floor plan and requested maximum occupancy;
 - (6) Site plan including available onsite parking;
 - (7) Property Management Agreement (if applicable);
 - (8) Designation of the Property Manager
 - (9) Certification from the property owner that the property meets the requirements of this Article;
 - (10) A Room Tax Permit issued by the Village of Ashwaubenon;
 - (11) An employer identification number issued by the Internal Revenue Service.
- (C) Terms and Filing date. Each permit and license shall run during a calendar year. The filing fee shall be paid upon filing of the application. The Clerk may conditionally accept late applications, subject to payment of the late filing fee. Any application which does not include all of the information and documentation shall not be considered as complete.
- (D) Application Review Procedure. When satisfied that the application is complete, the Clerk shall forward initial applications for permits and licenses to the appropriate Village Departments for review. If the Clerk in consultation with Village staff determines that the application meets the requirements of this Article, they may approve the application. If the Clerk in consultation with Village staff determines that the application does not meet the requirements of this Article, they may deny the application.
- (E) No permit or license shall be issued or renewed unless there is filed with the Clerk a completed Fire Inspection Report dated not more than one (1) year before the date of issuance or renewal.
- (F) No permit or license shall be issued or renewed, if the applicant or property has outstanding fees, taxes or forfeitures owed to the Village, unless arrangements for payment have been approved by the Clerk.

Ord. No. 10-3-17, 10-6-2017, Ord. No. 09-2-17, 9-26-2017

6-13-25 Renewal

- (A) Each application for a renewal of a permit or license shall include updated information for the documentation on file with the Clerk and payment of the applicable fee. The Clerk shall verify that the information provided on the renewal application is complete and in accordance with the requirements of this Article. The Clerk shall request reports from the Public Safety Department and the Zoning Administrator regarding any complaints received, calls for service or actions taken regarding the short-term rental properties. The Clerk shall issue renewal licenses within thirty (30) days of the filing of the application unless the information provided is incomplete or otherwise not in compliance with the requirements of this Article and/or the reports from the Police Department and the Zoning Administrator indicate that there are complaints or actions involving the property.
- (B) If the Clerk finds that the license or permit should not be renewed, the Clerk shall deny the renewal.
- (C) No permit or license shall be issued or renewed unless there is filed with the Clerk a completed Fire Inspection Report by the Village fire inspector dated within one (1) year of the issue date.
- (D) No permit or license shall be renewed if the applicant or property has outstanding fees, taxes or forfeitures owed to the Village, or is under an order issued by the Building Inspector, or his designee, to bring the premises into compliance with Village ordinances, unless arrangements for payment have been approved by the Clerk.

Ord. No. 09-2-17, 9-26-2017

6-13-26 Property Manager

- (A) Property Manager Permit. No person may act as a Property Manager for a short-term rental without a Property Manager Permit issued in accordance with the provisions of this Article. The Property Manager Permit shall apply to all short-term rentals for which the Property Manager has exclusive rights for the rental of the property. The Property Manager must certify to the Village that each short-term rental operating under the short-term rental license complies with the standards of this Article.
- (B) Property Manager Qualifications. To qualify as a Property Manager the applicant must meet the following requirements:
 - (1) Be a natural person residing in or within twenty-five (25) miles of the Village of Ashwaubenon or a corporate entity with offices located within twenty-five (25) miles of the Village of Ashwaubenon.
 - (2) The applicant does not have pending any criminal charge and has not been convicted of a felony or misdemeanor of any offense involving dishonesty, fraud, deceit, robbery, the use or threatened use of force or violence upon the person of another.
- (C) Each Property Manager shall be authorized by the Property Owner to act as the agent for the owner for the receipt of service of notice of violation of this Article's provisions and for service of process pursuant to this Article and shall be authorized by the owner to allow Village employees, officers and their designees, to enter the owner's property for purposes of inspection and enforcement of this Article and/or the Village Municipal Code.

Ord. No. 10-3-17, 10-6-2017, Ord. No. 09-2-17, 9-26-2017

6-13-27 Standards for Short-term Rentals

- (A) Each short-term rental shall comply with this Article's requirements or any other applicable Village ordinance. Each short-term rental shall comply with the following minimum requirements:
- (1) One (1) internal bathroom for every four (4) occupants;
 - (2) Not less one hundred fifty (150) square feet of floor space for the first occupant thereof and at least an additional one hundred (100) square feet of floor space for every additional occupant thereof; the floor space shall be calculated on the basis of total habitable room area. Floor space is determined using interior measurements of each room. Floor space does not include kitchens, bathrooms, closets, garages, or rooms not meeting Uniform Dwelling Code requirements for occupancy. The maximum occupancy for any premises without a separate enclosed bedroom is two (2) people;
 - (3) Not less than one (1) onsite off-street parking spaces for every four (4) occupants based upon maximum occupancy;
 - (4) A safe, unobstructed means of egress from the short-term rental leading to safe, open space at ground level;
 - (5) Shall have functional smoke detectors and carbon monoxide detectors in accordance with the requirements of Chapter SPS 321 of the Wisconsin Administrative Code;
 - (6) Shall not have an accessible wood burning fireplace unless the property owner provides a certificate from a properly licensed inspector, dated not more than thirty (30) days prior to submission, certifying that the fireplace and chimney have been inspected and are in compliance with National Fire Prevention Association Fire Code Chapter 211 Standard for Chimneys, Fireplaces, Vents, and Solid Fuel-Burning Appliances;
 - (7) Shall not have a hibachi, gas-fired grill, charcoal grill, or other similar devices used for cooking or any other purpose on any balcony, deck or under any overhanging structure or within ten (10) feet of any structure;
 - (8) Shall not have a fire pit or other similar device used for heating or any other purpose on any balcony, deck or under any overhanging structure or within twenty (25) feet of any structure;
 - (9) All Property Managers shall carry casualty and liability insurance issued by an insurance company authorized to do business in this state by the Wisconsin Office of the Commissioner of Insurance, with liability limits of not less than \$300,000 per individual and \$1,000,000 aggregate;
 - (10) Certification of compliance. As a condition of issuance of a license under this Article, the Property Manager shall certify that each managed property is in compliance with the terms and conditions of the license and this Article.

Ord. No. 10-3-17, 10-6-2017, Ord. No. 09-2-17, 9-26-2017

6-13-28 Room Tax

- (A) Each short-term rental shall comply with the room tax reporting requirements of the Village Municipal Code Chapter 12, Article 3.
- (B) Each Property Manager Licensee shall file room tax returns for the managed short-term rentals.
- (C) All tax returns and supporting documentation filed with the Clerk are confidential and subject to the protections provided under Village Municipal Code Sec. 12-3-141 and Wis. Stat. Sec. 66.0615 (3) and Wis. Stat. Sec. 77.61.

Ord. No. 09-2-17, 9-26-2017

6-13-29 Display of Permit

Each license or permit shall be displayed on the inside of the main entrance door of each short-term rental.

Ord. No. 09-2-17, 9-26-2017

6-13-30 Appeal and License Revocation

- (A) The denial of any license or permit application or renewal under this Article may be appealed by filing a written appeal request with the Clerk within ten (10) days of the Village's notice of denial. The appeal shall be heard by the Public Works and Protection Committee, which shall make a recommendation to the Village Board. The Village Board shall consider the application or renewal and recommendations and may approve or deny the application or renewal.
- (B) A license may be revoked by the Village Board for one or more of the following reasons:
 - (1) Failure to make payment on taxes or debt owed to the Village;
 - (2) Failure to make payment on the Brown County room tax;
 - (3) Three (3) or more calls for police service, building inspection or the health department for nuisance activities or other law violations in a twelve (12) month period as defined in Sec. 11-1-26, Chronic Nuisance Premises;
 - (4) Failure to comply with annual Village building inspection requirements;
 - (5) Failure to maintain all required local, county, and state licensing requirements;
 - (6) Failure to use the property as a short-term rental within twelve (12) months of obtaining the Village license;
 - (7) Failure to comply with any requirements cited within 17-4-100(A);
 - (8) Any violation of local, county, or state laws that substantially harm or adversely impact the predominantly residential uses and nature of the surrounding neighborhood.

6-13-31 Penalties

- (A) Any person who shall violate any provision of this Article shall be subject to a penalty as provided in Section 1-1-13 and in the forfeiture amounts as provided for in the bond schedule for the Village Municipal Court.
- (B) Penalties set forth in this section shall be in addition to all other remedies of injunction, abatement or costs whether existing under this Article or otherwise

Ord. No. 09-2-17, 9-26-2017

6-13-32 Fees

- Initial and Renewal Short-Term Rental application fee - \$500
- Each additional units added under a Short-Term Rental License - \$250
- Re-inspections - \$100
- Property Manager Permit - \$100

Ord. No. 10-3-17, 10-6-2017, Ord. No. 09-2-17, 9-26-2017

6-13-33 Severability

If any provision of this Article and its ordinances is held invalid or unconstitutional by any court of competent jurisdiction, such a decision shall not affect the validity of any other provision of this Article or its ordinances. It is hereby declared to be the intention of the Village of Ashwaubenon that all provisions of this Article and its ordinances therein are separable.

Ord. No. 10-3-17, 10-6-2017