



# **TOWN OF RIB MOUNTAIN**

Where Nature, Family & Sport Come Together

[www.townofribmountain.org](http://www.townofribmountain.org)

3700 North Mountain Road  
Wausau, Wisconsin 54401  
(715) 842-0983  
Fax(715) 848-0186

## **PLAN COMMISSION**

### **OFFICIAL NOTICE & AGENDA**

A meeting of the Town of Rib Mountain Plan Commission will be held on **Wednesday, June 28<sup>th</sup>, 2017; 6:30 P.M. at 3700 North Mountain Road, Town of Rib Mountain Municipal Center.** The Town Board may attend for purposes of gathering information. Subject matter for consideration and possible action follows:

- 1.) Call to Order
- 2.) Roll Call
- 3.) Minutes
  - a. **Approval of minutes from the 6-14-2017 Plan Commission meeting.**
- 4.) New Business:
  - a. **People's State Bank, owner, requests Site Plan approval for parking lot improvements at the property addressed 2904 Rib Mountain Drive. Parcel #34.102807.002.013.00.00. Docket #2017-19.**
  - b. **Quality Foods IGA, owner, requests Site Plan approval for parking lot improvements at the property addressed 2900 Rib Mountain Drive. Parcel #34.102807.002.001.00.00. Docket #2017-20.**
  - c. **Discussion and recommendation on canopy/tent-like structures. Docket #2017-21.**
- 5.) Correspondence/ Questions/Town Board Update:
- 6.) Public Comment
- 7.) Adjourn

TOWN OF RIB MOUNTAIN  
PLANNING COMMISSION MEETING  
June 14, 2017

Chairperson Harlan Hebbe, called the meeting of the Plan Commission to order at 6:30 pm. Other Plan Commission members present included Jim Hampton, Ryan Burnett, and Laura McGucken. Tom Steele, Jay Wittman and Ann Lucas were excused. Also present were Community Development Director, Steve Kunst, and Building Inspector / Assistant Zoning Administrator, Paul Kufahl.

MINUTES:

**Motion by Jim Hampton, second by Ryan Burnett to approve the minutes of the May 24, 2017 Plan Commission meeting as presented. Motion carried 4-0.**

NEW BUSINESS:

- a. *TRS Development, applicant, requests a pre-application conference for a potential Unified Development District project at the property addressed 4703 Lilac Avenue. Parcel #34.142807.006.007.00.00. Docket #2017-15.*

Representatives for the redevelopment of the TRS properties at 4703 Lilac presented a conceptual development plan to Plan Commissioners. The site plan presented included a Culver's restaurant in the southwest corner of the property and two retail buildings situated to the east along Swan Ave. The plan included moving the sanitary lift station to the southwest corner of the property and the development of two stormwater management facilities. Representatives noted a vacation of Sunflower Lane is necessary to begin the redevelopment. They also noted it would be a phased redevelopment approach, starting with the Culvers location, a stormwater facility, moving of the sanitary lift station, and aligning access with the current Kwik Trip/Koletsy private road. Subsequent phases would depend on the acquisition of businesses and their needs.

Plan Commissioners main discussed the duration of demolition, bike and pedestrian safety, the overall condition of Lilac Avenue, Morning Glory Lane and Swan Avenue with the increased traffic and potential interaction with the residential buildings across Swan Ave.

There was a brief discussion about the zoning preference for these parcels. Kunst noted the entire proposed development area could be rezoned to a Unified Development District (UDD) or left as Urban Commercial (UC) with a conditional use for the restaurant. Commissioners generally felt leaving it UC for the Culvers parcel development was acceptable and they could go either way for the remaining development.

- b. *Tom Jamgochian, applicant, requests a pre-application conference for a potential conditional use application at the property addressed 2901 Rib Mountain Drive. Parcel #34.102807.001.008.00.00. Docket #2017-16.*

The applicant presented a redevelopment idea for the current Michael's Supper Club property, along with the adjacent vacant lot and residence which are all under the same ownership. Tom Jamgochian presented a 24-hour, high efficiency, high volume car wash which would also feature a number of free vacuum bays. He noted patrons would enter the site from Robin Lane, approach a kiosk where they would select their intended wash type and proceed to que up for the wash bay. He noted the typical wash time is about 4.5 minutes, but instead of waiting for a car to be completely finished before the next car enters, the new car wash designs incorporate conveyor systems allowing for multiple cars in different stages of the wash cycle in the enclosed structure at the same time. He noted a 16-25 second load time for each new car. Upon exiting the car wash, customers would have the ability to use the free vacuum stations or exit back onto Rib Mountain Drive.

Plan Commissioners identified the following concerns related to the proposed redevelopment and asked the applicant to consider them as he continues his plan; noise levels related to the washing process and vacuums, compatibility with the residential zoning to the east, impact on traffic at the intersection and customer's ability to enter onto Rib Mountain Drive, impact on pedestrian and the school crossing route, and limiting the hours of operation. The Commission did note the proposal was an effective fit for the parcel layout.

- c. *Robert Alexejun, applicant, requests a pre-application conference for potential conditional use application for an off-premise direction sign within the I-39/USH-51 Corridor as part of a Home Occupation at the property addressed 510 E Lakeshore Drive. Parcel #34.238.000.006.00.00. Docket #2017-18.*

Robert Alexejun noted he is considering becoming a dealer/representative for Earth Blind products and would like to display a ground blind model along with his phone number in a natural setting amongst the trees somewhere along the highway corridor between County Roads N and NN to capture the attention of traffic heading north. He sought feedback from the Plan Commission as to whether this type of display and sign would be acceptable and where. Alexejun noted the blinds are meant to resemble rock outcroppings and would fit in with the surroundings.

Plan Commissioners asked how the sale transaction would take place, to which Alexejun noted the phone call would allow him to meet customers at the display and discuss sales and options. He noted there would be no use of his home for sale or business.

After some discussion whether the display is an off-premise directional sign or an outdoor display use, the Plan Commission recommended finding a commercial property owner willing to allow him to lease a section of land for his display and then apply for a conditional use for outdoor display.

OLD BUSINESS:

- a. *Christina Suarez, applicant, requests a pre-application conference for a potential modification of a Unified Development District project at the property addressed 2101 North Mountain Road. Parcel #34.032807.012.021.00.00. Docket #2017-17.*

Community Development Director Kunst noted this discussion is a follow up to a previous inquiry by staff to determine if the Plan Commission felt the addition of a Tesla charging station to the future Hilton Garden Inn development would constitute a formal amendment to the projects Precise Implementation or if it were a minor site plan amendment. The Plan Commission reviewed the following questions they presented to Telsa from the previous meeting.

1. Why was the proposed location chosen for the equipment and charging stations (the concern is based on the proximity to the residential housing units and the thought that a location on the north side of the property would allow easier access from the main site entrance and highway accessibility)?

Representatives from the Hilton Garden Inn and Telsa noted they wanted to keep the parking closest to the hotel entrance points specifically for the guests staying at the hotel. Also, the charging equipment will be enclosed with the same vinyl fencing used on the south end of the site and therefore not visible. They felt by setting the equipment enclosure along the previously approved fence line would aesthetically work the best. Further, the proposed area was chosen as it does not conflict with any other underground utilities.

2. Who is the intended customer (hotel guests or will it act as a fueling/charging station for any Tesla in the area)?

It was noted the Supercharger Station is available 24/7 for any Tesla customer/driver. Supercharger stations are located along well-traveled highways and each station contains multiple Superchargers to help drivers get back on the road and minimize stops during long distance travel. Supercharger Stations located at hotels, provide Tesla customers the option for an overnight stay, while providing proximity to restaurants and retail offerings.

3. What is the anticipated traffic impact to, from, and through the hotel site?

Anticipated traffic impact will be minimal and likely not noticed throughout a given day. Tesla will specifically direct incoming traffic to the North Mountain Road site entrance and through the parking lot via the in-car GPS system and will avoid Robin Lane.

4. Does the Equipment generate noise, EMF or other potential nuisances?

The location of the hotel, adjacent to Highway 51 and Hwy 29, makes any noise generated from cooling fans undistinguishable. The chart below identifies the equipment's generated noise in decibels. The equipment works much like a radiator in that it is cooled with water. The equipment does not produce any EMF, or produce any other type of nuisance. Cooling fan noise is generally confined to the system enclosure.

NOISE	Fan not running	55 dB(A) at 1 meter from rear (typical)
	Fan running full speed	75 dB(A) at 1 meter from rear (typical)

5. Why choose a Supercharging Station versus standard charging station?

Supercharger is Tesla’s branded name. Tesla has deployed a fast-charging solution called the Supercharger. Superchargers are connectors that charge a Tesla in minutes instead of hours and are strategically built to minimize stops during long distance travel. Tesla vehicles are 100% electric with range capability of up to 335 miles on a single charge. The average charge session is around 35 minutes, with cars fully charged in about 1 hour if the battery is near empty.

6. How is the charging station marketed?

Tesla customers are directed to recharge at a Supercharger via the in-car navigation (GPS). While the car charges, Tesla owners often patronize local businesses to show their support for hosting a Supercharger station. To maximize efficiency and minimize impact, the car alerts its owner through their cell phone once charging is complete.

7. Will there be sufficient parking on site with eight spaces designated for charging?

Chris Ghidorzi noted the site will maintain sufficient parking onsite. These parking stalls, while marketed to Tesla users are still available for the general public to park at and they will likely do so during peak times. Plan Commissioners noted concerns about the total site parking and the impact on the neighboring residents.

Additional concerns related to electrical safety and driver crime were addressed by Brian Craig, Tesla’s Installation Manager. Craig noted he could provide the Town’s Fire Department with additional literature on the charging stations in the unlikely event of a fire. Based on this information the Plan Commissioners indicated they felt the proposal constitutes a minor site plan amendment and no public hearing was required.

CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

*IGA / Peoples State Bank* – Staff noted an upcoming Site Plan review for parking lot improvements for People’s State Bank and the IGA grocery store. In discussions with their landscapers it was noted they won’t likely be able to meet the landscape requirements for new development, so Plan Commission will need to consider the amount of improvements made when reviewing the request.

*Kwik Trip* – Staff noted Kwik Trip is adding a fuel type and are considering a request for an electronic fuel pricing board on an existing canopy.

*Azura Memory Care* – Staff asked whether the Plan Commission considers the placement of a garden shed on this property a minor site plan amendment or if they would like to see it as a Site Plan Review at a future meeting. Commission members indicated depending on its location they would like to review it.

*Mobilitie* – Staff noted representatives from Mobilitie met with the Town’s Public Works Committee to discuss their request for placement of a telecommunications pole in Town right-of-way.

PUBLIC COMMENT: None

ADJOURN:

**Motion by Ryan Burnett, second by Jim Hampton to adjourn the Plan Commission Meeting. Motion carried 4-0. Meeting adjourned 8:57 pm.**

Respectfully Submitted,

Paul Kufahl, Building Inspector / Assistant Zoning Administrator

DRAFT

**REPORT TO: PLAN COMMISSION**

**FROM:** Steve Kunst, Community Development Director

**DATE:** June 22, 2017

**SUBJECT:** People’s State Bank Site Plan Review

**APPLICANT:** People’s State Bank, owner

**PROPERTY ADDRESS:** 2904 Rib Mountain Drive

**PARCEL #:** 34.102807.002.013.00.00

**REQUEST:** Site plan approval for proposed parking lot improvements at the Town’s People’s State Bank branch. This request requires only Plan Commission action (no recommendation to Town Board).

**ZONING:** Suburban Commercial (SC)

**ADJACENT ZONING:** SC (North, South, East, & West); UDD (East); SR-3 (West)

**FUTURE LAND USE MAP DESIGNATION:** Commercial

**NARRATIVE:**

The Rib Mountain branch of People’s State Bank is seeking Site Plan approval for parking lot and landscape improvements on their property addressed 2904 Rib Mountain Drive. The project coincides with the Town’s next phase of Rib Mountain Drive improvements; specifically, ingress/egress points along the corridor. The IGA and People’s State Bank are working together on parking, landscaping, and pavement improvements.

**Current Land Use:** Personal or Professional Service and In-Vehicle Sales and Service

**Proposed Land Use:** Same as above, the request solely deals with a parking lot improvements.

**Proposed Site Visitors:**

- 1) Employees: 12
- 2) Daily Customers: 300 per day, 1,650 per week

**Hours of Operation:** Monday – Friday 8:30 am – 5:00 pm

**Ingress/Egress Access:**

- o As part of the Town’s Rib Mountain Drive work, People’s State Bank loses one access point to Rib Mountain Drive. This will be supplemented with a shared ingress/egress point with the IGA.
- o The existing drive-through access to Rib Mountain Drive will remain, but will lose the ability for bank traffic to turn left to travel north. As proposed, there will be a raised median at that point of Rib Mountain Drive.

**Parking (1 space per 300 ft<sup>2</sup> of floor area + 1 space per employee at largest shift):**

- 1) Total Parking Required = 22 spaces
- 2) Total Parking Proposed = 74 spaces

**Landscaping**

- 1) Landscape Surface Ratio
  - o Required - 0.25
  - o Proposed - 0.40

**Lighting**

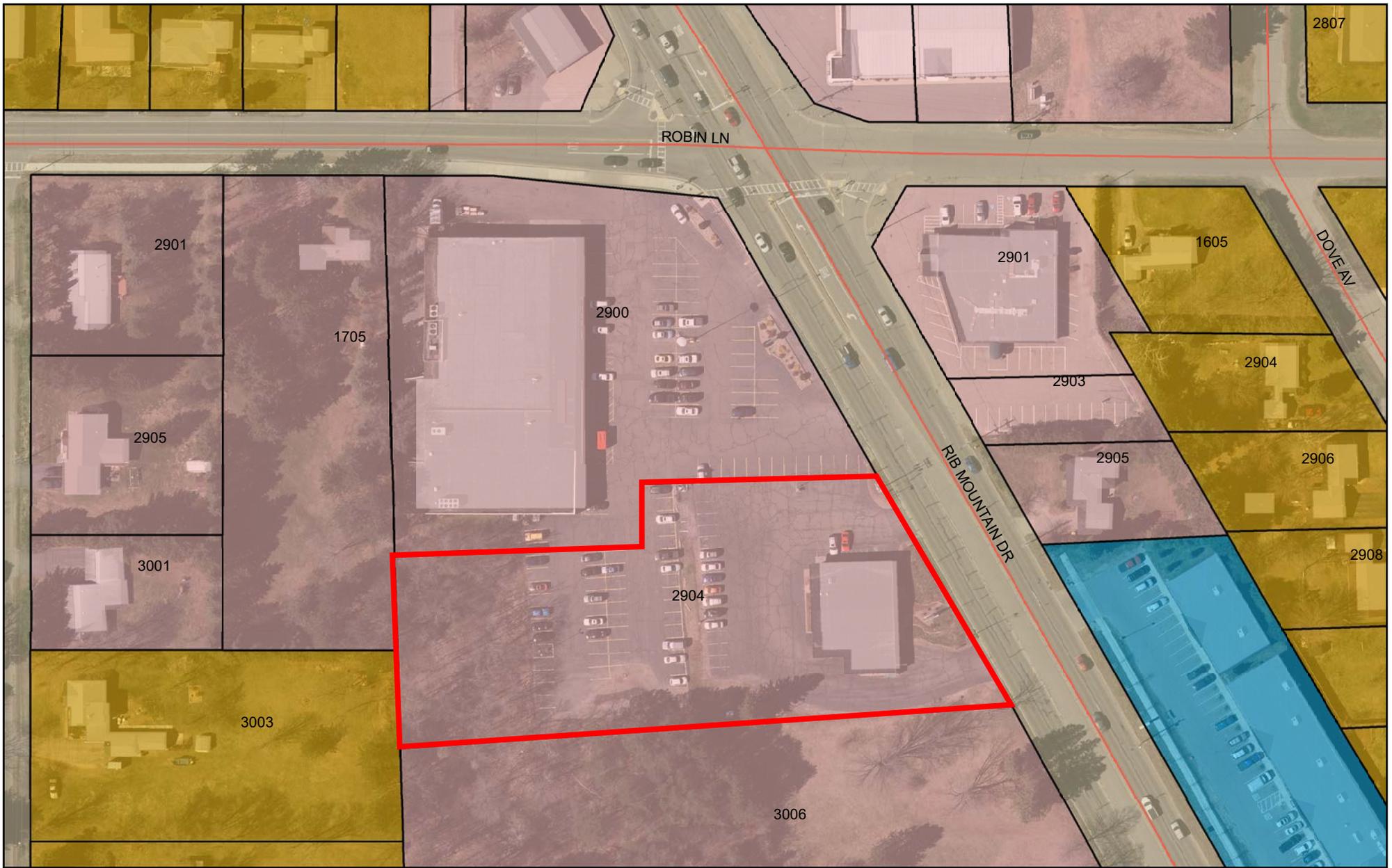
- 1) Parking Lot Requirement – 0.4 footcandles
  - The proposal appears to meet this requirement
- 2) Maximum lighting at the property line – 0.5 footcandles
  - The proposal appears to exceed this standard at various locations. The area adjacent to the IGA parking lot is beneficial to the shared parking arrangement. The other areas include along Rib Mountain Drive and south of the project boundaries onto land also owned by the bank.

**ADDITIONAL CONSIDERATION(S):**

- Approval should be conditioned upon any necessary State and/or County approvals
- Location and screening of any dumpsters

**ACTIONS TO BE TAKEN:**

1. Approval of the Site Plan application for parking lot improvements at the property addressed 2904 Rib Mountain Drive, as presented.
2. Approval of the Site Plan application for a parking lot improvements at the property addressed 2904 Rib Mountain Drive, with conditions/modifications.
3. Denial of the Site Plan application for a parking lot improvements at the property addressed 2904 Rib Mountain Drive.

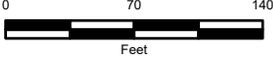


*Rib Mountain: "Where Nature, Family, and Sport Come Together"*

Prepared by:  
  
 www.mi-tech.us

Map Printed: 6/22/2017

<ul style="list-style-type: none"> <li>Parcel Outline</li> <li>Parcel Address</li> <li><b>Zoning Districts</b></li> <li>Unzoned</li> <li>CR-5ac Countryside Residential</li> </ul>	<ul style="list-style-type: none"> <li>EO Estate Office Residential</li> <li>ER-1 Estate Residential</li> <li>MR-4 Mixed Residential</li> <li>NC Neighborhood Commercial</li> </ul>	<ul style="list-style-type: none"> <li>OR Outdoor Recreation</li> <li>RA-1 Rural Agricultural</li> <li>RA-2 Rural Agricultural</li> <li>ROW</li> </ul>	<ul style="list-style-type: none"> <li>RR Rural Residential</li> <li>SC Suburban Commercial</li> <li>SI Suburban Industrial</li> <li>SO Suburban Office Residential</li> </ul>	<ul style="list-style-type: none"> <li>SR-2 Suburban Residential</li> <li>SR-3 Suburban Residential</li> <li>UC Urban Commercial</li> <li>UDD Unified Development</li> </ul>	<ul style="list-style-type: none"> <li>UR-8 Urban Residential</li> <li>Building Outline</li> <li>Road Centerline</li> <li>Water Feature</li> </ul>
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Feet



N

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**REPORT TO: PLAN COMMISSION**

**FROM:** Steve Kunst, Community Development Director

**DATE:** June 22, 2017

**SUBJECT:** Quality Foods IGA Site Plan Review

**APPLICANT:** Quality Foods IGA, owner

**PROPERTY ADDRESS:** 2900 Rib Mountain Drive

**PARCEL #:** 34.102807.002.001.00.00

**REQUEST:** Site plan approval for proposed parking lot improvements at the Town’s Quality Foods IGA location. This request requires only Plan Commission action (no recommendation to Town Board).

**ZONING:** Suburban Commercial (SC)

**ADJACENT ZONING:** SC (North, South, East, & West); SR-3 (North)

**FUTURE LAND USE MAP DESIGNATION:** Commercial

**NARRATIVE:**

The Quality Foods IGA grocery store is seeking Site Plan approval for parking lot and landscape improvements on their property addressed 2900 Rib Mountain Drive. The project coincides with the Town’s next phase of Rib Mountain Drive improvements; specifically, ingress/egress points along the corridor. The IGA and People’s State Bank are working together on parking, landscaping, and pavement improvements.

**Current Land Use:** Indoor Sales and Service (Grocery Store)

**Proposed Land Use:** Same as above, request solely deals with a parking lot improvements and landscaping.

**Proposed Site Visitors:**

- 1) Employees: 25
- 2) Daily Customers: 1,000 per day, 7,000 per week

**Hours of Operation:** Monday – Friday 7:00 am – 10:00 pm (no change)

**Ingress/Egress Access:**

- o Two (2) existing access points along Robin Lane are proposed to remain unchanged
- o The proposal calls for closing off one (1) existing access point onto Rib Mountain Drive and moving another further south, in accordance with Town plans as part of Rib Mountain Drive Phase 2 work.
  - o The submittal was reviewed by the Town’s Street and Park Superintendent

**Parking (1 space per 300 ft<sup>2</sup> of floor area):**

- 1) Total Parking Required = 90 spaces
- 2) Total Current Parking = 57 spaces
- 3) Total Parking Proposed
  - Onsite = 57 spaces
  - With People’s = 131 spaces

**Landscaping**

- 1) Landscape Surface Ratio
  - o Required - 0.25
  - o Proposed - 0.14 (represents an increase from current conditions)

Existing site conditions make meeting some landscaping standards unrealistic. Onsite parking is one of the primary examples. The IGA property itself does not contain the Town’s minimum parking stall requirement (90 stalls). So, to require additional parking stalls be removed in place of increased landscaping likely creates more problems than it solves. The proposed landscaped area along Rib Mountain Drive (sheet P0) is significantly larger than current conditions (sheet C0). Staff believes the proposed plan represents an aesthetically pleasing compromise.

**Lighting**

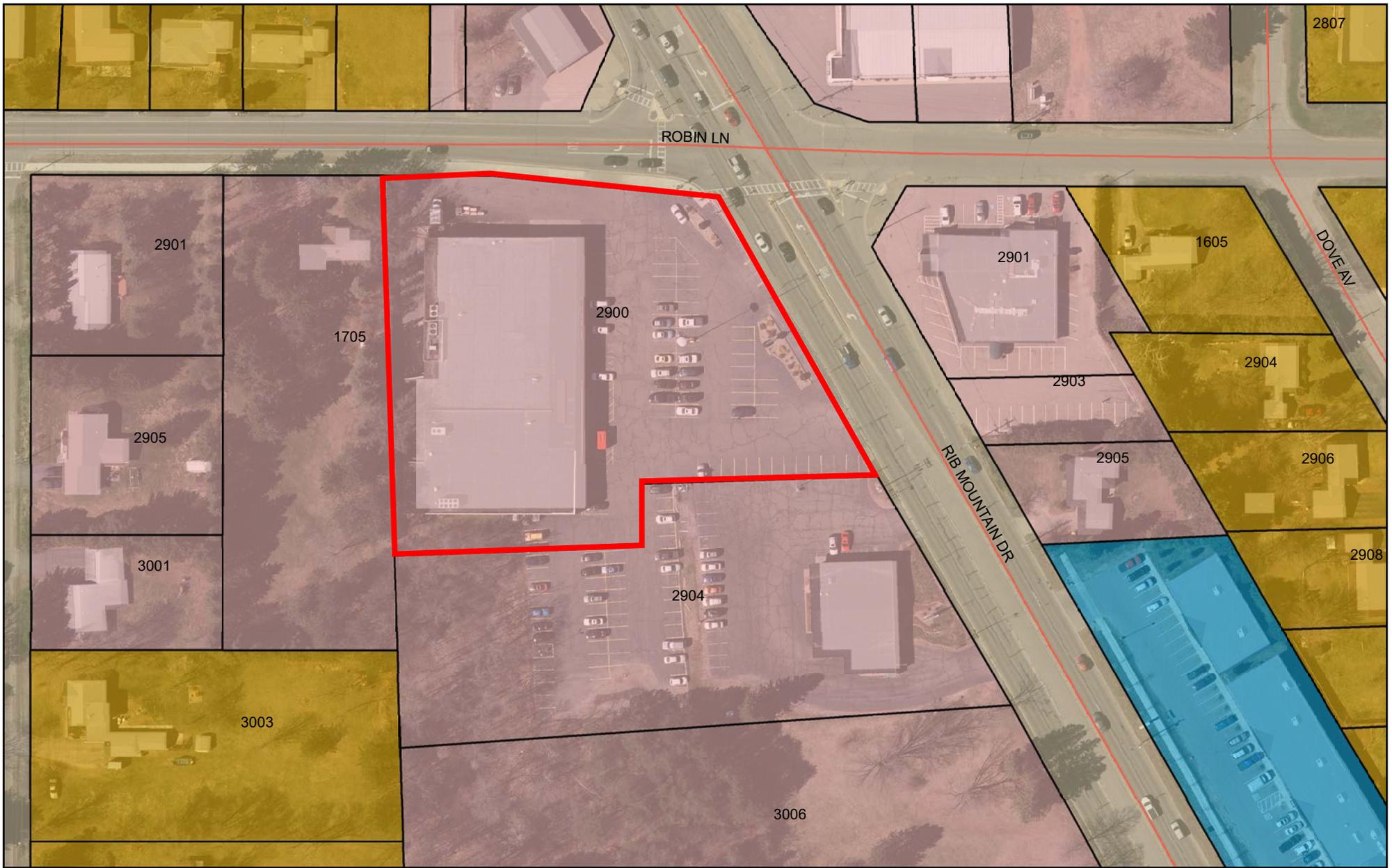
- 1) Parking Lot Requirement – 0.4 footcandles
  - o The proposal does not call for changes to existing lighting conditions. For the most part, the parking lot lighting meets the Town standard. Areas immediately east and south of the IGA structure appear to be short of the 0.4 footcandle standard.
- 2) Maximum lighting at the property line – 0.5 footcandles
  - o This standard appears to be met. At the time of this report staff was waiting for additional information on the northern most light fixture.

**ADDITIONAL CONSIDERATION(S):**

- o Approval should be conditioned upon any necessary State and/or County approvals
- o Location and any screening of dumpster(s) – nothing identified on submittal documents.

**ACTIONS TO BE TAKEN:**

- 1. Approval of the Site Plan application for parking lot improvements at the property addressed 2900 Rib Mountain Drive, as presented.
- 2. Approval of the Site Plan application for a parking lot improvements at the property addressed 2900 Rib Mountain Drive, with conditions/modifications.
- 3. Denial of the Site Plan application for a parking lot improvements at the property addressed 2900 Rib Mountain Drive.



*Rib Mountain: "Where Nature, Family, and Sport Come Together"*

Prepared by: **mi-TECH**  
www.mi-tech.us

Map Printed: 6/22/2017

<ul style="list-style-type: none"> <li>Parcel Outline</li> <li>Parcel Address</li> <li><b>Zoning Districts</b></li> <li>Unzoned</li> <li>CR-5ac Countryside Residential</li> </ul>	<ul style="list-style-type: none"> <li>EO Estate Office Residential</li> <li>ER-1 Estate Residential</li> <li>MR-4 Mixed Residential</li> <li>NC Neighborhood Commercial</li> </ul>	<ul style="list-style-type: none"> <li>OR Outdoor Recreation</li> <li>RA-1 Rural Agricultural</li> <li>RA-2 Rural Agricultural</li> <li>ROW</li> </ul>	<ul style="list-style-type: none"> <li>RR Rural Residential</li> <li>SC Suburban Commercial</li> <li>SI Suburban Industrial</li> <li>SO Suburban Office Residential</li> </ul>	<ul style="list-style-type: none"> <li>SR-2 Suburban Residential</li> <li>SR-3 Suburban Residential</li> <li>UC Urban Commercial</li> <li>UDD Unified Development</li> </ul>	<ul style="list-style-type: none"> <li>UR-8 Urban Residential</li> <li>Building Outline</li> <li>Road Centerline</li> <li>Water Feature</li> </ul>
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0 70 140  
Feet

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# REVIEW PLANS FOR: IGA FOODS & PEOPLES STATE BANK

## TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN

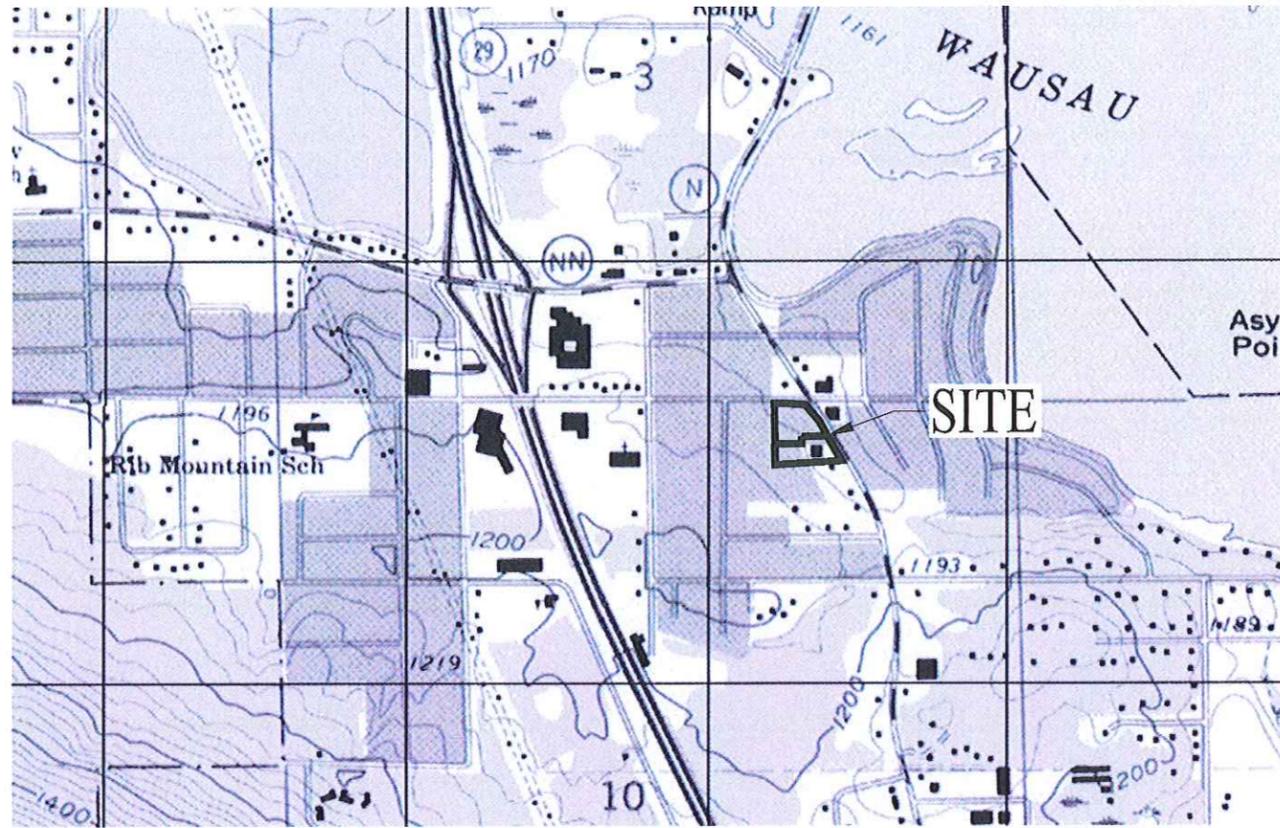
### INDEX OF SHEETS

SHEET NO. T1	TITLE SHEET
SHEET NO. C0	EXISTING SITE CONDITIONS
SHEET NO. P0	OVERALL SITE PLAN
SHEET NO. D0	DEMO PLAN
SHEET NO. C1	SITE PLAN
SHEET NO. C1.1	SITE & HANDICAP DETAILS
SHEET NO. C2	GRADING & EROSION CONTROL PLAN
SHEET NO. C2.1	EROSION CONTROL DETAILS
SHEET NO. SP	SITE SPECIFICATIONS
SHEET NO. L1	LANDSCAPE PLAN
SHEET NO. E1	LIGHTING PLAN

TOTAL SHEETS = 11

### LIST OF STANDARD ABBREVIATIONS

8	AND
AB	AUGER BORING
ADT	AVERAGE DAILY TRAFFIC
BC	BOTTOM OF CURB
BM	BENCHMARK
BOC	BACK OF CURB
BR	BOTTOM OF RAMP
BS	BOTTOM OF STEPS
BW	BOTTOM OF WALL
CB	CATCH BASIN
CMAC	CORRUGATED METAL ARCH CULVERT
CMBC	CORRUGATED METAL BOX CULVERT
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC.	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
DGB	DENSE GRADED BASE
DIP	DUCTILE IRON PIPE
D/S	DOWNSTREAM
(E)	EAST
ELEV.	ELEVATION
EOG	EDGE OF GRAVEL
FFE	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
F.O.	FIBER OPTIC
INL	INLET
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HMA	HOT MIX ASPHALT
HP	HIGH POINT
IE	INVERT ELEVATION
LF	LINEAL FEET
LP	LOW POINT
MEG	MATCH EXISTING GRADE
MH	MANHOLE
(N)	NORTH
(NE)	NORTHEAST
(NW)	NORTHWEST
OH	OVERHEAD
PC	POINT OF CURVATURE
P/L	PROPERTY LINE
PP	POWER POLE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
RCB	CREINFORCED CONCRETE BOX CULVERT
RCP	REINFORCED CONCRETE PIPE
RR	RAIL ROAD
R/W	RIGHT OF WAY
(S)	SOUTH
SAN	SANITARY SEWER
SB	SOIL BORING
SS	STORM SEWER
STM	STORM
(SW)	SOUTHWEST
TC	TOP OF CURB
TBR	TO BE REMOVED
TLE	TEMPORARY LIMITED EASEMENT
TNH	TOP NUT FIRE HYDRANT
TP	TEST PIT
TR	TOP OF RAMP
TYP.	TYPICAL
TS	TOP OF STEPS
TW	TOP OF WALL
U/S	UPSTREAM
VAR.	VARIES
(W)	WEST



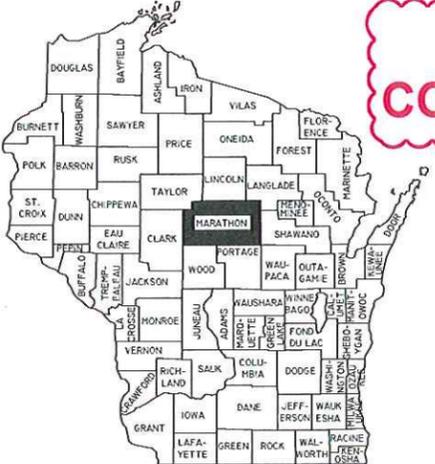
SEC.10, T28N, R7E — NOT TO SCALE —

BENCHMARKS				
BM#	DESC.	N=	E=	ELEV.=
1	"X" ON LIGHT POLE BASE	191070.7	274439.5	1190.66
2	TOP NUT HYDRANT	191026.2	274798.1	1195.07
3	"X" ON LIGHT POLE BASE	191312.8	274552.7	1195.49

**TITLE WORK REQUIRED  
TITLE WORK FOR THE PROJECT SITE  
WAS NOT PROVIDED TO REI FOR  
REVIEW, THEREFORE REI WAS  
UNABLE TO VERIFY THE EXISTENCE  
OF EASEMENTS OR USE  
ENCUMBRANCES.**

DIGGERS HOTLINE TICKETS  
20152809586

INFORMATION SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES IS BASED ON INFORMATION AND DATA FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS OF ALL UNDERGROUND FACILITIES PRIOR TO COMMENCING ANY WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FACILITIES.



**NOT FOR  
CONSTRUCTION**

**811**  
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Call before you dig.  
**DIGGERS HOTLINE**  
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HEARING IMPAIRED: TDD (800)542-2289  
EMERGENCY ONLY: (877) 500-9592  
WWW.DIGGERSHOTLINE.COM

**UTILITY CONTACTS:**  
**FRONTIER:**  
(TELEPHONE)  
521 FOURTH STREET  
WAUSAU, WI 54403-4869  
(231) 727-1327  
ATTN: STEVE ACKERSON  
**WISCONSIN PUBLIC SERVICE CORPORATION:**  
(GAS & ELECTRIC)  
700 NORTH ADAMS STREET  
PO BOX 19001  
GREEN BAY, WI 54307-9001  
(920) 433-1703  
ATTN: MS. LORI BUTRY  
**FIELD CONTACTS (GAS)**  
MIKE BOSI  
(715) 848-7471  
**(ELECTRIC)**  
KEITH MARKSTROM  
(715) 848-7314  
**CHARTER COMMUNICATIONS:**  
(CABLE TV)  
853 MCINTOSH STREET  
PO BOX 1818  
WAUSAU, WI 54403-1818  
(715) 845-4223  
ATTN: JEFF KULAF

**DNR WAUSAU SERVICE CENTER**  
5301 RIB MOUNTAIN DRIVE  
WAUSAU, WISCONSIN 54401  
(715) 359-2872  
ATTN: MELISSA YARRINGTON  
**TOWN OF RIB MOUNTAIN STREET AND PARKS DEPARTMENT**  
3700 NORTH MOUNTAIN ROAD  
WAUSAU, WISCONSIN 54401  
(715) 842-0983  
ATTN: MR. SCOTT TURNER P.E.  
**RIB MOUNTAIN SANITARY DISTRICT**  
5703 LILAC AVENUE  
WAUSAU, WISCONSIN 54401  
(715) 359-6177  
ATTN: MR. MICHAEL HEYROTH

**OWNER:**  
IGA FOODS  
PEOPLES STATE BANK  
**SURVEYOR:**  
REI ENGINEERING, INC.  
4080 N. 20TH AVENUE  
WAUSAU, WI 54401  
(715) 675-9784  
**ENGINEER:**  
REI ENGINEERING, INC.  
4080 N. 20TH AVENUE  
WAUSAU, WI 54401  
(715) 675-9784  
PROJECT MANAGER  
DAN D. DETERT  
**APPROVING AUTHORITIES:**  
TOWN OF RIB MOUNTAIN

### LEGEND

- BENCHMARK
- 1" IRON BAR
- EXISTING MANHOLE
- EXISTING TELEPHONE MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING HYDRANT
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING WATER SHUTOFF
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EXISTING GAS VALVE
- EXISTING CURB INLET
- EXISTING WELL
- TEST PIT LOCATION
- SOIL BORING
- EXISTING AIR CONDITIONING UNIT
- EXISTING GAS METER
- EXISTING ELECTRIC METER
- EXISTING UTILITY PEDESTAL
- EXISTING RAILROAD TRACKS
- EXISTING TREE LINE
- EXISTING GUY POLE
- EXISTING CABLE TV
- EXISTING FIBER OPTIC CABLE
- EXISTING UNDERGROUND GAS
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING OVERHEAD UTILITIES
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING PROPERTY LINE
- PROPOSED HANDICAP PARKING
- PROPOSED CURB STOP
- PROPOSED HYDRANT
- PROPOSED WATER VALVE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED FORCE MAIN
- PROPOSED SANITARY SEWER LATERAL
- PROPOSED WATER LATERAL
- PROPOSED WATER MAIN
- PROPOSED PUMP STATION
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM MANHOLE
- PROPOSED CURB INLET
- PROPOSED CATCH BASIN
- PROPOSED CLEANOUT
- PROPOSED DRAINAGE FLOW
- PROPOSED SLOPE
- PROPOSED CURB & GUTTER
- PROPOSED REJECT CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- EXISTING GROUND CONTOUR (INTERVAL-1 FT.)
- PROPOSED GROUND CONTOUR (INTERVAL-1 FT.)
- PROPOSED SPOT ELEVATION (TOP OF CURB)
- PROPOSED SPOT ELEVATION (BOTTOM OF CURB)
- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- PROPOSED RIPRAP
- PROPOSED EROSION MAT
- PROPOSED SAWCUT
- PROPOSED DRAINAGE SWALE

DRAWING FILE: P:\6400-6499\64388 - IGA RIB MOUNTAIN\DWG\64388-TITLE.DWG LAYOUT: TITLE  
PLOTTED: JUN 14, 2017 - 3:38PM PLOTTED BY: T.DDDW

**REI Engineering, INC.**  
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**CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING**

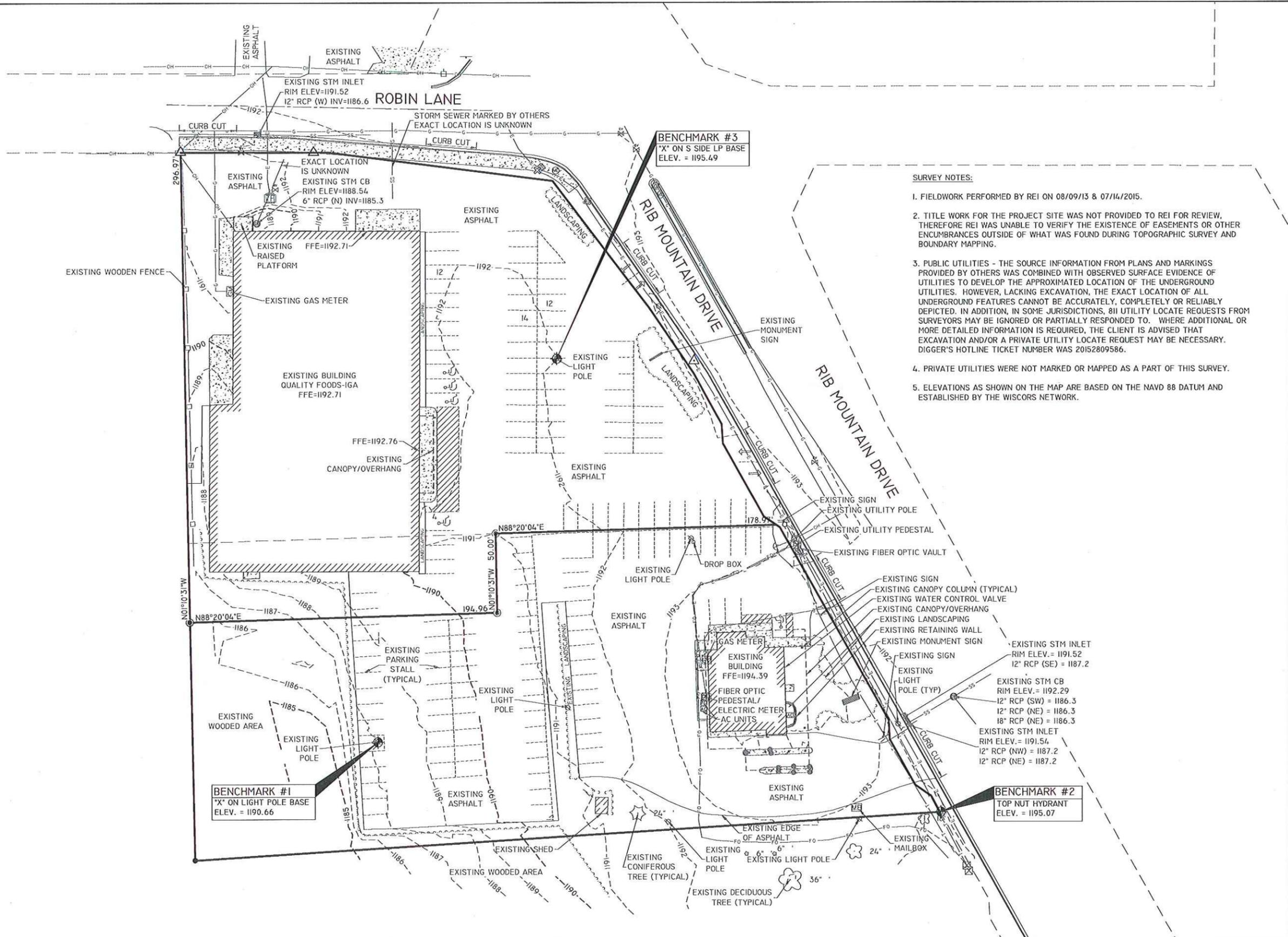
NO SCALE

DATE	REVISION	BY	CHK'D

DESIGNED BY: GSW	CHECKED BY: JJB
SURVEYED BY: JLR/DRD	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 6/14/2017

**TITLE SHEET**  
IGA FOODS & PEOPLES STATE BANK  
2900 & 2904 RIB MOUNTAIN DRIVE  
WAUSAU, WISCONSIN 54401

**REI**  
REI No. 6438B  
SHEET T1



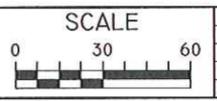
- SURVEY NOTES:**
1. FIELDWORK PERFORMED BY REI ON 08/09/13 & 07/14/2015.
  2. TITLE WORK FOR THE PROJECT SITE WAS NOT PROVIDED TO REI FOR REVIEW, THEREFORE REI WAS UNABLE TO VERIFY THE EXISTENCE OF EASEMENTS OR OTHER ENCUMBRANCES OUTSIDE OF WHAT WAS FOUND DURING TOPOGRAPHIC SURVEY AND BOUNDARY MAPPING.
  3. PUBLIC UTILITIES - THE SOURCE INFORMATION FROM PLANS AND MARKINGS PROVIDED BY OTHERS WAS COMBINED WITH OBSERVED SURFACE EVIDENCE OF UTILITIES TO DEVELOP THE APPROXIMATED LOCATION OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY OR RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR PARTIALLY RESPONDED TO. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. DIGGER'S HOTLINE TICKET NUMBER WAS 20152809586.
  4. PRIVATE UTILITIES WERE NOT MARKED OR MAPPED AS A PART OF THIS SURVEY.
  5. ELEVATIONS AS SHOWN ON THE MAP ARE BASED ON THE NAVD 88 DATUM AND ESTABLISHED BY THE WISCORS NETWORK.

DRAWING FILE: P:\6400-6499\64388 - IGA Rib Mountain\DWG\PLANS\64388-CO-EXISTING.DWG LAYOUT: CO  
 PLOTTED: JUN 14, 2017 - 3:39PM PLOTTED BY: TODD

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**REI CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING**

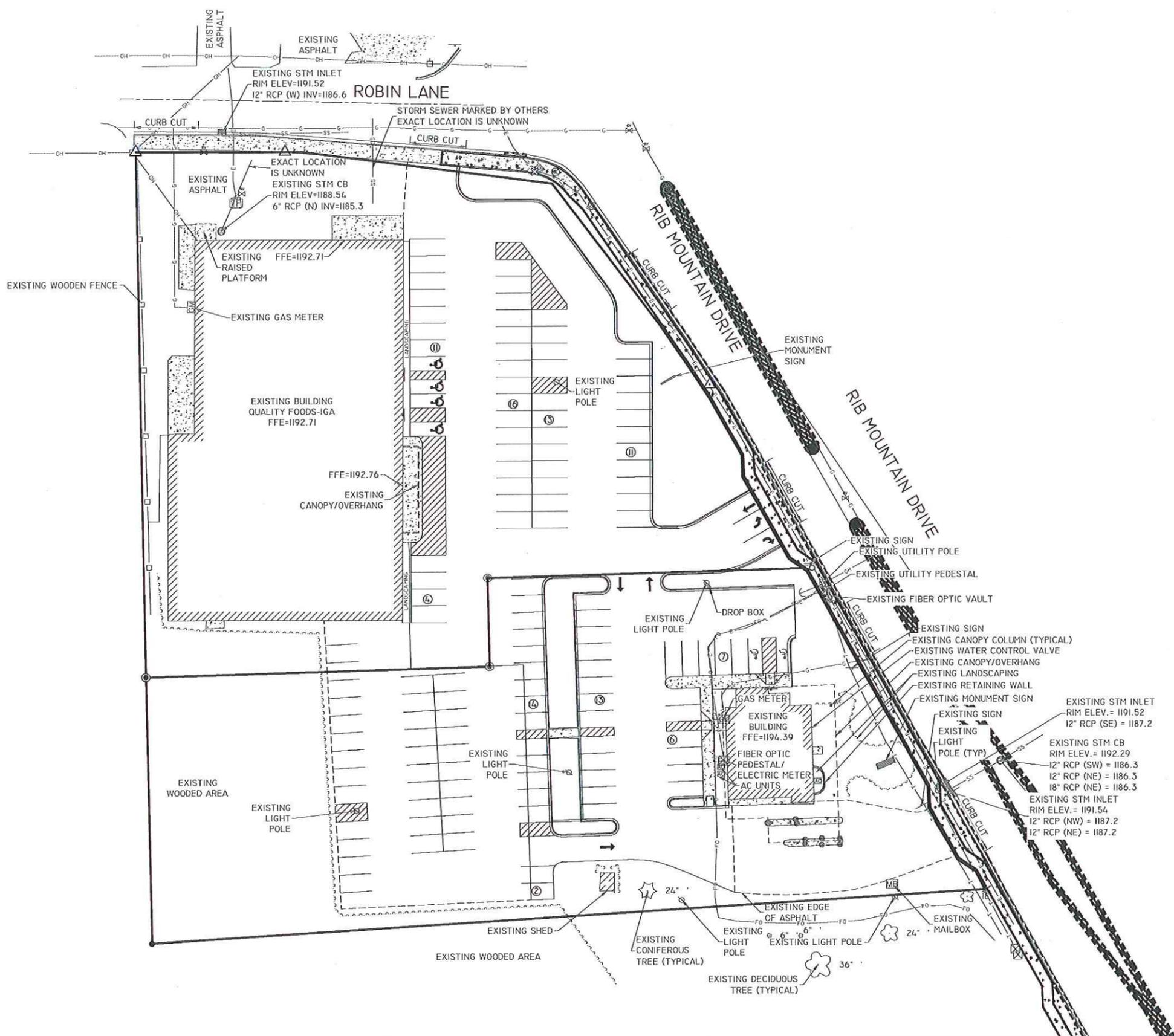


DATE	REVISION	BY	CHK'D	DESIGNED BY: GSW	CHECKED BY: JJB
				SURVEYED BY: JLR/DRD	APPROVED BY: JJB
				DRAWN BY: NAP	DATE: 6/14/2017

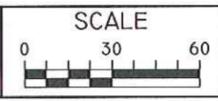
**EXISTING SITE CONDITIONS**  
 IGA FOODS & PEOPLES STATE BANK  
 2900 & 2904 RIB MOUNTAIN DRIVE  
 WAUSAU, WISCONSIN 54401

**REI**  
 REI No. 64388  
 SHEET C0

DRAWING FILE: P:\6400-6499\64388 - IGA RIB MOUNTAIN\DWG\64388-PO-OVERALL.DWG LAYOUT: PO  
 PLOTTED: JUN 14, 2017 - 3:39PM PLOTTED BY: TODDW



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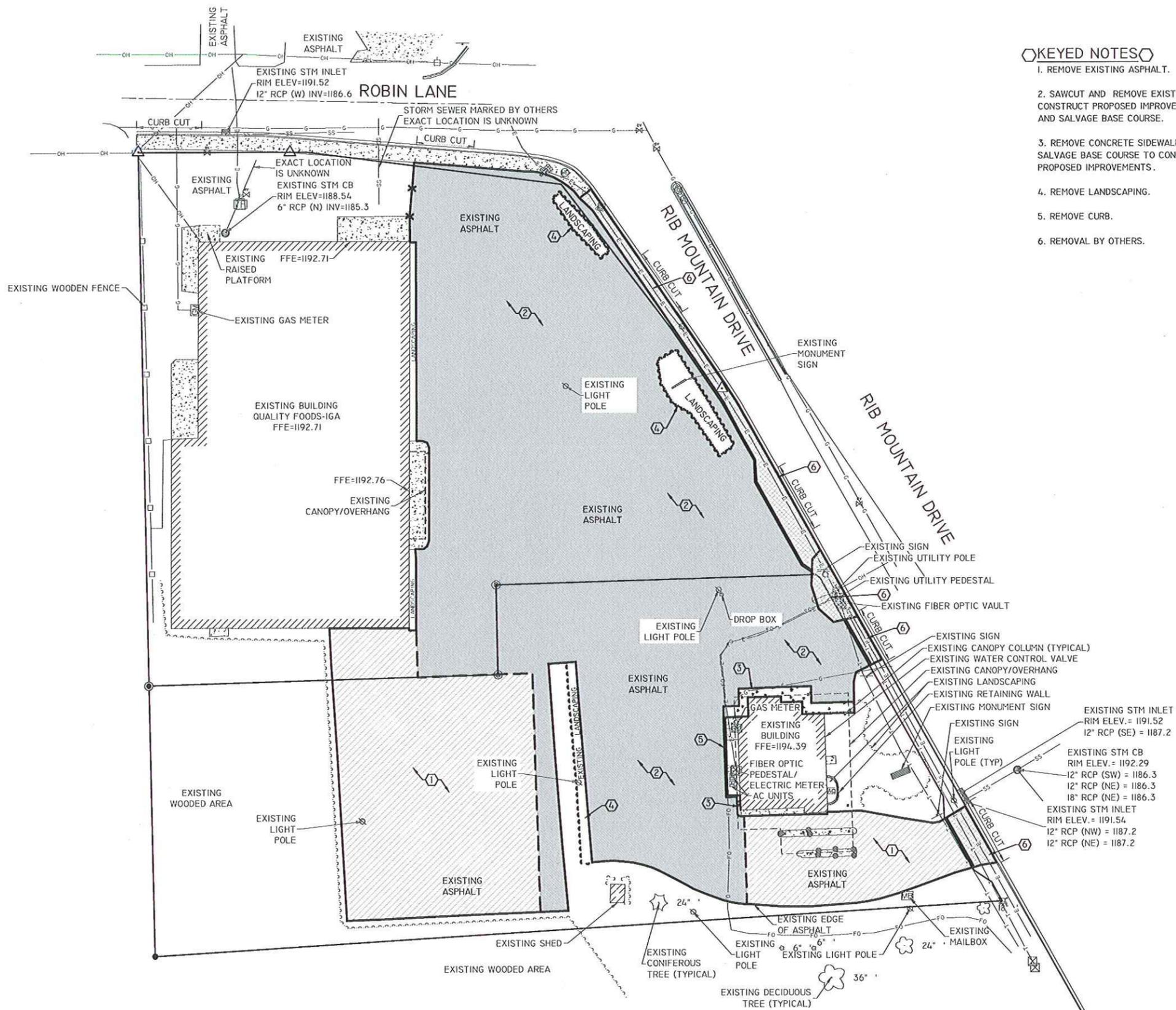


DATE	REVISION	BY	CHK'D
05/22/17	ADDED PROPOSED RIB MOUNTAIN DRIVE IMPROVEMENTS	NAP	GSW

DESIGNED BY: GSW	CHECKED BY: JJB
SURVEYED BY: JLR/DRD	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 6/14/2017

**OVERALL SITE PLAN**  
 IGA FOODS & PEOPLES STATE BANK  
 2900 & 2904 RIB MOUNTAIN DRIVE  
 WAUSAU, WISCONSIN 54401

**REI**  
 REI No. 6438B  
 SHEET PO

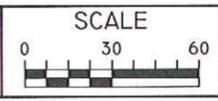


**KEYED NOTES**

1. REMOVE EXISTING ASPHALT.
2. SAWCUT AND REMOVE EXISTING ASPHALT TO CONSTRUCT PROPOSED IMPROVEMENTS. REMOVE AND SALVAGE BASE COURSE.
3. REMOVE CONCRETE SIDEWALK. REMOVE AND SALVAGE BASE COURSE TO CONSTRUCT PROPOSED IMPROVEMENTS.
4. REMOVE LANDSCAPING.
5. REMOVE CURB.
6. REMOVAL BY OTHERS.

DRAWING FILE: P:\6400-6499\64388 - IGA RIB MOUNTAIN\DWG\64388-00-DEMO.DWG LAYOUT: DO  
 PLOTTED: JUN 14, 2017 - 3:40PM PLOTTED BY: TODD

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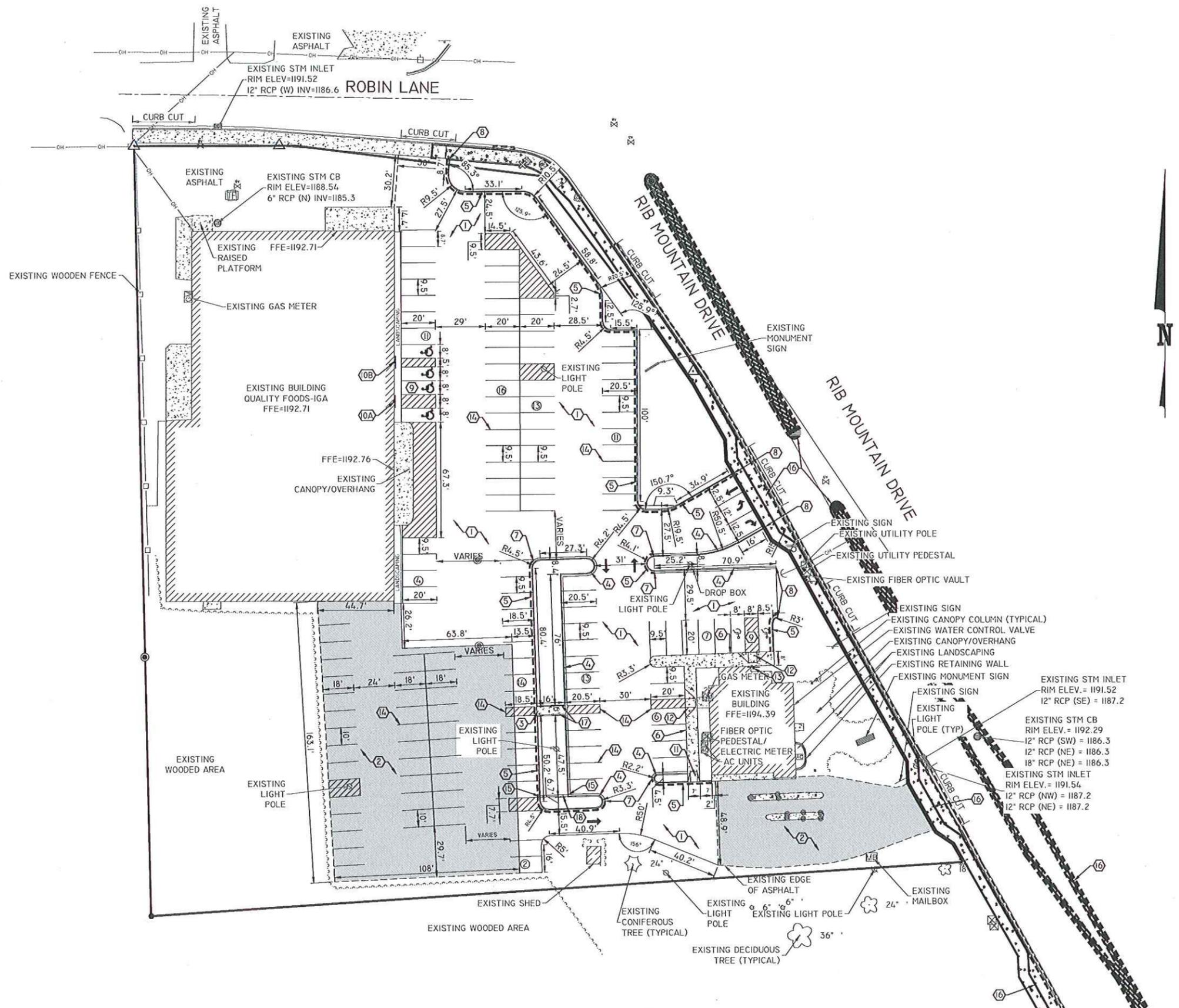
DATE	REVISION	BY	CHK'D

DESIGNED BY: GSW	CHECKED BY: JJB
SURVEYED BY: JLR/DRD	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 6/14/2017

**DEMO PLAN**  
 IGA FOODS & PEOPLES STATE BANK  
 2900 & 2904 RIB MOUNTAIN DRIVE  
 WAUSAU, WISCONSIN 54401

**REI**  
 REI No. 6438B  
 SHEET DO

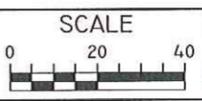
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 PLOTTED: JUN 14, 2017 - 3:40PM PLOTTED BY: TODDY



- KEYED NOTES**
1. ASPHALT PAVEMENT. SEE DETAIL A/CI.1.
  2. REMOVE AND REPLACE ASPHALT ONLY. SEE DETAIL A/CI.1.
  3. 4" CONCRETE SIDEWALK. SEE DETAIL B/CI.1.
  4. 18" CURB AND GUTTER. SEE DETAIL C/CI.1.
  5. 18" REJECT CURB AND GUTTER. SEE DETAIL C/CI.1.
  6. SIDEWALK WITH INTEGRAL CURB. SEE DETAIL D/CI.1.
  7. TRANSITION CURB & GUTTER. SEE DETAIL E/CI.1.
  8. STANDARD CURB & GUTTER TERMINATION. SEE DETAIL F/CI.1.
  9. HANDICAP PARKING SPACES & STRIPING. SEE DETAIL G/CI.1.
  - 10A. IGA - BUILDING MOUNTED VAN ACCESSIBLE HANDICAP SIGN WITH DOUBLE ARROW. SEE DETAIL H/CI.1.
  - 10B. IGA - BUILDING MOUNTED HANDICAP SIGN WITH DOUBLE ARROW. SEE DETAIL H/CI.1.
  11. TYPE 2 HANDICAP RAMP. SEE DETAIL I/CI.1.
  12. TYPE 4 HANDICAP RAMP. SEE DETAIL J/CI.1.
  13. PEOPLES- VAN ACCESSIBLE HANDICAP SIGN WITH DOUBLE ARROW. SEE DETAIL H/CI.1.
  14. PAINTED STRIPING, YELLOW. (TYPICAL)
  15. PROPOSED CURB CUT. SEE DETAIL K/CI.1.
  16. WORK PERFORMED BY OTHERS.
  17. 6" CURB HEAD. SEE DETAIL M/CI.1.
  18. EXTEND CONCRETE FLOW LINE THROUGH ISLAND.

- NOTES:**
- (A) PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO THEIR CORRESPONDING EXISTING BUILDINGS, AS TAKEN FROM THE SURVEY.
- (B) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (C) PRIVATE UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

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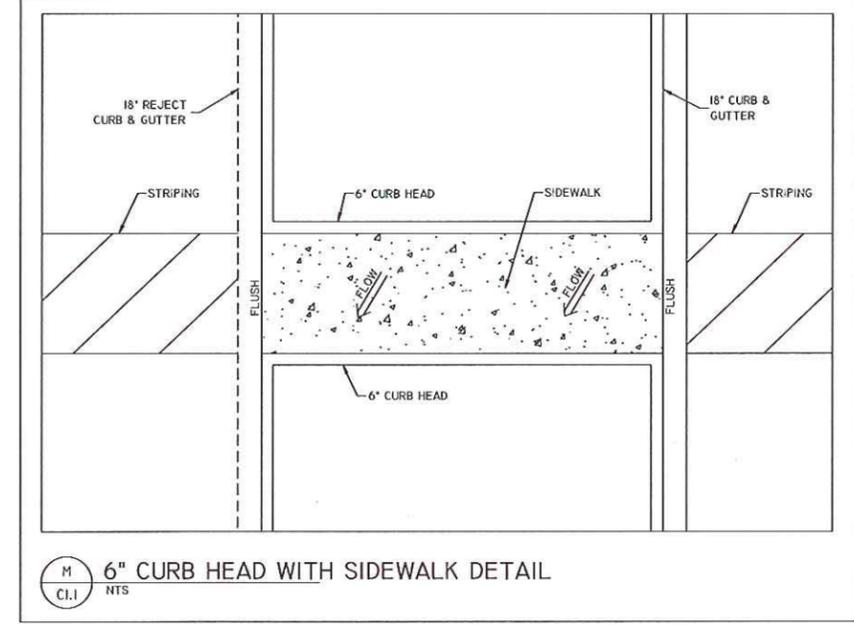
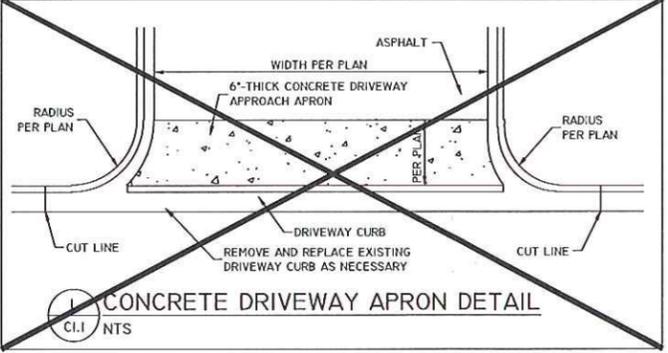
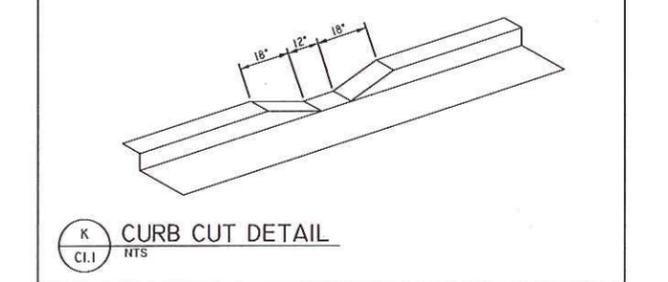
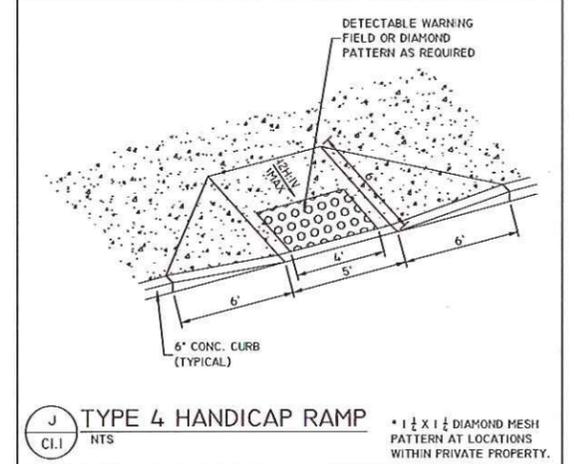
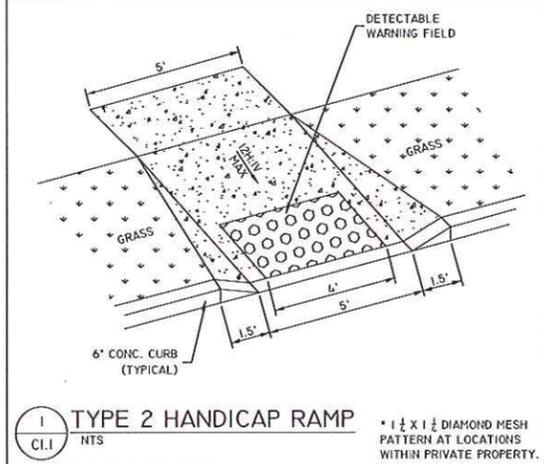
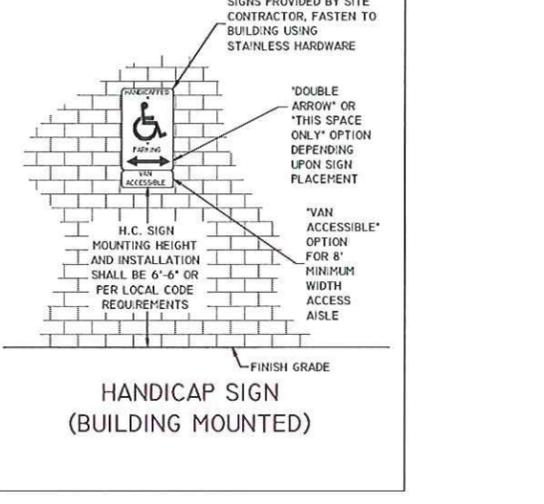
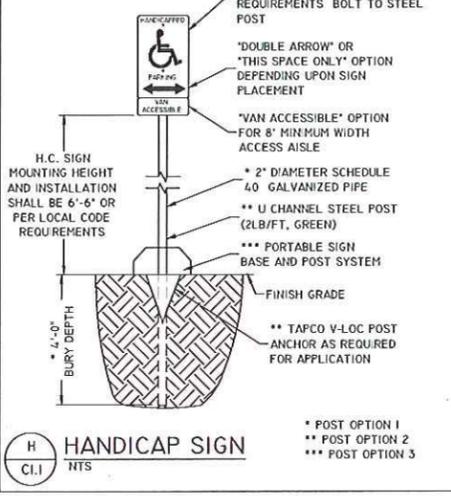
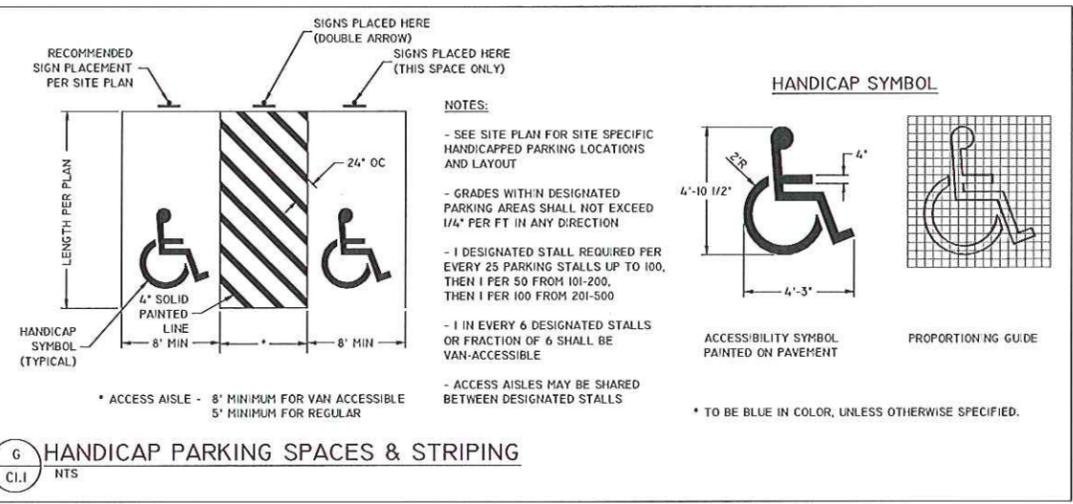
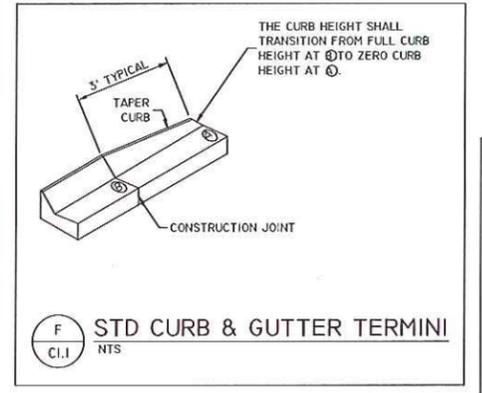
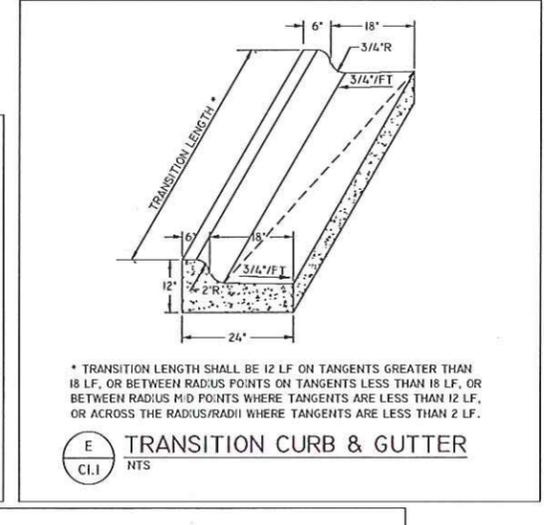
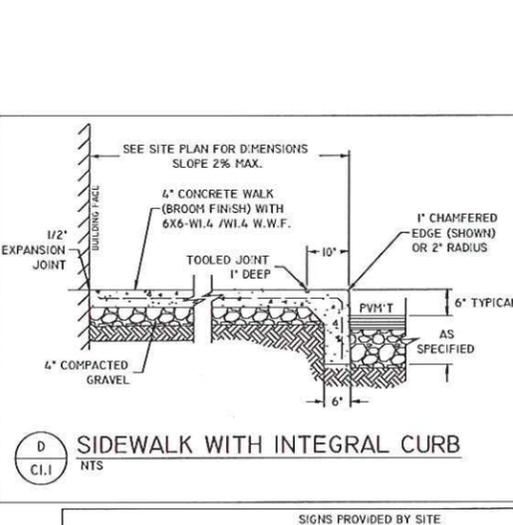
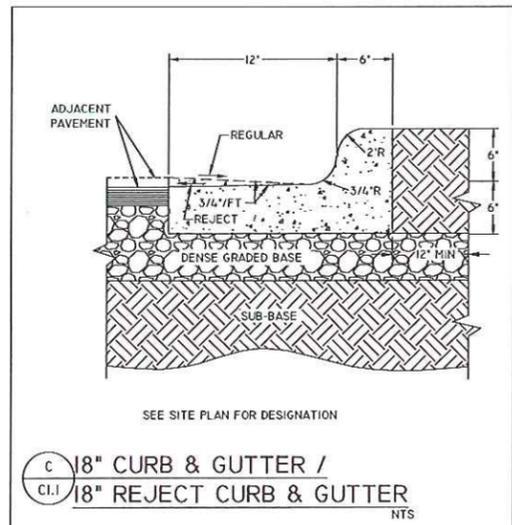
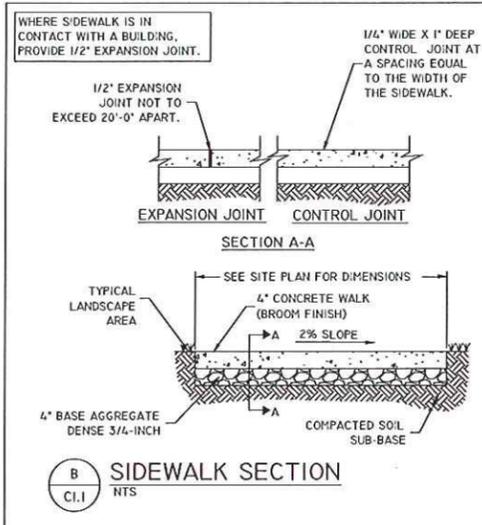
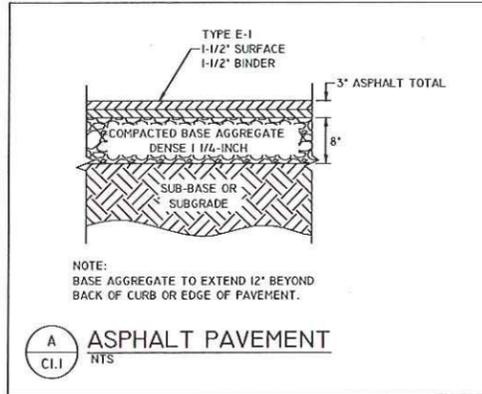


DATE	REVISION	BY	CHK'D

DESIGNED BY: GSW	CHECKED BY: JJB
SURVEYED BY: JLR/DRD	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 6/14/2017

**SITE PLAN**  
 IGA FOODS & PEOPLES STATE BANK  
 2900 & 2904 RIB MOUNTAIN DRIVE  
 WAUSAU, WISCONSIN 54401

**REI**  
 REI No. 6438B  
 SHEET CI



DRAWING FILE: P:\6400-6499\64388 - IGA RIB MOUNTAIN\DWG\LAN\64388-CI.1.DWG LAYOUT: CI.1  
PLOTTED: JUN 14, 2017 3:24 PM PLOTTED BY: TODDY

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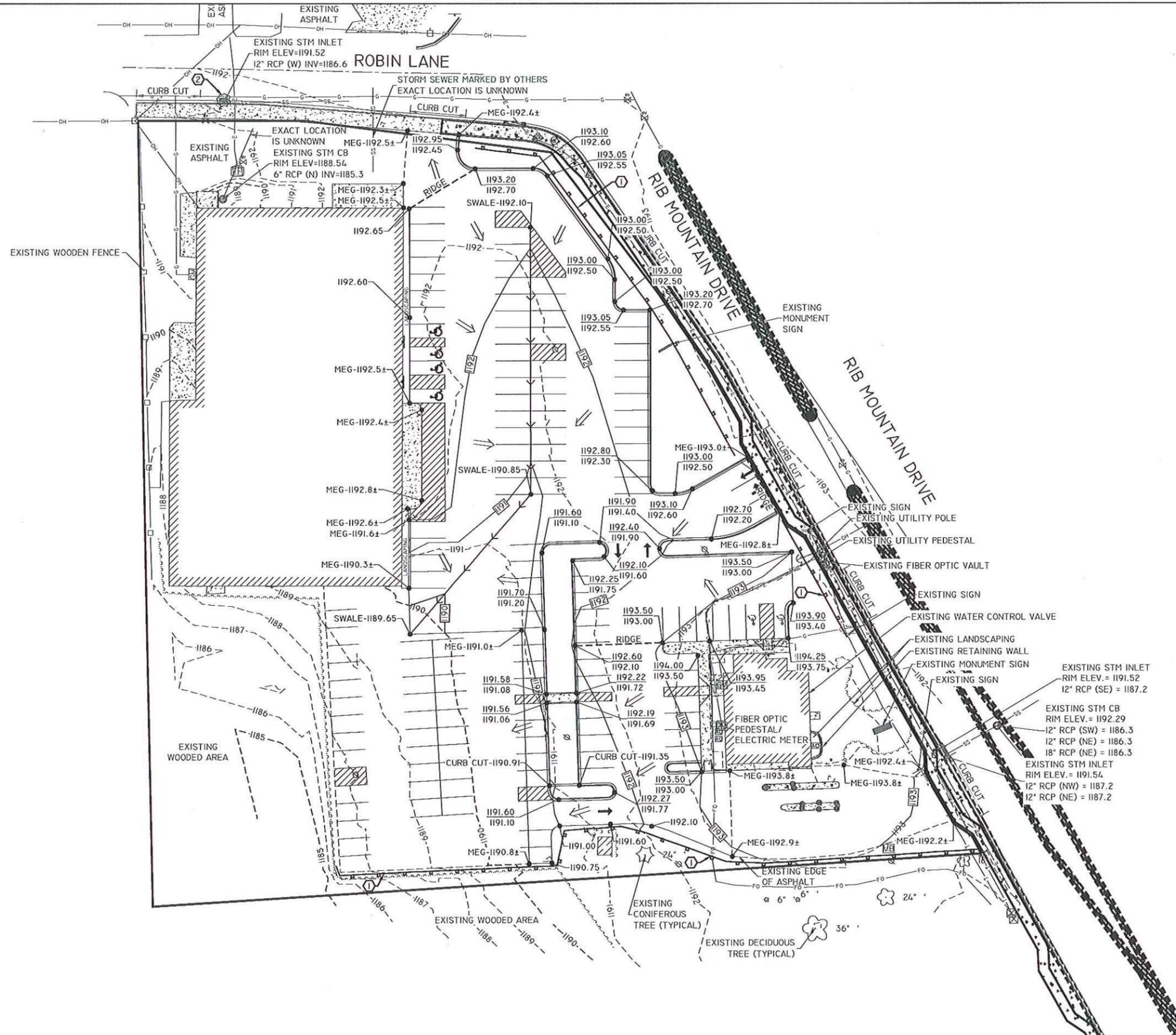
**REI** CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING

NO SCALE

DATE	REVISION	BY	CHK'D	DESIGNED BY: GSW	CHECKED BY: JJB
05/22/17	REMOVED DETAIL L/CI.1	NAP	GSW	SURVEYED BY: JLR/DRD	APPROVED BY: JJB
				DRAWN BY: NAP	DATE: 11/02/15

**SITE & HANDICAP DETAILS**  
IGA FOODS  
2900 RIB MOUNTAIN DRIVE  
WAUSAU, WISCONSIN 54401

**REI**  
REI No. 6438B  
SHEET CI.1



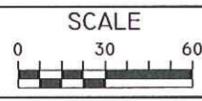
- KEYED NOTES**
1. INSTALL SILT FENCE. SEE DETAIL B/C2.1.
  2. PROVIDE INLET PROTECTION. SEE DETAIL C/C2.1.

- SUGGESTED SEQUENCING:**
- PROVIDE CONSTRUCTION ACCESS.
  - INSTALL SILT FENCE AND INLET PROTECTION ON EXISTING STORM STRUCTURES
  - REMOVE EXISTING PAVEMENT, STRIP & STOCKPILE EXISTING BASE COURSE WHERE APPLICABLE
  - ROUGH GRADING
  - FINISH GRADING
  - PAVING
  - FINAL STABILIZATION

- NOTES:**
- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.
- (E) INSTALL EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER.
- (F) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL. REFER TO C2.1 FOR TECHNICAL STANDARDS EMPLOYED.
- (G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.
- (H) IN AREAS WHERE THE PARKING LOT DRAINS ONTO ADJACENT GRASS AREAS, MAINTAIN ASPHALT 1' ABOVE GRASS.
- (I) SPOT ELEVATIONS SHOWN ALONG CURBLINE DENOTE FLOWLINE UNLESS SPECIFIED. REFER TO LAYOUT PLAN FOR CURB TYPES.

DRAWING FILE: P:\6400-64388-1GA RIB MOUNTAIN DWG\ANS\64388-C2-GRADING-EC.DWG LAYOUT: C2  
 PLOTTED: JUN 14, 2017 3:41PM PLOTTED BY: TODD

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DATE	REVISION	BY	CHK'D

DESIGNED BY: GSW	CHECKED BY: JJB
SURVEYED BY: JLR/DRD	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 6/14/2017

**GRADING & EROSION CONTROL PLAN**  
 IGA FOODS & PEOPLES STATE BANK  
 2900 & 2904 RIB MOUNTAIN DRIVE  
 WAUSAU, WISCONSIN 54401

**REI**  
 REI No. 6438B  
 SHEET C2



GENERAL NOTES/SPECIFICATIONS

1. SITE USAGE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS TO FACILITATE CONSTRUCTION OF PROPOSED IMPROVEMENTS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH HIS/HER EQUIPMENT AND MATERIALS. MATERIAL STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
2. ALL SUB-CONTRACTORS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR (OR OWNER'S REPRESENTATIVE) WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
3. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, SAFE ACCESS TO FACILITIES, FIRE PREVENTION, AND PROJECT PHASING, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
4. CONTRACTOR SHALL KEEP A CLEAN SITE DURING CONSTRUCTION AND THROUGH FINAL ACCEPTANCE.
5. ALWAYS FOLLOW WRITTEN DIMENSIONS. DO NOT SCALE. IF DISCREPANCY EXISTS, CONTACT THE ENGINEER.
6. PROTECT TREES, UTILITY POLES, ABOVE AND BELOW GRADE UTILITIES, AND OTHER FEATURES THAT ARE TO REMAIN. THE REPAIR OF ANY DAMAGE TO FEATURES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO PAYMENT DUE FOR SUCH REPAIRS.
7. PROTECT ABOVE AND BELOW GRADE UTILITIES THAT ARE TO REMAIN.
8. ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, WATER VALVES, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO THE SITE GRADING PLAN SHEET.
9. PROTECT BENCHMARKS, REFERENCE SURVEY POINTS AND OTHER PROVIDED CONSTRUCTION STAKES.
10. CALL DIGGER'S HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
11. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
12. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS, AND RELOCATIONS.
13. NOTIFY ELECTRIC UTILITY AT LEAST ONE WEEK PRIOR TO WORKING IN AREAS WHERE UTILITY POLES EXIST. UTILITY COMPANY WILL PROTECT POLES AS NECESSARY.
14. EROSION CONTROL DEVICES SHALL ABIDE BY THE WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS. [HTTP://DNR.WI.GOV/STORMWATER/STANDARDS/CONST\\_STANDARDS.HTML](http://DNR.WI.GOV/STORMWATER/STANDARDS/CONST_STANDARDS.HTML)
15. CONFIRM THAT ALL TOPSOIL HAS BEEN STRIPPED FROM AREAS TO RECEIVE EMBANKMENT BEFORE PLACING EMBANKMENT MATERIAL.
16. EMBANKMENT MATERIAL SHALL BE EXCAVATED SITE MATERIAL AND/OR IMPORTED MATERIAL DEEMED SUITABLE BY THE OWNER AND/OR HIS/HER REPRESENTATIVE, AND CONFORM TO THE REQUIREMENTS OF SUB-SECTION 207.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MODIFY WATER CONTENT OF THE MATERIAL AS NECESSARY TO OBTAIN SPECIFIED COMPACTION FOR ALL EMBANKMENT MATERIAL.
17. CONSTRUCT ALL EMBANKMENT THAT WILL SUPPORT ROADWAYS OR ASPHALT PARKING IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; AND MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE.
18. BORROW MATERIAL SHALL BE IMPORTED MATERIAL MEETING THE ABOVE REQUIREMENTS FOR EMBANKMENT. THE CONTRACTOR SHALL IDENTIFY ITS BORROW SOURCES TO THE OWNER'S CONSTRUCTION REPRESENTATIVE AT LEAST TWO WEEKS IN ADVANCE OF HAULING MATERIAL TO THE PROJECT SITE SO THE OWNER'S CONSTRUCTION REPRESENTATIVE CAN OBTAIN SAMPLES AND PERFORM THE DESIRED TESTING.
19. THE CONTRACTOR SHALL PREPARE THE SITE TO SUPPORT THE PROPOSED SURFACE PER SEC. 211 OF THE WISDOT STANDARD SPECS.
20. DENSE GRADED BASE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS FOR DENSE GRADED BASE, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
21. HOT MIX ASPHALT PAVEMENT SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 460 OF THE WISDOT STANDARD SPECIFICATIONS FOR PAVEMENT, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
22. PULVERIZATION AND RE-LAYING OF EXISTING ASPHALT PAVEMENT, (IF USED) SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 325 OF THE WISDOT STANDARD SPECIFICATIONS.
23. CONCRETE PAVEMENT AND CURBING SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 501 OF THE WISDOT STANDARD SPECS, TYPE A OR A-FA.
24. PAVEMENT MARKING PAINT SHALL BE PRE-MIXED WATERBORNE EMULSION APPLIED TO A CLEAN SURFACE AT MANUFACTURER'S RATES TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILLIMETERS. CONFIRM COLOR WITH OWNER PRIOR TO APPLICATION.
25. AT A MINIMUM RESTORE SITE BY SEEDING & MULCHING ALL DISTURBED AREAS TO BE VEGETATED AND ENSURE ESTABLISHMENT OF ADEQUATE VEGETATION. SEED IS TO BE OF A SINGLE URBAN LAWN MIX TYPE INTENDED FOR THE EXISTING SITE SOILS AND CONFORMING WITH SECTION 630 OF THE WISDOT STANDARD SPECIFICATION. REFER TO PROJECT LANDSCAPE PLANS FOR FINAL RESTORATION.
26. SITE AND IMPORTED TOPSOIL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF SECTION 625 OF THE WISDOT STANDARD SPECIFICATIONS, GRADED FREE OF STONES AND LUMPS LARGER THAN 1 INCH AND FREE OF ROOTS, VEGETATION, AND OTHER UN-DECOMPOSED ORGANIC MATERIAL.
27. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL EXCESS AND UNUSED MATERIALS FROM THE SITE FOLLOWING COMPLETION OF THEIR WORK.

DRAWING FILE: P:\6400-6499\6438B - IGA Rib Mountain\dwg\plans\6438B-SPECS.dwg LAYOUT: SPECS  
 PLOTTED: JUN 14, 2017 - 3:42pm PLOTTED BY: TODD W

**REI Engineering, INC.**  
 4080 N. 20TH AVENUE  
 WAUSAU, WISCONSIN 54401  
 PHONE: 715.675.9784 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM



**REI** CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING

NO SCALE

DATE	REVISION	BY	CHK'D

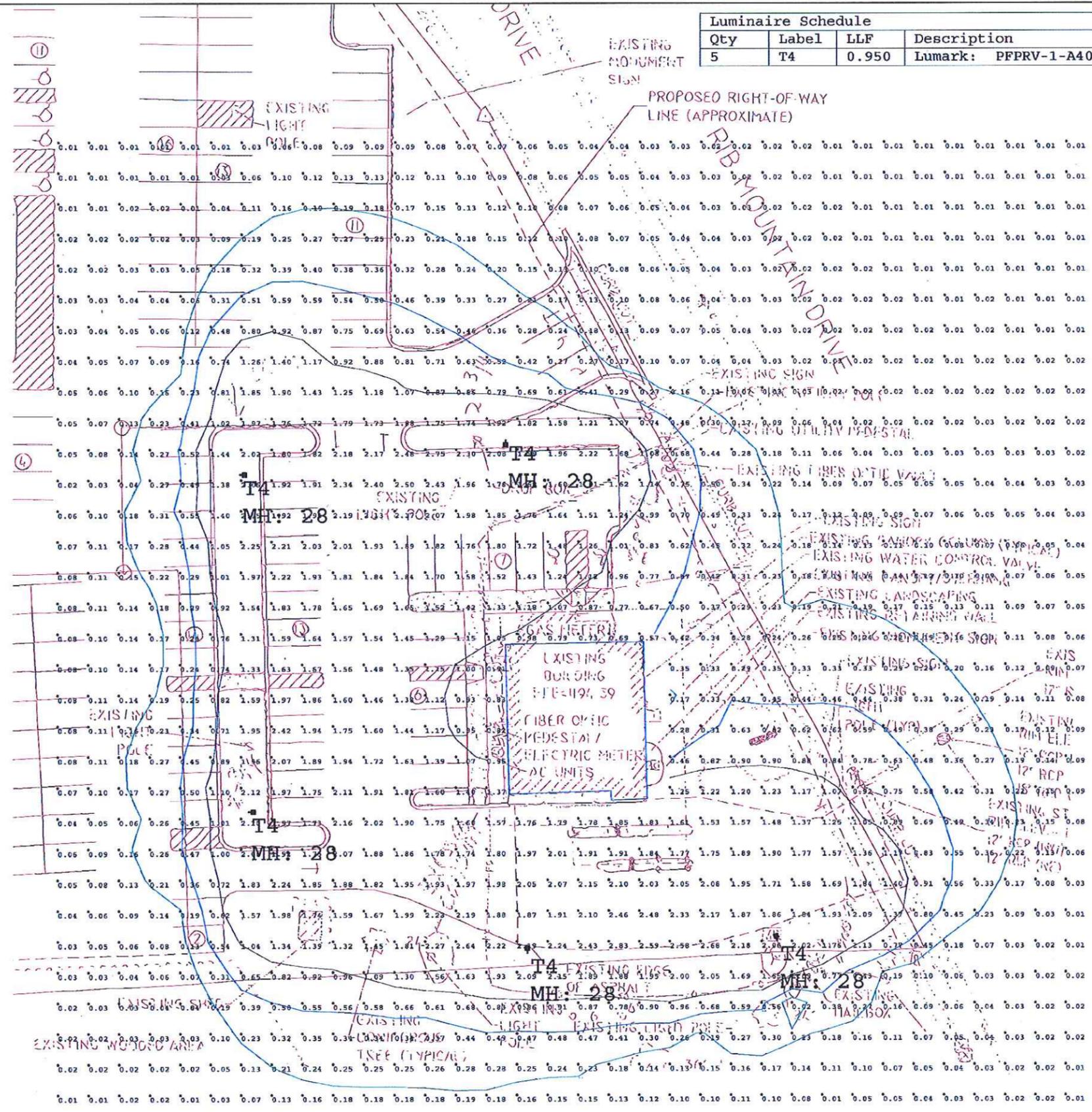
DESIGNED BY: GSW	CHECKED BY: JJB
SURVEYED BY: JLR/DRD	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 6/14/2017

**SITE SPECIFICATIONS**  
 IGA FOODS & PEOPLES STATE BANK  
 2900 & 2904 RIB MOUNTAIN DRIVE  
 WAUSAU, WISCONSIN 54401

**REI**  
 REI No. 6438B  
 SHEET SP



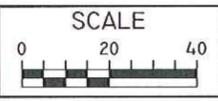
Luminaire Schedule			
Qty	Label	LLF	Description
5	T4	0.950	Lumark: PFPRV-1-A40-T4-25



NOTES:  
 (A) PHOTOMETRIC PLAN  
 DESIGNED BY NEWTON  
 ELECTRIC.  
 (B) PRIVATE UTILITY  
 COORDINATION INCLUDING GAS,  
 ELECTRIC, AND  
 TELECOMMUNICATIONS SHALL  
 BE COORDINATED BY THE  
 CONTRACTOR.

DRAWING FILE: P:\6400-6499\64388 - IGA RIB MOUNTAIN\DWG\64388-LIGHTING.DWG LAYOUT: EI  
 PLOTTED: JUN 14, 2017 - 3:43PM PLOTTED BY: TODD

**REI Engineering, INC.**  
 4080 N. 20TH AVENUE  
 WAUSAU, WISCONSIN 54401  
 PHONE: 715.675.9784 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM

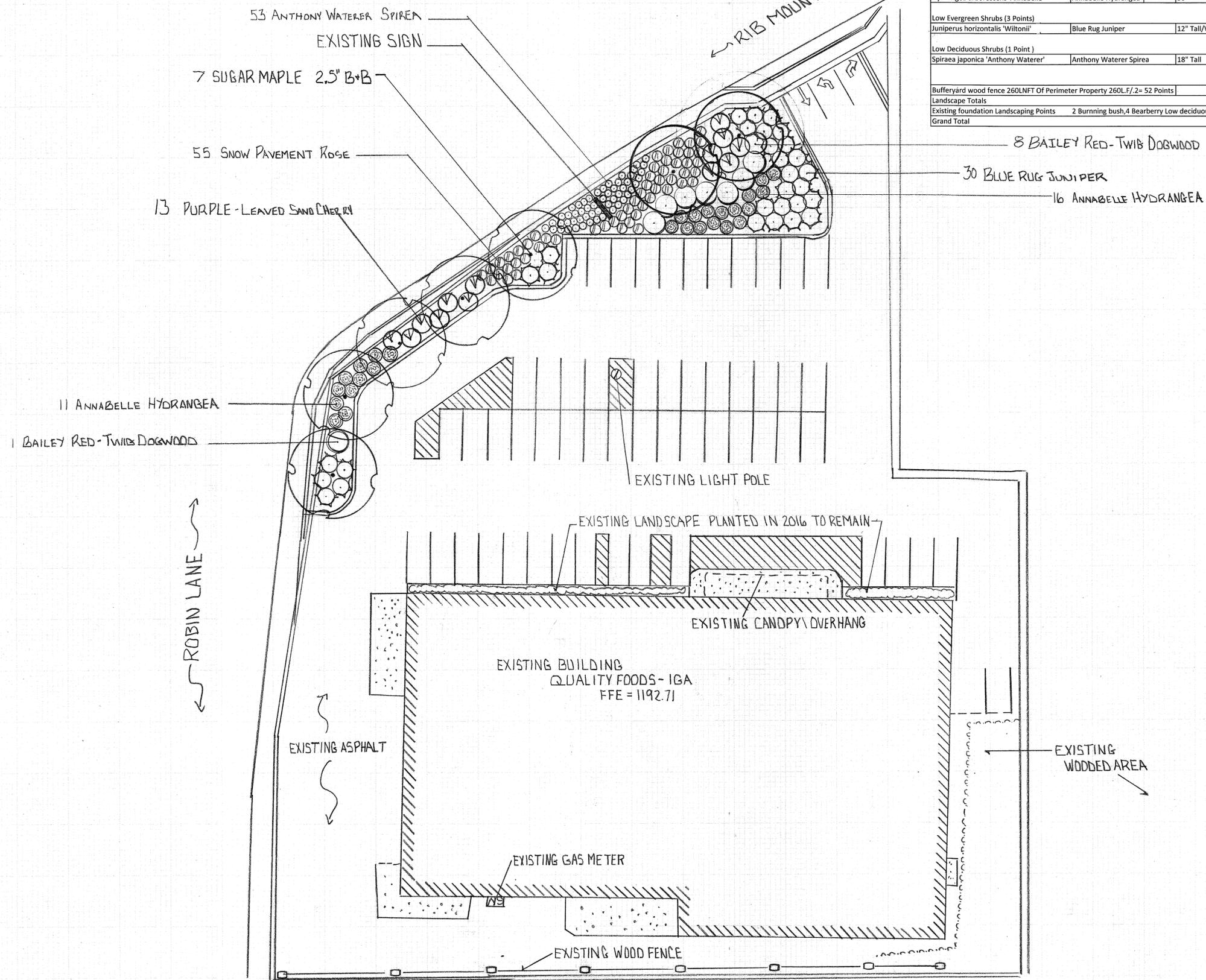


DATE	REVISION	BY	CHK'D

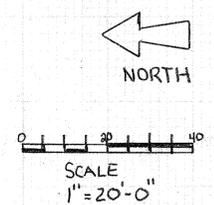
DESIGNED BY: NE	CHECKED BY:
SURVEYED BY: JLR/DRD	APPROVED BY:
DRAWN BY: NE	DATE: 6/08/2017

**LIGHTING PLAN**  
 IGA FOODS  
 2900 RIB MOUNTAIN DRIVE  
 WAUSAU, WISCONSIN 54401

**REI**  
 REI No. 64388  
 SHEET EI



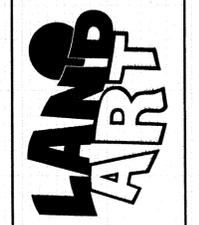
Landscape Plan Legend				
Botanical Name	Common Name	Size at planting	Qty	Point Value
<b>Climax Trees (35 Points)</b>				
Acer Saccharum 'Green Mountain'	Sugar Maple	2.5" B&B	7	245
<b>Medium Deciduous Shrub (3 Points)</b>				
Rosa rugosa 'Snow Pavement'	Snow Pavement Rose	24" Tall	55	165
Prunus x cistena	Purple- Leaved Sand Cherry	24" Tall	13	39
<b>Tall Deciduous Shrubs (5 Points)</b>				
Cornus sericea 'Bailey'	Bailey Red-Twig Dogwood	36" Tall	9	45
Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	36"	17	85
<b>Low Evergreen Shrubs (3 Points)</b>				
Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	12" Tall/Wide	30	90
<b>Low Deciduous Shrubs (1 Point)</b>				
Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spirea	18" Tall	53	53
Bufferyard wood fence 260LNFT OF Perimeter Property 260LF/2= 52 Points				52
Landscape Totals				774
Existing foundation Landscaping Points 2 Burning bush, 4 Bearberry Low deciduous Shrubs 18" 27 Perennials				33
Grand Total				807



DATE: 6/16/17  
SCALE: 1" = 20'-0"  
DRAWN BY: [Signature]  
SHEET: 1 OF 1

IGA QUALITY FOODS  
2900 RIB MOUNTAIN DRIVE  
WAUSAU WI 5401

LANDSCAPE DESIGN /  
CONSTRUCTION  
3808 E. SELL ST.  
WAUSAU, WISC. 54403  
715 842 0619



**REPORT TO PLANNING COMMISSION**

**FROM:** Steve Kunst, Community Development Director  
**DATE:** June 22, 2017  
**SUBJECT:** RMMC Section 17.059 – Minimum Standards for Detached Dwellings

**APPLICANT:** Town of Rib Mountain

**REQUEST:** Staff is seeking clarification on code language for “Canopy/Tent-Like Structures”

**NARRATIVE:**

Staff is seeking direction from the Plan Commission related to RMMC Section 17.059 related to metal carport structures (see Figure: 2).

*Section 17.059(3): Canopy/Tent-Like Structures. (Cr. #2007-04) Canopy/tent-like structures are specifically prohibited, as not meeting the design standards of this section.*

The code is clear in the prohibition of tent-like structures; however, staff is not certain how to interpret a portion of the “canopy/tent accessory structures” definition. Part of the definition notes “it shall include rigid metal frames and siding...” Staff’s questions is whether this is intended to include a structure like the exampl below in Figure: 2.

**DEFINITIONS:**

Canopy/tent accessory structures: *Canopy or tent-like structures are typically a fabric or tarp like material stretched over a semi-rigid or rigid frame. It shall include rigid metal frames and siding, as well as inflatable structures. Said structures do not comply with the minimum design standards of Section 17.059, and are not permitted. (Cr. #2007-04)*

Carport (land use): *An open sided, roofed vehicle shelter, usually formed by extension of the roof from the side of a building. See Section 17.056(8)(d)*



Figure 1: Known Prohibition



Figure 2: Seeking Clarification

**POSSIBLE ACTION:** No formal action to be taken. Item is for staff clarification.