



TOWN OF RIB MOUNTAIN

Where Nature, Family & Sport Come Together

www.townofribmountain.org

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PLAN COMMISSION

OFFICIAL NOTICE & AGENDA

A meeting of the Town of Rib Mountain Plan Commission will be held on **Wednesday, July 25th, 2018; 6:30 P.M. at the Town of Rib Mountain Municipal Center, 3700 North Mountain Road.** The Town Board may attend for purposes of gathering information. Subject matter for consideration and possible action follows:

- 1.) Call to Order
- 2.) Roll Call
- 3.) Minutes
 - a. **Approval of minutes from the 7-11-2018 Plan Commission meeting.**
- 4.) Public Hearing(s):
 - a. **ISG Inc., agent, requests General Development Plan approval for a restaurant and retail development at the property addressed 4611 Rib Mountain Drive. Parcel #34.142807.006.032.00.00. Docket #2018-32.**
 - b. **ISG Inc., agent, requests Precise Implementation Plan approval for a restaurant and retail development at the property addressed 4611 Rib Mountain Drive. Parcel #34.142807.006.032.00.00. Docket #2018-33.**
- 5.) Certified Survey Map Review:
 - a. **ISG Inc., agent, requests certified survey map approval for the property addressed 4611 Rib Mountain Drive. Parcel #34.142807.006.032.00.00. Docket #2018-34.**
- 6.) Old Business:
 - a. **Discussion on potential zoning code amendments related to small-scale nonmetallic mining operations. Docket #2018-26.**
 - b. **Discussion on potential zoning code amendments related to the keeping of chickens. Docket #2018-35.**
- 7.) Correspondence/ Questions/ Town Board Update:
- 8.) Public Comment
- 9.) Adjourn

TOWN OF RIB MOUNTAIN
PLANNING COMMISSION MEETING
July 11, 2018

Chairperson Harlan Hebbe, called the meeting of the Plan Commission to order at 6:30 pm. Other Plan Commission members present included Laura McGucken, Jim Hampton, Ryan Burnett, Tom Steele and Jay Wittman. Also present were Community Development Director, Steve Kunst, and Building Inspector / Assistant Zoning Administrator, Paul Kufahl.

MINUTES:

Motion by Tom Steele, second by Ryan Burnett to approve the minutes of the June 27, 2018 Plan Commission meeting, as presented. Motion carried 6-0.

Chairperson Hebbe stated that action on Agenda Item 5a, Certified Survey Map for 4201 Rib Mountain Drive, would directly follow the first public hearing related to the same parcel.

PUBLIC HEARINGS:

- a. *Halle Properties LLC, applicant, requests conditional use approval for an indoor maintenance use at the property addressed 4201 Rib Mountain Drive. Parcel #34.102807.016.007.00.00. Docket #2018-28.*

Community Development Director, Steve Kunst, noted the applicant seeks Plan Commission recommendation on a conditional use request for a new Discount Tire facility at the property addressed 4201 Rib Mountain Drive. The facility is proposed as an 8,192 square foot building with three auto bays. The proposed uses are identified within the Town's Zoning Ordinance as 'Indoor Sales and Service' and 'Indoor Maintenance Service,' representing a conditional use in the Suburban Commercial zoning district. He noted the only condition identified by code is that storage of vehicles on the property is to be limited to licensed and operable vehicles waiting to be repaired. Kunst also indicated that the plan set as submitted does meet the Town's minimum standards, and the subject property does contain delineated wetlands proposed to be disturbed as part of the development. The applicant received a letter from the Wisconsin Department of Natural Resources approving the disturbance.

Jay Wittman asked staff to describe the ingress and egress to and from the site, as well as, the flow of traffic on the site. Kunst noted that access to Rib Mountain Drive is a right-in right-out only because of the raised median which blocks access to the southbound lane. He also noted that the site can be accessed from the private road to the east of the property and that onsite traffic flow is two-way with traffic lanes meeting the Town's code standards.

Ryan Burnett asked about the construction of the private access road and if there are any concerns about the increased traffic potential using it. Kunst indicated the private access road was never

intended to be a public road and may not be built to Town road specifics, but it was intended to service increased traffic for a number of parcels.

Harlan Hebbe and Jay Wittman asked the applicant about the storage of new and used tires and the vehicles to be serviced. Todd Mosher, applicant agent with RA Smith, noted that any vehicles that remain onsite overnight will be parked inside the building and all tire storage is contained within the building as well.

Laura McGucken asked the applicant about their choice of location given the amount of competition in the immediate area. Mosher stated that the market is not as competitive as you would think. Similar businesses nearby offer a wide variety of services and are often limited in the brands and availability of tires they offer. Discount Tire offers and stocks nearly all tire brand and they only sell, install, repair wheels and tires and will work with other local businesses to build relationships and recommend additional services if needed.

Chairperson Hebbe opened the Public Comment period at 6:42pm.

Gladys Heahlke, 3304 Canary Ave, asked if there are other Discount Tire locations. Mosher noted that Discount Tire is the Nation's largest tire dealer with nearly 1000 locations, the closest being in Appleton and Madison.

Public Comment was closed at 6:44pm.

Commissioners and staff discussed the available signage and the methods of calculation, as well as, the recommended conditions if the item were to be approved.

Motion by Tom Steele, second by Jim Hampton to recommend approval of the conditional use request at the property addressed 4201 Rib Mountain Drive, conditioned upon the following items:

- **A finalized stormwater management plan approved by Streets and Parks Superintendent**
- **A finalized stormwater management maintenance agreement approved by Streets and Parks Superintendent**
- **Signage plans meeting current ordinance standards and approved by staff**

Motion carried 6-0.

- b. SC Swiderski, applicant, requests General Development Plan and Precise Implementation Plan approval for development of five (5) four-unit multifamily structures at the property addressed 1701 Oriole Lane. Parcel #34.102807.003.012.00.00. Docket #2018-30.*

Kunst opened the discussion by noting the applicant seeks Plan Commission recommendation on a General Development Plan and Precise Implementation Plan for the development of five (5) four-unit multifamily buildings on 4.32 vacant acres of land off Oriole Lane west of the Barnes and Noble / JoAnn Fabrics site. The property is currently zoned MR-4, allowing for single family or duplex style

development at a density of four (4) units per acre or a total of 17 total units. Kunst noted the applicant's proposal calls for a density of 20 total units.

Additionally, Kunst indicated the Plan Commission last discussed this concept at a pre-application conference on June 13th, 2018. Since that time, the applicant hosted another neighborhood meeting at the Quality Inn in Rib Mountain seeking additional public feedback. He noted since the original submittal in April, the applicant decreased overall site density by four (4) units by eliminating one structure, developed an alternative layout limiting access points onto Oriole Lane, added guest parking, increased setbacks to the west property line adjacent to existing residences, altered the layout of units so as to not have second floor unit balconies directly facing existing residences to the west, added a wet pond to the center of the development, and increased the plantings along the west property line.

Commissioners asked the applicant to describe the results of the neighborhood meeting, their anticipated construction timeline, the rationale for selecting the HVAC system proposed, the overall height of the structures, and the traffic pattern of the proposed onsite road.

Jacqui Miller of SC Swiderski responded to the neighborhood meeting question, noting 10 households from the neighborhood were present at the meeting where they described the new plan and tried to address all of their concerns. She indicated that based on the feedback they received they felt the neighborhood was still concerned about the overall density of the project and the size of the signage.

Additionally, Miller presented information about the lot usage, indicating that only 14% of the lot area will be building, 61% remains greenspace, 21% paved area and 4% pond. She noted this is very similar in developed area to the existing neighborhood. Miller also presented an aerial image of their Westwood Site which depicted the 4.32 acre Oriole Lane site to show the commission the impact of proposed development. Additionally, she presented exterior and interior images of the property to illustrate finishes, quality, site appearance from Oriole Lane, and cleanliness of their job sites.

Fay Harder, CFO for SC Swiderski, and Jacqui Miller noted they would like to have utilities and excavation work done this fall with the majority of the construction being done in 2019. However, the project timeline is heavily dependent on the length of approvals, subcontractor availability and weather conditions. Harder described the anticipated timeline as 1.5 to 2 years depending on those factors.

Miller noted that tenants often prefer the radiant heat they offer versus forced air. And because heat is included in the rent rate, radiant is an efficient energy source for them to manage.

Bill Siegler, SC Swiderski, noted that overall height of the proposed buildings is less than 25 feet and that the roadway is designed for one way traffic which allows the additional parking provided to function properly.

Public Comment was opened at 7:04pm

Michael Olejniczak, 3303 Cardinal Ave, noted he was concerned about the project falling outside of the existing code requirements.

Joann Olejniczak, 3303 Cardinal Ave, would like to better understand the west side buffer planting and who is required to maintain them, as well as the depth of the stormwater ponds.

Bev Kordus, 3407 Kildeer Lane, questioned whether the property was zoned UDD prior to the meeting, if there were tax breaks given to the applicant for their development, who the intended customers are, stated concerns over the price point in that residential area, and the increased traffic due to the density compared to the current 15,000 square foot standard lot. She also felt it unfair to compare the allowable single family and duplex development style to a large multi-family structure.

Kunst noted the parcel is currently zoned MR-4 which allows for single family and duplex structures at a density of four (4) units per acre and he also reviewed the Unified Development District procedures and explained the intent of zoning a property UDD.

Carol Batchelder, 3303 Canary Ave, indicated concerns over the current traffic levels on Oriole, Cardinal, Eagle and Robin and the impact of additional traffic due to the proposed development.

Shirley Froehlich, 1803 Robin Lane, noted concerns about increased traffic levels that may be created by the proposed project, highlighting drivers will likely use Cardinal and Eagle to access Robin Ln because of the controlled intersection at Rib Mountain Drive and its access to County Road R which will create significant traffic in a nice residential neighborhood.

Dave Falasky, 3306 Cardinal Ave, was concerned about the location of the 3rd and 4th buildings because of their proximity to the shoreland setback area, the overall density of the development and the traffic impact on the neighborhood.

Doug Hagedorn, 3308 Cardinal Ave, was concerned about the size of the buildings fitting in with the neighborhood and felt that 5 buildings was too many.

Mike Schmitt, 3301 Cardinal Ave, asked about the building setbacks, landscape buffer on the western property line, and the maximum number of vehicles allowed per tenant space.

Gladys Heahlke, 3304 Canary Ave, asked the Plan Commission to consider the fact that Wausau Health and Fitness has sold and that may also increase traffic within the neighborhood.

Mary Jaid, 3304 Cardinal Ave, is concerned about the traffic that will be intercepted by on the neighborhood streets as people try to reach the controlled intersection near IGA or as they access Hummingbird Rd. She noted the neighborhood is not transient and their lots have large yards and feels that 5 large multifamily units is too dense and the aesthetic does not fit the neighborhood.

Brad Fehl, 3307 Canary Ave, is concerned about the wet pond being close to Oriole and the safety for neighborhood children. He asked if the area would be fenced.

Representatives from SC Swiderski addressed a number of the public's questions, highlighting that the proposed development is intended to attract young professionals and empty nesters looking for maintenance free living. They noted that rent rates are anticipated to be \$1400 per month and they

have 22 successful projects completed. They felt confident their site layout met the shoreland setback requirements and indicated that representatives from the County were onsite that day to stake the setback areas. Representatives highlighted the more than 2 acres of green space, and noted the developed building area is similar to or less than the adjacent neighborhood lots. And finally they addressed the west side buffer and vehicle parking concerns by noting their landscape plan calls for mature trees reaching 35' in some areas and their property managers and lease agreements limit the duration of recreational vehicle storage.

Public Comment was closed at 8:05pm

Commissioners further discussed the overall development of the site and the unit density, as well as, the layout and quantity of guest parking, the neighborhoods traffic concerns, and size of proposed signage with varying opinions. Some Commissioners felt that the revised proposal adequately addressed the neighborhoods concerns from the previous public hearing and offered additional consideration to decrease the signage size, establish an immediate buffer to western properties, and reduce onsite parking. Other members felt the proposal was significantly better than the previous application however, the five (5) building proposal was still too dense for the area.

The applicant was willing to reduce the size of the signage, provide the immediate buffer to the western property owners, and eliminate 8 parking stalls.

Motion by Jay Wittman, second by Laura McGucken to recommend approval of the General Development Plan and Precise Implementation Plan for the property addressed 1701 Oriole Lane, conditioned upon the following items:

- **A six foot tall fence or 6' tall landscape plantings be installed along the west property line to immediately buffer residents to the west**
- **Signage to be limited to 16 square feet of sign area and a maximum height of 5 feet**
- **Reduce additional parking stalls provided along private road to 6 stalls per area for a total of 12 additional parking stalls**
- **A finalized stormwater management plan approved by Streets and Parks Superintendent**

Roll Call Vote Taken

Ayes – Wittman, Hebbe, McGucken Nays – Burnett, Hampton, Steele

Motion failed 3-3.

Motion by Tom Steele to recommend approval of the General Development Plan and Precise Implementation Plan for the property addressed 1701 Oriole Lane, conditioned upon the following items:

- **A six foot tall fence or 6' tall landscape plantings be installed along the west property line to immediately buffer residents to the west**
- **Signage to be limited to 16 square feet of sign area and a maximum height of 5 feet**

- **Reduce additional parking stalls provided along private road to 6 stalls per area for a total of 12 additional parking stalls**
- **A finalized stormwater management plan approved by Streets and Parks Superintendent**
- **A maximum of 16 dwelling units; four (4) four (4) unit buildings.**

Motion rescinded

Action results in item being forwarded to Town Board with no recommendation.

CERTIFIED SURVEY MAP REVIEWS:

- a. *Halle Properties LLC, applicant, requests certified survey map approval for the property addressed 4201 Rib Mountain Drive. Parcel #34.102807.016.007.00.00. Docket #2018-29.*

Kunst stated the applicant seeks Plan Commission recommendation of a CSM to adjust lot lines of adjacent parcels as part of the Discount Tire development. The proposal calls for expanding a 0.67-acre parcel adjacent to Rib Mountain Drive to the east to the existing private access road. The adjusted property would be 1.96 acres. Both the proposed new Discount Tire lot and the remaining parcel would be legal lots, meeting all required zoning and subdivision regulations of the Town. And, as discussed during the Discount Tire conditional use review, delineated wetlands are present on the property, for which the applicant received a permit from the Wisconsin Department of Natural Resources to complete work within a portion of the wetlands. Kunst noted he would recommend any approval would be conditioned upon those wetlands being displayed on the face of the CSM.

Commissioners clarified the location and shape of the adjacent parcel and private access road, as well as, briefly discussed the need for approval to facilitate the previously described Discount Tire project.

Motion by Jay Wittman, second by Tom Steele to recommend approval of the Certified Survey Map for the property addressed 4201 Rib Mountain Drive, conditioned upon the delineated wetlands being shown on the face of the CSM.

Motion carried 6-0.

- b. *REI Engineering, agent, requests certified survey map approval for the property addressed 2804 South Mountain Road. Parcel #34.762.000.032.00.00 Docket #2018-31.*

Kunst noted the applicant seeks Plan Commission recommendation of a CSM to split four (4) lots from Lot 32 of Royal View Estates on the south side of Strawberry Lane. The current zoning is Mixed Residential – 4 which would allow for single family or duplex development on the site.

Tom Radenz, REI Engineering, noted the updated certified survey map would include a 10’ wide utility easement, as requested by Rib Mountain Sanitary District, on Lot 37 which would allow for additional

sewer and water connection should Lot 32 be developed in the future. Radenz also noted that the timing of the request is so the additional sewer and water laterals can be stubbed in before completion of Strawberry Lane.

Commissioners asked the applicant about additional access points, why choose only four (4) additional lots and confirmation of lots size; while also expressing concern for the long term development potential on the remaining Lot 32.

Bill Shnowske, owner, noted because of the views created at this location, he has interested parties who would like to build on at least two of these lots.

Radenz noted additional access for Lot 32 development would likely come off of Strawberry Lane because Marathon County is likely going to adopt a minimum intersection spacing requirement of 300 feet which would limit where they can access Lot 32 from Bittersweet or from the future road to the west. They presented a number of private and public road options to facilitate development of Lot 32, while highlighting a wetland area and rocky subsurface that may also affect how the area is developed. Shnowske then indicated that the lot sizes are nearly identical to the existing single family lots across the street.

Commissioners noted creating 4 lots is ok, but reiterated their concerns over the ability to effectively develop Lot 32 after the creation of those lots.

Shnowske assured the Commissioners that they have considered a number of options and they feel comfortable with the remaining potential.

Commissioners then briefly discussed the potential long term impact of the parcels MR-4 zoning.

Radenz noted he would like to change the lot numbering on the updated CSM to reflect the creation of Lots 33 thru 36 instead of the current numbering which is 34 to 37.

Motion by Laura McGucken, second by Tom Steele to recommend approval of the Certified Survey Map for the property addressed 2804 South Mountain Rd, conditioned upon the following items being displayed on the face of the CSM.

- **New Lots are renumbered to show 33 thru 36 instead of 34 to 37.**
- **A 10' utility easement along the west side of Lot 37 as presented.**

Motion carried 6-0.

PRELIMINARY PLAT REVIEWS:

- a. *Paul Hackel, applicant, requests preliminary plat review for Stone Horizon subdivision at the property addressed 6200 South Mountain Road. Parcel #34.182807.016.002.00.00 and #34.182807.013.000.00.00. Docket #2018-32.*

Kunst indicated that the proposed plat was previously discussed as part of a pre-application conference and it will create seven (7) new lots and make an eighth lot buildable by creating street frontage.

McGucken asked for clarification on the intent of lots 2 and 3 of the plat, to which Nathan Wincentsen, applicant representative from Riverside Land Surveying, noted that the existing property owner is retaining Lot 2, which includes additional land on the north forty acres to provide a buffer for their personal home in the event Lot 3 is developed in the future.

Burnett asked if the platted lands presented were different from the pre-application conference discussion. Wincentsen noted the land area is the same and that they chose to include all of the lands as part of the plat to reduce the need for additional easements and agreements with the existing property owner. And, it would allow the property owner to sell specific lot areas to Mr. Hackel.

The applicants and Plan Commission members discussed the need to extend the cul-de-sac to the north forty line as recommended by the Town's code and Streets and Parks Superintendent Scott Turner.

Wittman asked for the length of the cul-de-sac as presented and if it were extended. Paul Hackel, applicant, noted that the cul-de-sac as presented is just over 1400 feet in length and the extension would add more than 200 feet.

Kunst noted the recommendation is intended to limit the need for future development to improve areas outside of its project boundaries, thus putting undue financial burden on that developer.

Wincentsen noted that they understand the intent of the recommendation, however they felt the limiting factor for development on Lot 3 would be the road connection to Thornapple Rd. Additionally, he noted the proposed cul-de-sac length already exceeds the Town and County standards by more than 600 feet and that extending it further is unnecessary. Wincentsen also noted that if the extension of the road is required they would consider adding a lot along the east side of the road extension to help make the economics of the project work out. Finally, he indicated they configured Lot 3 so that someone purchasing it for development would have direct access to the public road for its extension.

Commissioners questioned whether the proposed temporary cul-de-sac meets the Town's requirements, to which Kunst noted the proposed diameter is 120' and the code minimum is 100'.

Kunst noted that if an extension of the roadway is not required, a developer's agreement could include language that would allow a single dwelling to be served by a driveway on the 66' wide section of Lot 3 and any additional development would require the road extension. Or, if the Town's future road map were amended to show a road in that location, the Town could require buildings to be setback accordingly so they would not impede future road development.

Burnett as the applicant what their intent is for Lot 3. Hackel noted his initial intent is to keep it for personal recreational or residential property with the future intent to further subdivide when he is able to acquire access to Thornapple Rd.

Plan Commission members continued discussion of the cul-de-sac length balancing future development facilitation versus consideration for upfront cost and long term maintenance of the road. They came to a consensus that the road as presented was adequate for this development.

Motion by Laura McGucken, second by Tom Steele to approve the Preliminary Plat for Stone Horizon subdivision at the property addressed 6200 South Mountain Rd, as presented.

Motion carried 6-0.

CORRESPONDENCE / QUESTIONS / TOWN BOARD UPDATE:

Countywide Addressing – Kunst noted that Marathon County has chosen to submit their appeal to the State Supreme court and that the Town is waiting to find out if they will hear the case.

Next Meeting – Kunst stated the upcoming meeting will include a proposed development for the property north of Kwik Trip and some additional zoning ordinance updates related to Electronic Message Centers and other code sections.

Supervisor Appointment – Kunst indicated that the Town Board had appointed Brad Conklin to the vacant supervisor position.

PUBLIC COMMENT: None Provided

ADJOURN:

Motion by Tom Steele, second by Laura McGucken to adjourn the Plan Commission Meeting.

Motion carried 6-0. Meeting adjourned at 9:19 pm.

Respectfully Submitted,

Paul Kufahl, Building Inspector / Assistant Zoning Administrator

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: July 17, 2018
SUBJECT: General Development and Precise Implementation Plan Review

APPLICANT: ISG Inc., agent
PROPERTY OWNER: Koletsky Trust, represented by Bill Schofield

PROPERTY ADDRESS(S): 4611 Rib Mountain Drive

REQUEST: General Development Plan (GDP) and Precise Implementation Plan (PIP) approval for a restaurant a retail development

CURRENT ZONING: Urban Commercial (UC)
ADJACENT ZONING: UC (North & East); UDD (South & West)
PROPOSED ZONING: UDD

FUTURE LAND USE DESIGNATION: Commercial

NARRATIVE:

The applicant seeks Plan Commission recommendation on a GDP for a new restaurant and retail development at the property addressed 4611 Rib Mountain Drive. The subject property represents the vacant land adjacent to the north of Kwik Trip. As proposed, the site includes two potential restaurant locations as well as two traditional retail spaces. The developer intends to request PIP approval for the northwest parcel while grading the remainder of the site in an effort to create “pad ready” sites to sell to other developers.

The project is planned to be phased and specific end users are yet to be identified. The rationale behind the UDD request primarily centers on the unique layout of the property. The site is relatively narrow and considering the private access road to the south is proposed to become public, traditional setbacks begin to get quite restrictive. The Plan Commission first discussed this concept at a pre-application conference on June 27th, 2018.

STAFF CONSIDERATIONS:

- Any approval should be conditioned upon an approved stormwater management plan
 - Plan was submitted and is currently under review.
- Any approval should be conditioned upon the Town receiving a copy of a draft three party agreement for stormwater maintenance as the proposal calls for a shared facility.
- Ensure dedication of 30’ of right-of-way along the south property line to begin the process of making the private access road public.
- Developer should be responsible for installation of a six-foot sidewalk within the proposed right-of-way from the west property line of proposed Lot 1 to the east property line of proposed Lot 3.
 - Installation should occur as part the first phase.
 - Sidewalk should not taper along existing curb line at the east end, rather it should continue parallel with the right-of-way line.
- The existing RCP storm sewer Lilac Lane needs to be connected, rather than the proposed culvert for the access to Lilac.
- Properties proposed to graded to pad ready state should be seeded with grass or another form of vegetation resistant to erosion until such time each lot develops.
- In need of a complete sign plan.
 - Plan simply needs to include the number of signs and area calculations. Specific tenant logos are not necessary at this point.

- Consideration for shared refuse and recycling area.
 - Proposed location of dumpster enclosure on Lot 1 is not ideal, especially considering a bike/ped path immediately to the south.
- Concerns exist with proposed Lilac Ave access point from Lot 3 being too close to the intersection of Lilac Lane and the new public road to the south. Depending on redevelopment scenarios for the land to the east, a traffic signal may be necessary. Therefore, the proposed layout may not provide enough room for adequate vehicle stacking.
- Consideration for analyzing traffic generation as to its impacts on current level of service in conjunction with traffic from Kwik Trip and Ryder Truck.

PUBLIC BENEFITS OF THE PROPOSAL:

- Redeveloping an underutilized site within the Town’s primary commercial corridor
- Adding new tax base to the Town
- Maintaining consistent development within the commercial corridor
- Adding new destinations to Rib Mountain Drive
- Bicycle and pedestrian safety improvements in a planned bike/ped corridor (if required)
 - Trail users crossing Rib Mountain Drive from the McDonald’s/Dick’s Sporting Goods/ Days Inn are able to maintain travel off street.

FINDINGS OF FACT

Below are the six questions representing the Plan Commission’s finding of fact to be forwarded to the Town Board as found within the Rib Mountain Code of Ordinances, along with initial staff interpretation.

1. How is the proposed conditional use (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

The Town’s Comprehensive Plan identifies goals and objectives of revitalizing older commercial areas within the Town, encouraging new commercial development in appropriate locations and proactively planning for commercial development.

2. How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

The Comprehensive Plan Future Land Use map identifies the subject property for commercial development. Further, the property is currently zoned Urban Commercial and the proposed uses of indoor sales and service, indoor commercial entertainment, and in-vehicle sales and service are consistent with the surrounding properties.

3. Is it likely that the proposed conditional use, in its proposed location and as depicted on the required site plan (see (3)(d), above), will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Town or other governmental agency having jurisdiction to guide growth and development?

The proposed commercial uses are consistent with the surrounding environment. The Town’s Comprehensive Plan urges intense commercial developments to areas of Town that are already developed, and the proposal accomplishes this. Each of the proposed uses generate traffic; however,

the proposed location is adequately served by an appropriate street network near a controlled intersection.

4. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposal is consistent with the Future Land Use Map's 'Commercial' classification. Further, the proposed land uses, intensities and impacts are consistent to the environs of the surrounding area.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The subject property is accessed via the Town's major collector road in Rib Mountain Drive. Further, the property is served by public sewer and water and adequate electrical service.

6. Do the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

The proposal accomplishes a number goals and objectives of the Town's Comprehensive Plan related to commercial and economic development. It also continues to add to the Town's retail and entertainment offerings while redeveloping an underutilized property within the Town's primary commercial corridor.

POSSIBLE ACTION:

1. Recommend approval of the GDP for the property addressed 4611 Rib Mountain Drive, as presented.
2. Recommend approval of the GDP for the property addressed 4611 Rib Mountain Drive, with conditions / modifications.
3. Recommend denial of the GDP for the property addressed 4611 Rib Mountain Drive.

July 11, 2018

Steve Kunst
 City Planner
 Planning Division
 Town of Rib Mountain
 3700 N Mountain Road
 Rib Mountain, WI 54401

**RE: Project Description and Application Narrative
 4611 N Rib Mountain Drive, Rib Mountain, Wisconsin**

Steve,

The following project description and application narrative is being submitted to accommodate site development and future commercial/retail construction in the Town of Rib Mountain.

The subject property is located at 4611 Rib Mountain Drive in Rib Mountain, Wisconsin (PIN: 1068-2807-142-0967), on an existing 2.56 acre lot, and is currently zoned UC-Urban Commercial. The subject property is legally described as Lot 1 of Certified Survey Map, Volume 82, Page 97, recorded as Document Number 1706866, located in the Northwest Quarter of the Northwest Quarter of Section 14, Township 28 North, Range 7 East.

The building that was formerly on the property has been demolished and the property is now vacant with various areas of asphalt pavement. The site does not have an existing access to Rib Mountain Drive, and has one access to Lilac Avenue. The previous use of the site was a truck sales and service business and is zoned UC, Urban Commercial. The property to the north and east is also zoned UC, Urban Commercial, and the properties to the south and west are zoned UDD, Unified Development District.

FORE Development and Investment Group is in the process of purchasing the property from the existing property owner, Koletsky Trust, and will act as the developer of the property. The proposed improvements include construction of three (3) commercial/retail buildings along with the associated parking and a new access to the private drive to the south, and a relocated access drive to Lilac Avenue.

The site is proposed to be subdivided into three (3) lots with one building located on each lot. Stormwater detention will be provided for the entire project on Lot 3, and drainage easement rights will be conveyed to all 3 lots. The access points from Lilac Avenue and the private drive will also have ingress/egress easements conveyed to all lots as part of sharing access. A preliminary breakdown of the lots and future building construction is provided below.

- Lot 1 is 0.88 acres in size with a proposed 2,543 square building as a possible restaurant use with a drive-thru.
- Lot 2 is 0.70 acres in size with a proposed 4,142 square foot building. It is anticipated that this building will consist of two tenant spaces; a 2,475 square foot restaurant space with a drive-thru, and a 1,667 square foot space for general retail.
- Lot 3 is 0.98 acres in size with a proposed 2,400 square foot retail building.

The overall project proposes 1.56 tenant spaces per acre, a total site floor area ratio of 0.08, and an impervious surface area ratio of 60.2%. One monument sign proposed is proposed on Lot 1 that would provide signage for all uses. The proposed sign will be approximately 13 feet wide and 15 feet tall.

The site does not contain any natural features based on the previous use of the property and is located outside of the 100-year floodplain. The proposed buildings adjacent to Rib Mountain Drive will sit approximately 4 feet below the existing right-of-way elevation due to the existing ground relationship. The ground elevations fall approximately twelve feet from Rib Mountain Drive to the east towards Lilac Avenue. The private drive to the south is sloped to the east following this same elevation drop. There is an existing retaining wall to the north side of the property that varies in height from six feet near

Rib Mountain Drive to one foot to the east. The adjacent properties to the north and south are gas stations, the property to the west is a Red Robin restaurant, and the property to the east is currently a trucking service use.

FORE Development is proposing the following improvements/construction activities:

- All site improvements and building construction on Lot 2
- Installation of the proposed stormwater detention for all three lots
- Construction of the shared access from the private drive to the south
- Installation of utilities to service Lot 2 and service stubs for Lots 1 and 3
- All site improvement necessary to create pad ready sites for Lots 1 and 3

FORE Development intends to sell Lots 1 and 3 to another developer for future construction of the proposed buildings and associated parking shown on the site plan. The employee count for the Lot 2 improvements is 8 to 12 employees at a time with operation between the hours of 6 am and 10 pm. The number of daily customers will vary and depend on the tenants obtained for each building space. Once more information is known, this will be shared with the Town.

There are 77 proposed parking stalls and of those stalls, 5 are ADA accessible stalls which meets the Town requirements. The proposed parking ratio is 8.48 stalls per 1,000 square feet of building. The parking requirements will be met when looking at each individual lot independently. It is expected that parking will be shared among all three lots to allow flexibility in the uses of the buildings, and that peak uses will be somewhat offset.

Onsite circulation allows for all three lots to obtain access from Lilac Avenue and the private drive to the south. The drive-thru for Lot 1 has one-way circulation around the building, and the drive-thru for Lot 2 also proposed to have one-way circulation around the building. Otherwise, all other drive aisles are two-way with multiple ways to circulate the site. There is one point of circulation conflict that occurs at the exit of the Lot 2 drive-thru and the entrance of the Lot 1 drive-thru. To alleviate the concerns in this area, the exit lane of the Lot 2 drive-thru and the southbound drive aisle is stop controlled which allows movements in the west and north directions to proceed without conflict. Once the area is clear, exiting and southbound cars may maneuver to the south side of the east/west drive aisle. No negative impacts to the current traffic flow along Rib Mountain Drive are anticipated.

The proposed zoning request is to change the existing UC, Urban Commercial zoning to UDD, Unified Development District zoning. This request is being presented to provide some flexibility in the development of this site due to the nature of what is being proposed and how the site is anticipated to be developed by FORE Development. There has also been discussion of the private drive to the south becoming a public street which would impact the setback requirements for the proposed parking, which would result in the current site plan not being able to meet the UC setback requirements. The shared uses amongst the three proposed lots also does not conform to the individual lot setback requirements, and the UDD zoning would provide the necessary flexibility to facilitate the proposed development while meeting all necessary requirements.

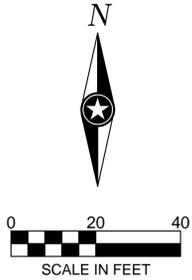
The architectural features of the Lot 2 building that FORE Development will be constructing includes building materials such as cultured stone, metal paneling, EIFS, and wood siding. The main entrance of the building tenant spaces face east, but elements have been added to the west elevation to create some relationship of the building to Rib Mountain Drive.

The redevelopment as proposed will provide added value within the Town for a property that has been vacant while meeting the intent of the Town's Land Use Plan guidelines. Please contact me at 952.426.0699 or via email at jeremy.foss@is-grp.com with any questions or if there is any additional information we can provide in support of this project.

Sincerely,



Jeremy Foss, PE, LEED AP, CNU-A
Senior Civil Engineer

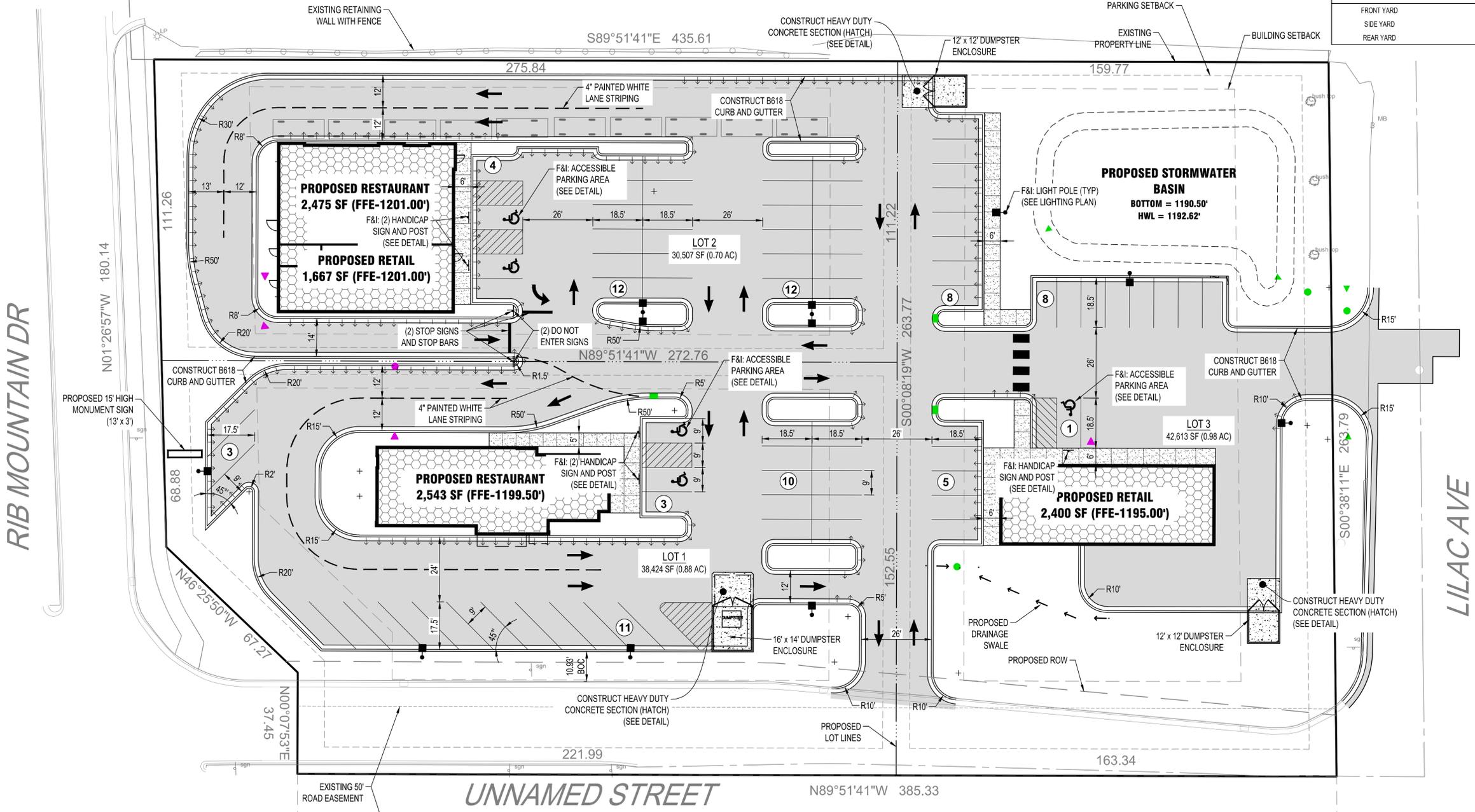


EXISTING PROPERTY LEGAL DESCRIPTION:
 LOT 1, CERTIFIED SURVEY MAP, VOLUME 82, PAGE 97, RECORDED AS DOCUMENT NUMBER 1706866, LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN

- NOTES:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
 - ALL CURB RADII ARE 5' TO FACE OF CURB UNLESS OTHERWISE NOTED

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	BITUMINOUS PAVEMENT
[Symbol]	HEAVY DUTY BITUMINOUS PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	CONCRETE SIDEWALK
[Symbol]	REVERSE PITCH CONCRETE CURB & GUTTER

SITE SUMMARY			
ZONING:	UC (URBAN COMMERCIAL DISTRICT)		
SITE/LOT AREA:	111,544 SQ. FT / 2.56 AC.		
IMPERVIOUS AREA:	67,190 SQ. FT / 1.54 AC.		
GREENSPACE PROVIDED:	44,354 SQ. FT / 1.02 AC.		
PARKING REQUIREMENTS (PER CITY CODE)			
TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
LOT 1 (RESTAURANT) (1 / 300 SF OF GFA)	2,543 SF	9	27
LOT 2 (RESTAURANT) (1 / 300 SF OF GFA)	2,475 SF	9	14
LOT 2 (RETAIL) (1 / 300 SF OF GFA)	1,667 SF	6	14
LOT 3 (RETAIL) (1 / 300 SF OF GFA)	2,400 SF	8	22
TOTAL:		32	77
SETBACKS			
	PARKING	BUILDING	
FRONT YARD	10'-0"	35'-0"	
SIDE YARD	5'-0"	10'-0"	
REAR YARD	5'-0"	25'-0"	



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PROJECT
FORE DEVELOPMENT
COMMERCIAL SITE

RIB MOUNTAIN WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	18-21552
FILE NAME	21552 SITE
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	JF
ORIGINAL ISSUE DATE	7/11/18
CLIENT PROJECT NO.	-

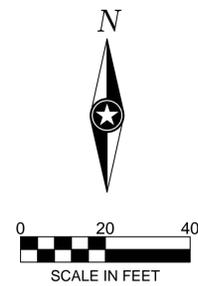
TITLE
SITE PLAN

SHEET
C-1



UTILITY LEGEND

EXISTING		PROPOSED
--->>---	STORM DRAIN	--->>---
--->---	SANITARY SEWER	--->---
--- ---	WATER MAIN	--- ---
---G---	GAS	---G---
---OE---	OVERHEAD ELECTRIC	---OE---
---UE---	UNDERGROUND ELECTRIC	---UE---
---UT---	UNDERGROUND TELEPHONE	---UT---

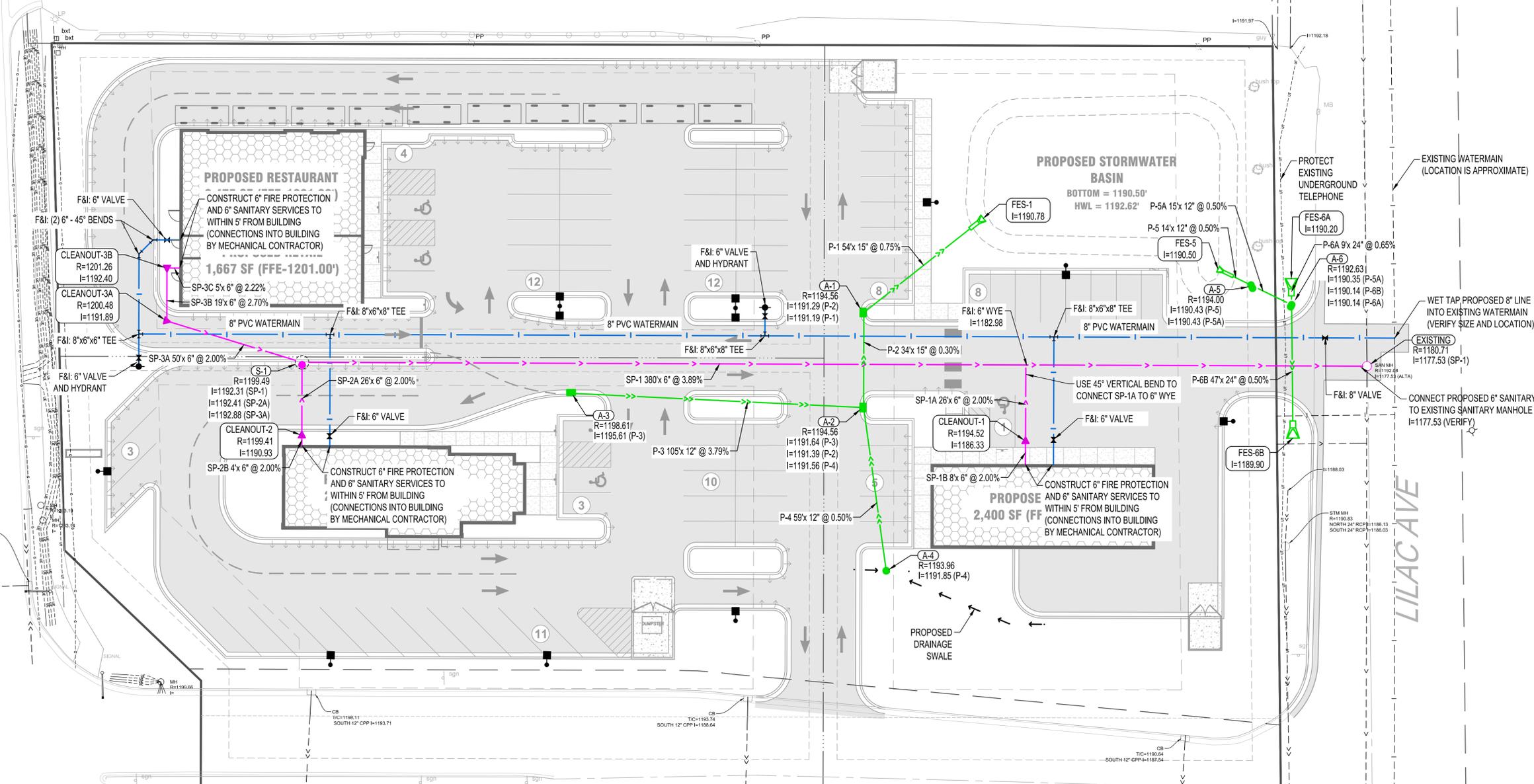


NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

RIB MOUNTAIN DR

LILAC AVE

UNNAMED STREET



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PROJECT
FORE DEVELOPMENT COMMERCIAL SITE

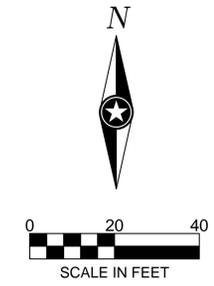
RIB MOUNTAIN WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	18-21552
FILE NAME	21552 SITE
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	JF
ORIGINAL ISSUE DATE	7/11/18
CLIENT PROJECT NO.	-

TITLE
SITE TILIT PLAN

SHEET
C-11



GRADING LEGEND	
--- 101 ---	EXISTING CONTOUR (MINOR INTERVAL)
--- 100 ---	EXISTING CONTOUR (MAJOR INTERVAL)
— 101 —	PROPOSED CONTOUR (MINOR INTERVAL)
— 100 —	PROPOSED CONTOUR (MAJOR INTERVAL)
① 23.2%	PROPOSED SPOT ELEVATION
② 23.2%	PROPOSED TOP BACK OF CURB SPOT ELEVATION
-X.X% →	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES

EXCAVATED MATERIAL SHALL BE COMPACTED TO 100% PROCTOR DENSITY FOR THE UPPER 3", AND 95% PROCTOR DENSITY BELOW 3" IN ALL BUILDING PADS. REFER TO THE QUALITY COMPACTION METHOD IN ALL OTHER AREAS.

PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED.



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PROJECT

FORE DEVELOPMENT

COMMERCIAL SITE

RIB MOUNTAIN WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 18-21552

FILE NAME 21552 GRADING

DRAWN BY AJR

DESIGNED BY AJR

REVIEWED BY JF

ORIGINAL ISSUE DATE 7/11/18

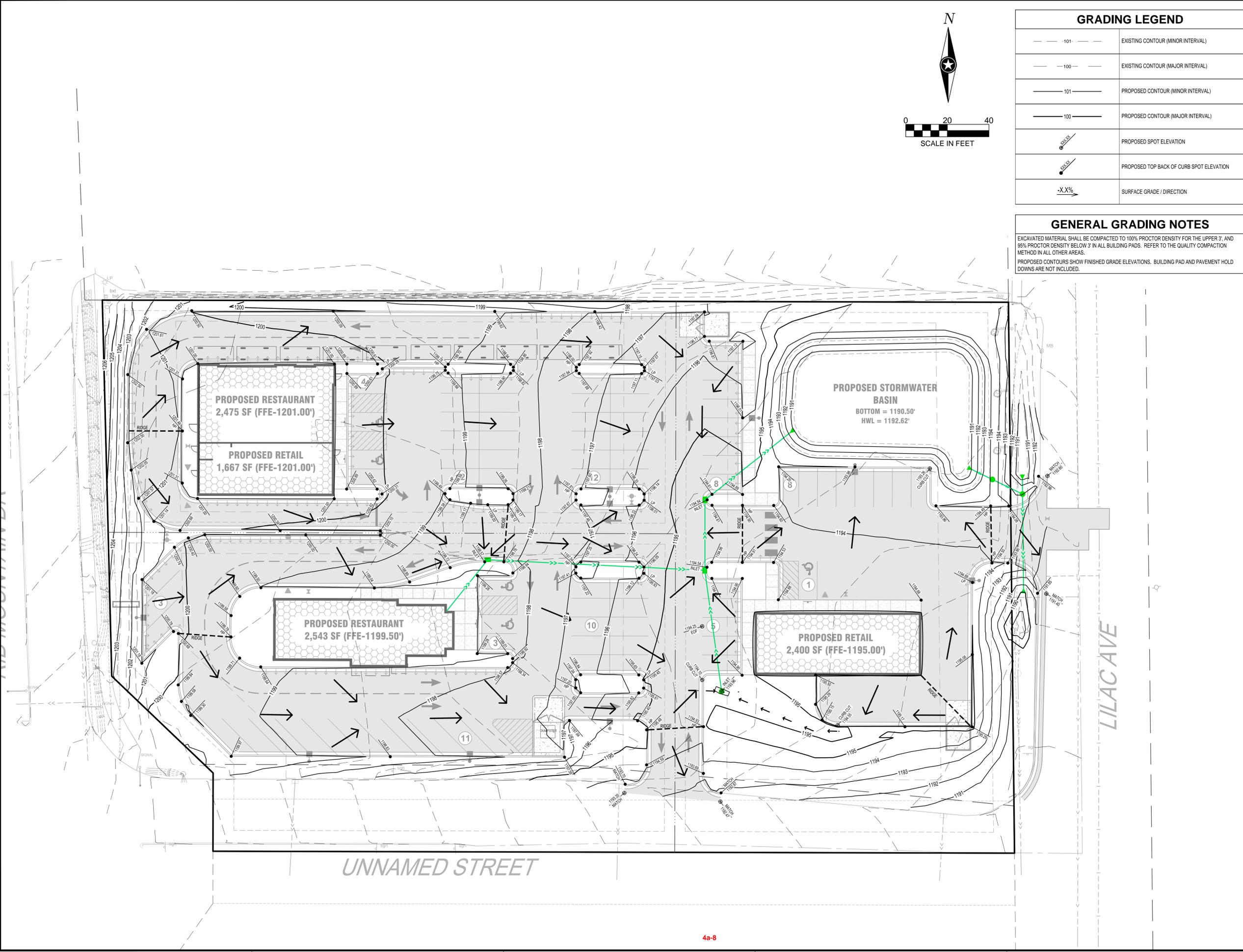
CLIENT PROJECT NO. -

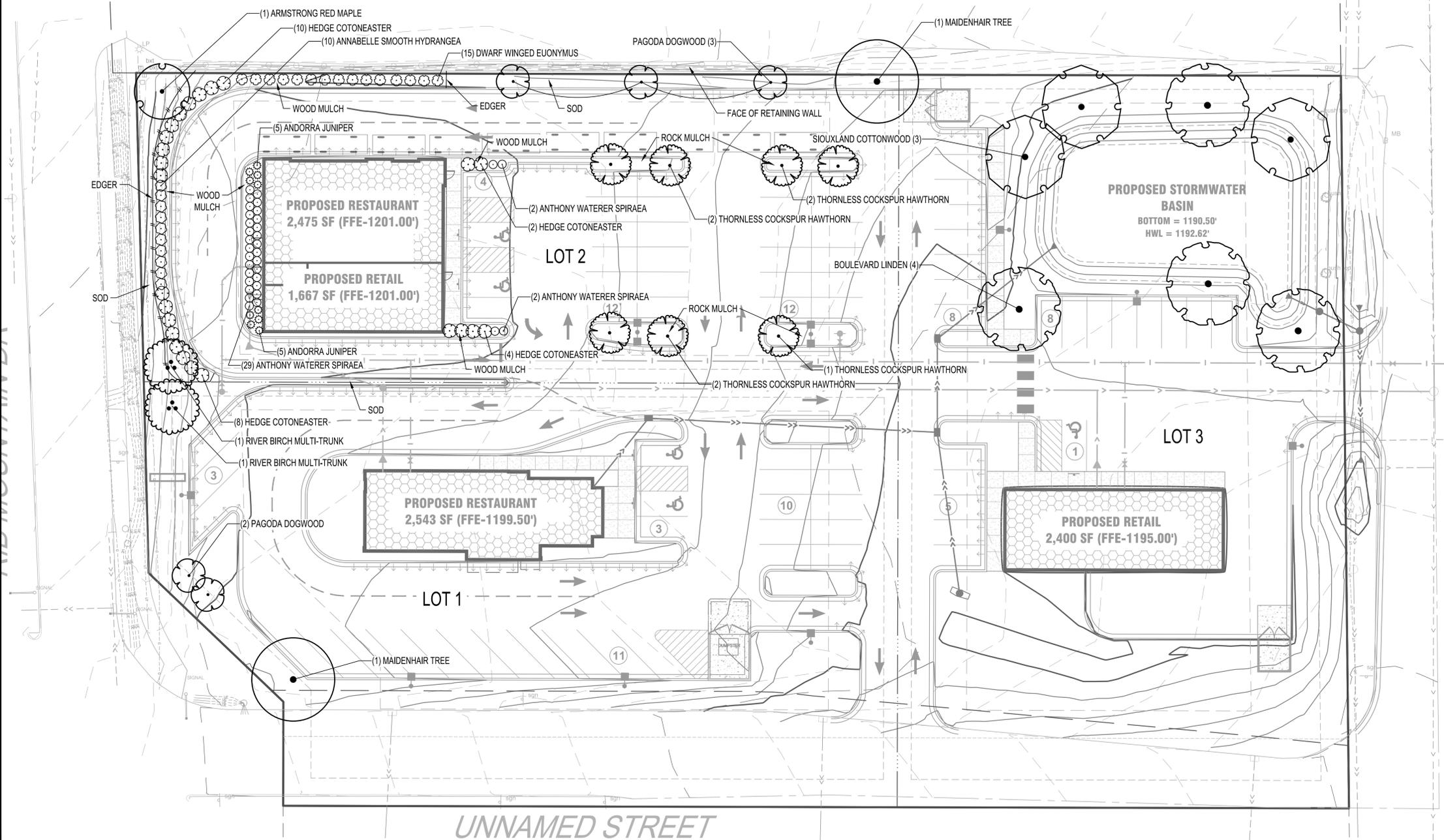
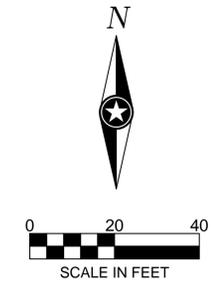
TITLE

GRADING PLAN

SHEET

C-1





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PROJECT
FORE DEVELOPMENT
COMMERCIAL SITE

RIB MOUNTAIN WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

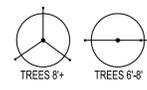
PROJECT NO.	18-21552
FILE NAME	21552 LANDSCAPE
DRAWN BY	CT
DESIGNED BY	CT
REVIEWED BY	JF
ORIGINAL ISSUE DATE	7/11/18
CLIENT PROJECT NO.	-

TITLE
PLANTING PLAN

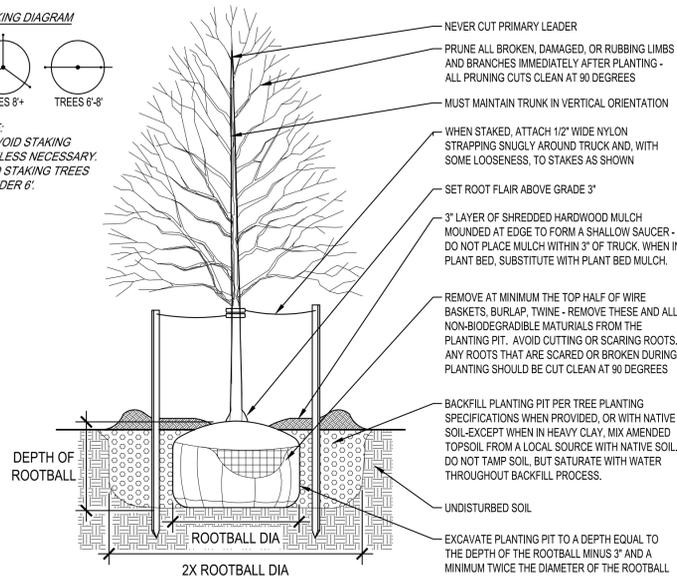
SHEET
C-1



STAKING DIAGRAM



NOTE:
 *AVOID STAKING UNLESS NECESSARY.
 *NO STAKING TREES UNDER 6'.



TREE PLANTING DETAIL

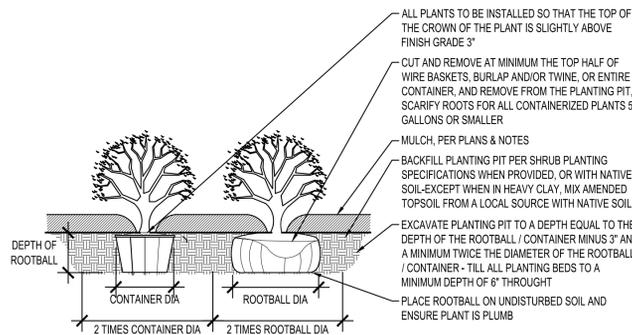
NO SCALE

GENERAL PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- LAWN AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL BE COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- REFER TO PLANTING DETAILS PLAN FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES. REFER TO SPECIFICATIONS FOR MIX TYPE.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNERS REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- OWNER RESERVES THE RIGHT TO REVISE QUANTITIES TO SUIT BUDGET LIMITATIONS. CONTRACTOR'S UNIT BID PRICES SHALL PREVAIL FOR ANY CHANGES IN QUANTITIES.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES. ALL TREES SHALL HAVE A STRONG CENTRAL LEADER.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING BED EDGING - USE 1/8" x 4" METAL EDGING IN ALL AREAS WHERE PLANTING BED MEETS LAWN AREAS OR WHERE INDICATED. USE 12" METAL SPIKES AS INSTRUCTED BY MANUFACTURER.
- PROVIDE SHREDDED HARDWOOD MULCH, NATURAL COLOR, SURROUNDING ALL PROPOSED TREES TO A 3-INCH MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC, IF LOCATED WITHIN A PLANT BED. SUBSTITUTE THIS MULCH WITH THE MULCH CALLED FOR WITHIN THAT PLANT BED. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- PROVIDE SHREDDED HARDWOOD MULCH, NATURAL COLOR, IN AREAS INDICATED ON PLANTING PLAN TO 3-INCH MINIMUM DEPTH. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- PROVIDE ROCK MULCH IN AREAS INDICATED ON PLANTING PLAN TO A 3-INCH MINIMUM DEPTH. USE A PROFESSIONAL GRADE WOVEN WATER PERMEABLE LANDSCAPE FABRIC UNDERLAYMENT. DO NOT USE PLASTIC SHEETING. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- ALL TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED. SOD SECTIONS SHALL BE NO SMALLER THAN 24" X 36" STAKED IN PLACE WITH BIODEGRADABLE SOD STAKES WHEN SLOPE IS STEEPER THAN 5:1 OR WHEN CONDITIONS REQUIRE.
- INDICATED QUANTITIES ARE ESTIMATES AND SHOULD BE CONFIRMED BY THE CONTRACTOR/BIDDER.

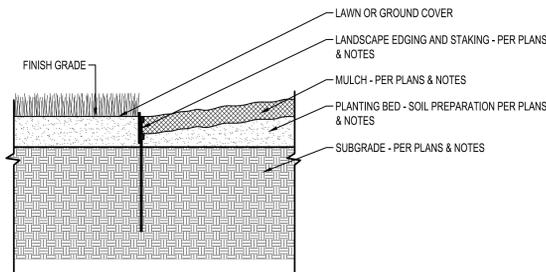
PLANT SCHEDULE

CLIMAX TREE	QTY	COMMON NAME	SIZE	ROOT	NOTE
	2	Maidenhair Tree Ginkgo biloba	2" Cal	B & B	35 pts.
LOW DEC. TREE	QTY	COMMON NAME	SIZE	ROOT	NOTE
	5	Pagoda Dogwood Cornus alternifolia	4" Ht	Cont.	10 pts.
	7	Thornless Cockspear Hawthorn Crataegus crus-galli inermis TM	1-1/2" Cal	B & B	10 pts.
MED. DEC. TREE	QTY	COMMON NAME	SIZE	ROOT	NOTE
	2	River Birch Multi-Trunk Betula nigra	6" Ht	Cont.	15 pts.
POND TREE	QTY	COMMON NAME	SIZE	ROOT	NOTE
	4	Boulevard Linden Tilia americana 'Boulevard'	1-1/2" Cal	B & B	30 pts.
	3	Siouxland Cottonwood Populus deltoides 'Siouxland'	1-1/2" Cal	B & B	30 pts.
TALL DEC. TREE	QTY	COMMON NAME	SIZE	ROOT	NOTE
	1	Armstrong Red Maple Acer rubrum 'Armstrong'	1-1/2" Cal	B & B	30 pts.
LOW DEC. SHRUB	QTY	COMMON NAME	SIZE	ROOT	NOTE
	10	Annabelle Smooth Hydrangea Hydrangea arborescens 'Annabelle'	18" ht.	Cont	1 pt.
	33	Anthony Waterer Spiraea Spiraea x bumalda 'Anthony Waterer'	18" ht.	Cont	1 pt.
LOW EVR SHRUB	QTY	COMMON NAME	SIZE	ROOT	NOTE
	10	Andorra Juniper Juniperus horizontalis 'Plumosa Compacta'	12" Ht	Cont	3 pt.
MED. DEC. SHRUB	QTY	COMMON NAME	SIZE	ROOT	NOTE
	15	Dwarf Winged Euonymus Euonymus alatus 'Compactus'	24" Ht.	Cont	3 pt.
	24	Hedge Cotoneaster Cotoneaster lucidus	24" Ht.	Cont	3 pt.



SHRUB PLANTING DETAIL

NO SCALE



LANDSCAPE EDGING DETAIL

NO SCALE

CITY LANDSCAPE REQUIREMENTS

AS REQUIRED IN THE CITY OF RIB MOUNTAIN, WISCONSIN ZONING CODE.
 ZONED UC URBAN COMMERCIAL

** FOR LOT 2 ONLY **

REQUIREMENTS FOR BUILDING FOUNDATIONS:
 BUILDING PERIMETER = 259'
 104 POINTS REQUIRED (259 / 100 = 2.59, 2.59 x 40 (FROM CODE) = 103.6)
 12 PTS = (4) MED DEC. SHRUBS
 29 PTS = (29) LOW DEC. SHRUBS
 30 PTS = (10) LOW EVRG. SHRUBS

 71 POINTS SHOWN (33 SHORT)
 NOTE: 33 POINTS ADD ALONG RETAINING WALL, (11) MED. DEC. SHRUBS

REQUIREMENTS FOR DEVELOPED LOT:
 GROSS FLOOR AREA = 4142 SF
 41 POINTS REQUIRED (4142 / 1000 = 4.14, 4.14 x 10 (FROM CODE) = 41.4)
 35 PTS = (1) CLIMAX DEC. TREE
 10 PTS = (1) LOW DEC. TREE

 45 POINTS SHOWN

REQUIREMENTS FOR STREET FRONTAGE:
 STREET FRONTAGE = 112'
 45 POINTS REQUIRED (112 / 100 = 1.12, 1.12 x 40 (FROM CODE) = 44.8)
 30 PTS = (1) TALL DEC. TREE
 15 PTS = (1) MED DEC. TREE

 45 POINTS SHOWN

REQUIREMENTS FOR PAVED AREA:
 PAVED AREA = 21,943 SF
 175 POINTS REQUIRED (21,943 / 10,000 = 2.19, 2.19 x 80 (FROM CODE) = 175.2)
 90 PTS = (9) LOW DEC. TREES
 72 PTS = (24) MED. DEC. SHRUBS
 14 PTS = (14) LOW DEC. SHRUBS

 176 POINTS SHOWN

** FOR LOT 1 ONLY **

REQUIREMENTS FOR STREET FRONTAGE:
 STREET FRONTAGE = 174'
 70 POINTS REQUIRED (174 / 100 = 1.74, 1.74 x 40 (FROM CODE) = 69.6)
 35 PTS = (1) CLIMAX TREE
 15 PTS = (1) MED DEC. TREE
 20 PTS = (2) LOW DEC. TREE

 70 POINTS SHOWN

** FOR LOT 3 ONLY **

TREES PLANTED FOR POND AREA ONLY
 210 PTS = (7) TALL DEC. TREE

 210 POINTS SHOWN

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PROJECT

FORE DEVELOPMENT

COMMERCIAL SITE

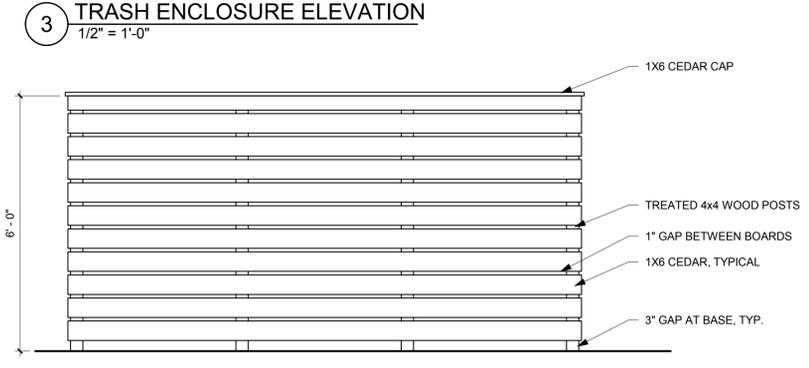
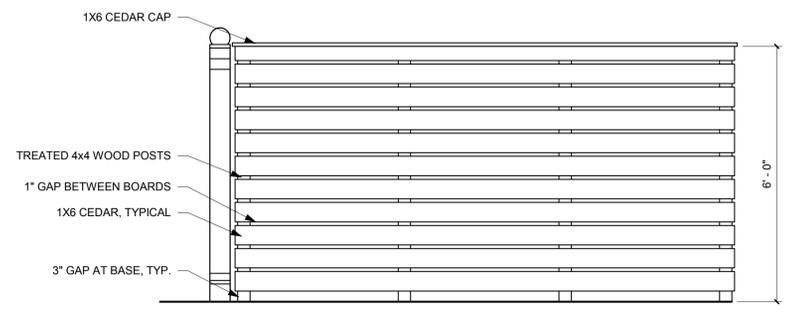
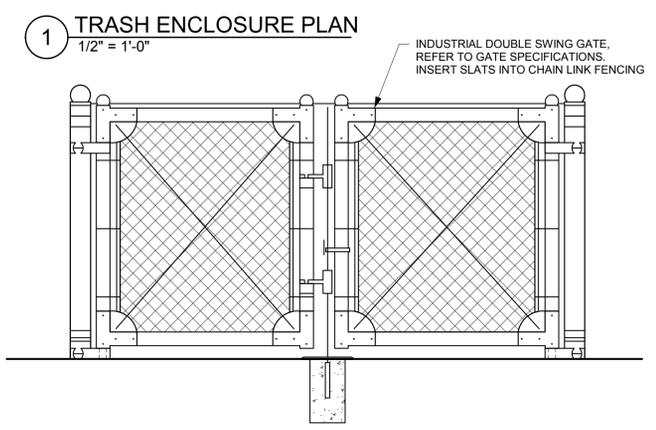
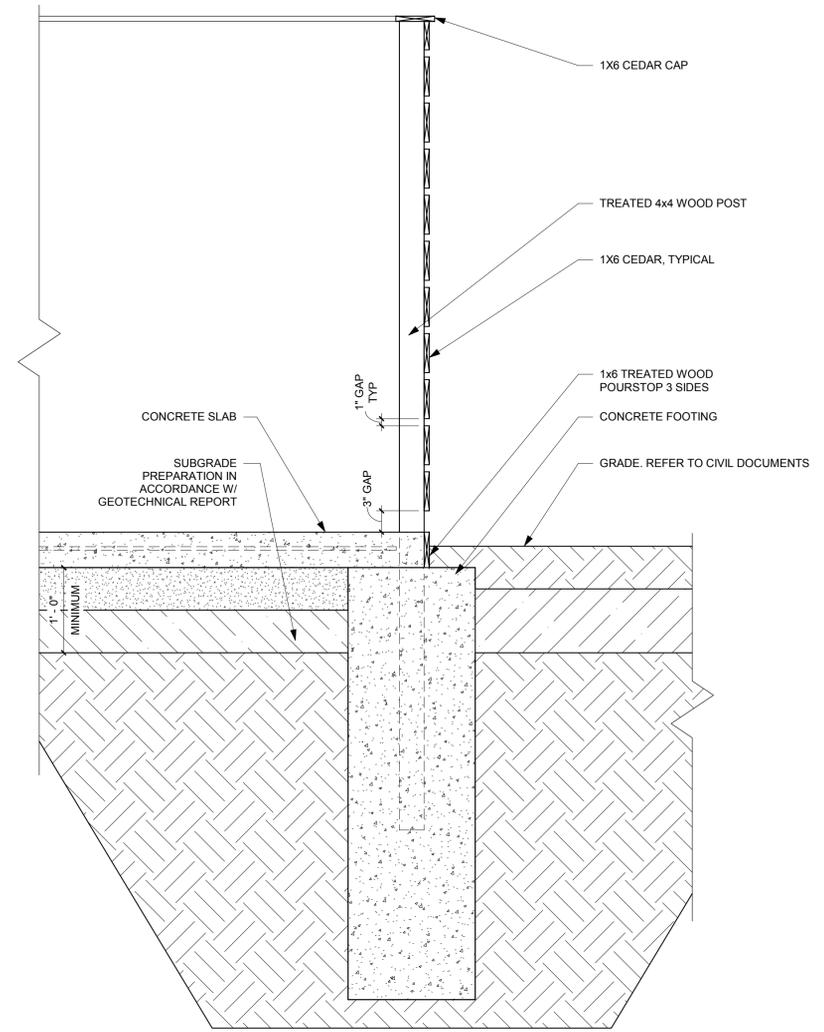
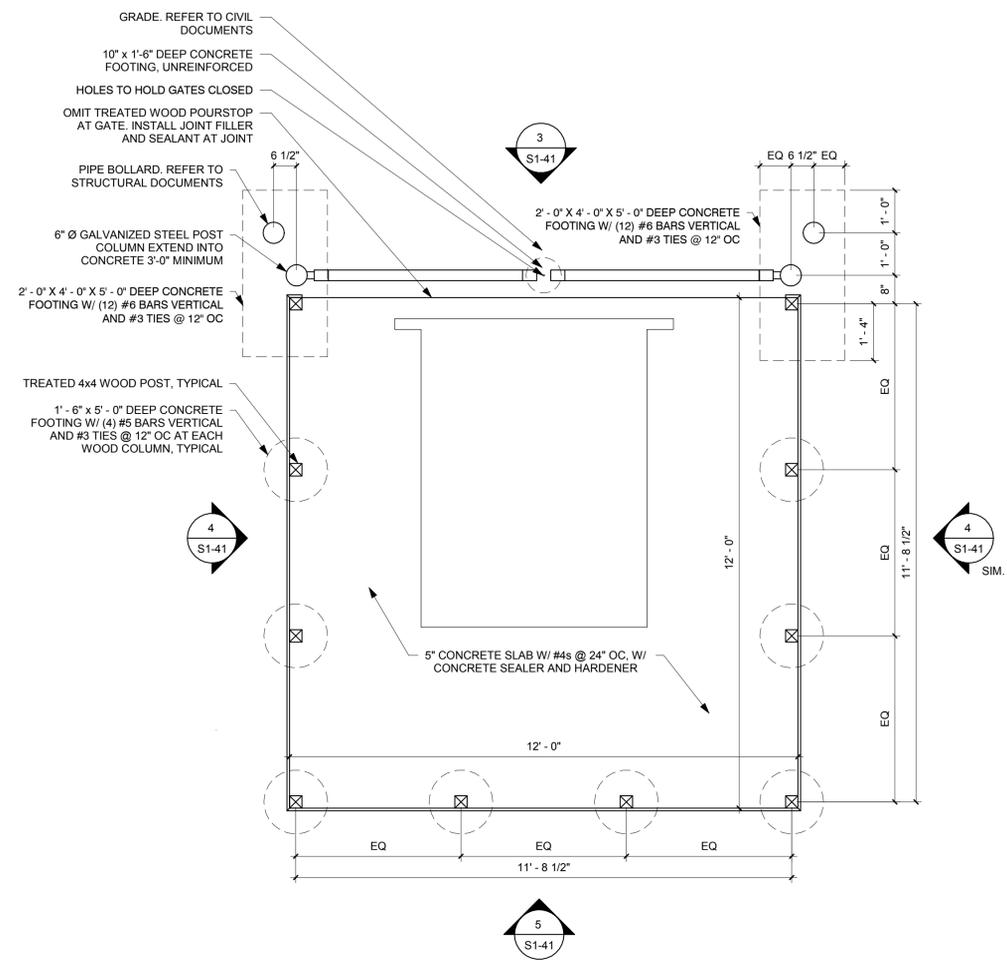
RIB MOUNTAIN WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	18-21552
FILE NAME	21552 LANDSCAPE
DRAWN BY	CT
DESIGNED BY	CT
REVIEWED BY	JF
ORIGINAL ISSUE DATE	7/11/18
CLIENT PROJECT NO.	-

PLANTING SCHEDULE NOTES DETAILS

SHEET



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PROJECT
FORE DEVELOPMENT RETAIL CENTER
RIB MOUNTAIN

WAUSAU WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

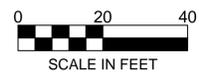
PROJECT NO. 18-21552
 FILE NAME 21552 Arch R18.rvt
 DRAWN BY
 DESIGNED BY
 REVIEWED BY
 ORIGINAL ISSUE DATE
 CLIENT PROJECT NO.

TITLE
TRASH ENCLOSURE DETAILS

SHEET
A5-11



PRELIMINARY NOT FOR CONSTRUCTION

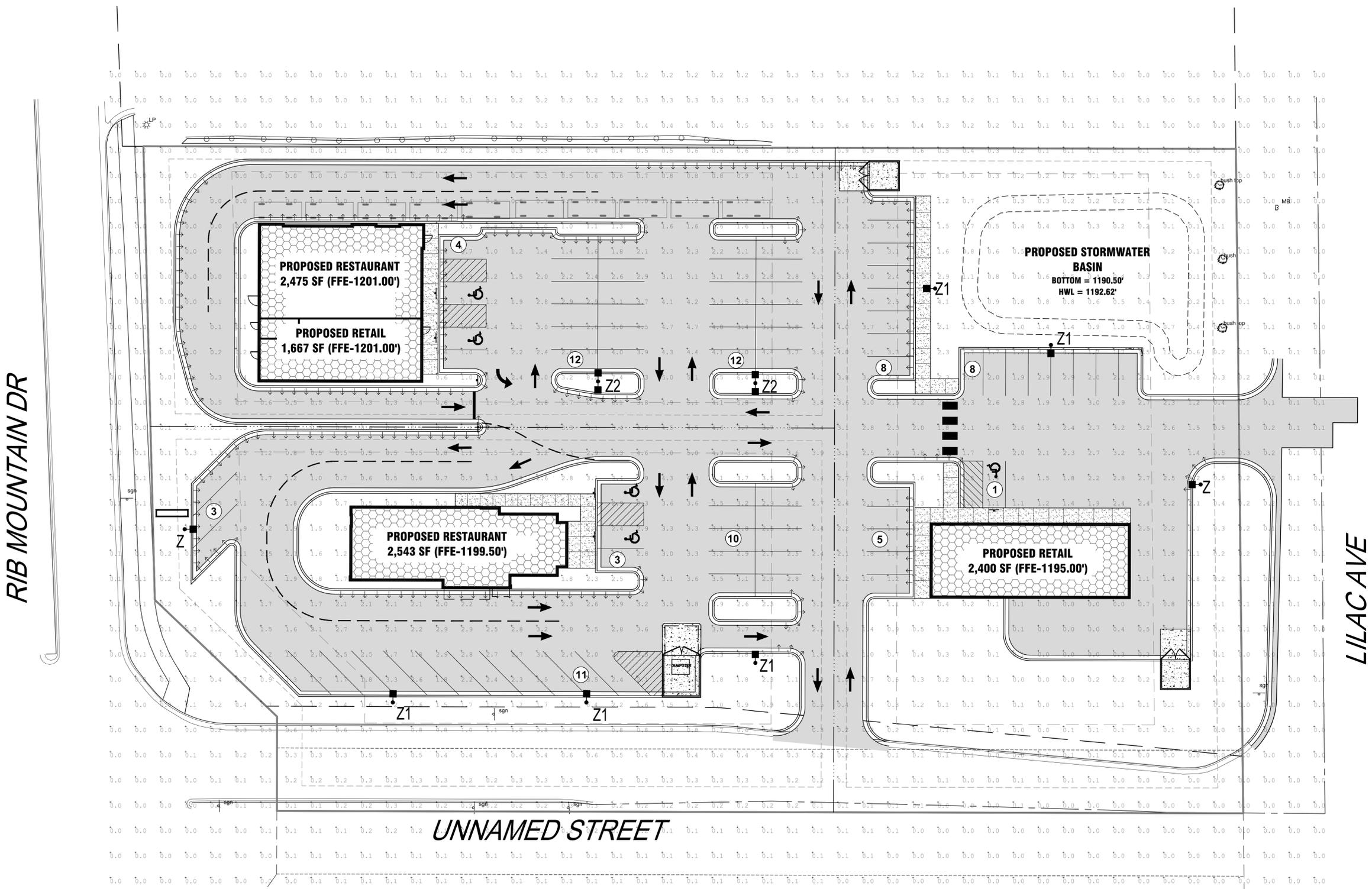


Provide light fixtures as shown on Fixture Schedule. Substitutions shall have prior approval by the Project Engineer before bid date. Being listed as an acceptable Manufacturer in no way relieves the Contractors obligation to provide all equipment and features in accordance with these specifications.

LIGHT FIXTURE SCHEDULE

TYPE	STYLE	MANUFACTURER/MODEL NUMBER	LAMPS	REMARKS
Z	SITE LIGHT SINGLE HEAD SQUARE MOUNTING POLE	BEACON VP-L80NB-180/3K/14/UNV/BLC/BBT BEACON SSS-B-25-40-A-1-B3-BBT	LED	INSTALL ON 25' POLE/BACKLIGHT CONTROL SINGLE FIXTURE 25' MOUNTING POLE
Z1	SITE LIGHT SINGLE HEAD SQUARE MOUNTING POLE	BEACON VP-L80NB-180/3K/14/UNV/BBT BEACON SSS-B-25-40-A-1-B3-BBT	LED	INSTALL ON 25' POLE SINGLE FIXTURE 25' MOUNTING POLE
Z2	SITE LIGHT DUAL HEAD SQUARE MOUNTING POLE	BEACON (2) VP-L80NB-180/3K/14/UNV/BBT BEACON SSS-B-25-20-A-2-B3-BBT	LED	INSTALL ON 25' POLE/DUAL HEADS @ 180 DEG. SINGLE FIXTURE 25' MOUNTING POLE

ALL FIXTURES TO BE FULL CUT OFF



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PROJECT
FORE DEVELOPMENT
COMMERCIAL SITE

RIB MOUNTAIN WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 18-21552
 FILE NAME 21552 LIGHTING
 DRAWN BY RS
 DESIGNED BY RS
 REVIEWED BY JF
 ORIGINAL ISSUE DATE 7/11/18
 CLIENT PROJECT NO. -

TITLE
PHOTOMETRIC PLAN

SHEET
C6-1

VIPER L SERIES LARGE VIPER LUMINAIRE	Cat.#		
	Job	Type	

Specifications
Intended User: The Beacon Viper Luminaire is available in two sizes with a wide choice of different LED wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

Construction:

- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D222 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One piece optical cartridge system consisting of an LED engine, LED lenses, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and microcellular polyurethane foam gasket ensures a weather-proof seal around each individual optic.

Electrical:

- Luminaire accepts 100V through 277V, 50 Hz to 60 Hz (V.A.M), 347V or 480V input.
- Power factor is $\geq .90$ at full load.
- Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls.
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600VAC, 15A or higher, 15A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Surge protection - 20kA.
- Lifesaver™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fall on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

Controls/Options:

- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 300' around the luminaire. When no motion is detected for the specified time, the motion response system reduces the wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration.
- Available with Energeni for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night (see www.beaconproducts.com/products/energeni/).
- In addition, Viper can be specified with **SiteSync™** wireless control system for reduction in energy and maintenance costs while optimizing light quality 24/7. For more details, see ordering information or visit: www.hubbellighting.com/sitesync

Installation:

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.

Finish:

- IPS polyester powder-coat electrostatically applied and thermoset. IPS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super 100° polyester powder coat finish.
- The finish meets the AAMA-2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D222 and resists surface impacts of up to 150 inch pounds.

Listings:

- DesignLights Consortium (DLC) qualified, consult DLC website for more details: <http://www.designlights.org/DLC>.
- Certified to UL 1059 and CSA C22.2 No. 250.0 for wet locations and 40°C ambient temperatures.
- 3G rated for ANSI C136.31 high vibration applications with SP2 mounting.
- IDA approved.
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at: http://www.beaconproducts.com/products/viper_large

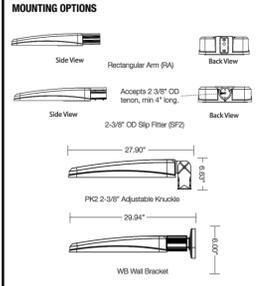
Warranty:

Five year limited warranty for more information visit: www.hubbellighting.com/resources/warranty



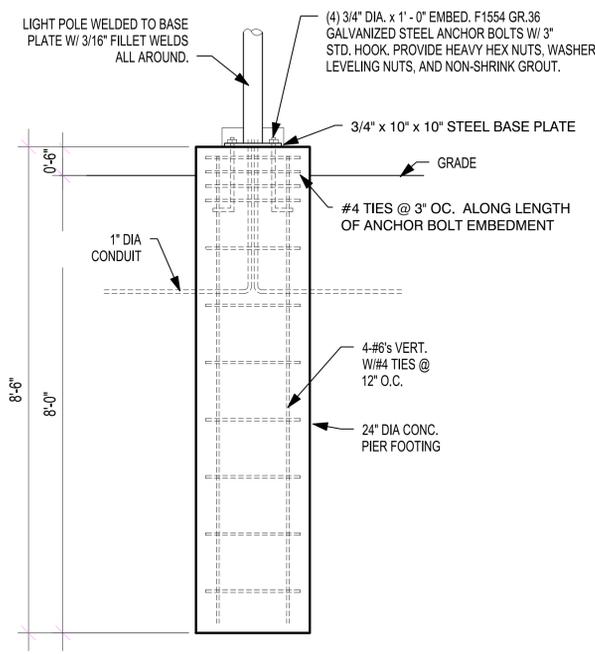
DIMENSIONS

A	B	C	D	Weight	EPA
29.12" (740 mm)	24.19" (614 mm)	14.25" (362 mm)	4.13" (105 mm)	25.0 lbs (11.3 kg)	1.2 ft ²

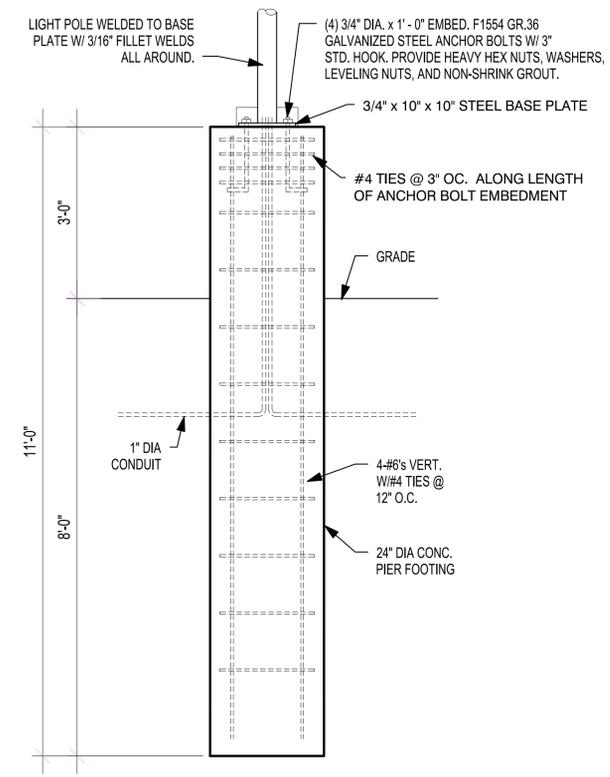


CERTIFICATIONS/LISTINGS

Beacon Products • 2041 58th Avenue Circle East, Bradenton, FL 34203 • Phone: 800-345-4928
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
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** LIGHT POLE BASE INSTALLED AND PROVIDED BY ELECTRICAL CONTRACTOR



** LIGHT POLE BASE INSTALLED AND PROVIDED BY ELECTRICAL CONTRACTOR

LIGHT POLE BASE DETAILS
NTS



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PROJECT
FORE DEVELOPMENT
COMMERCIAL SITE

RIB MOUNTAIN WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	18-21552
FILE NAME	21552 LIGHTING
DRAWN BY	RS
DESIGNED BY	RS
REVIEWED BY	JF
ORIGINAL ISSUE DATE	7/11/18
CLIENT PROJECT NO.	-

TITLE
LIGHTING DETAILS

SHEET
C6-11



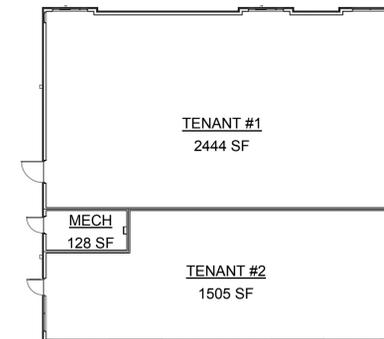
WALL LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION

SHEET NOTES

- ALL INTERIOR PARTITION WALLS SHALL BE WALL TYPE __, UNLESS OTHERWISE NOTED.

KEYNOTE LEGEND

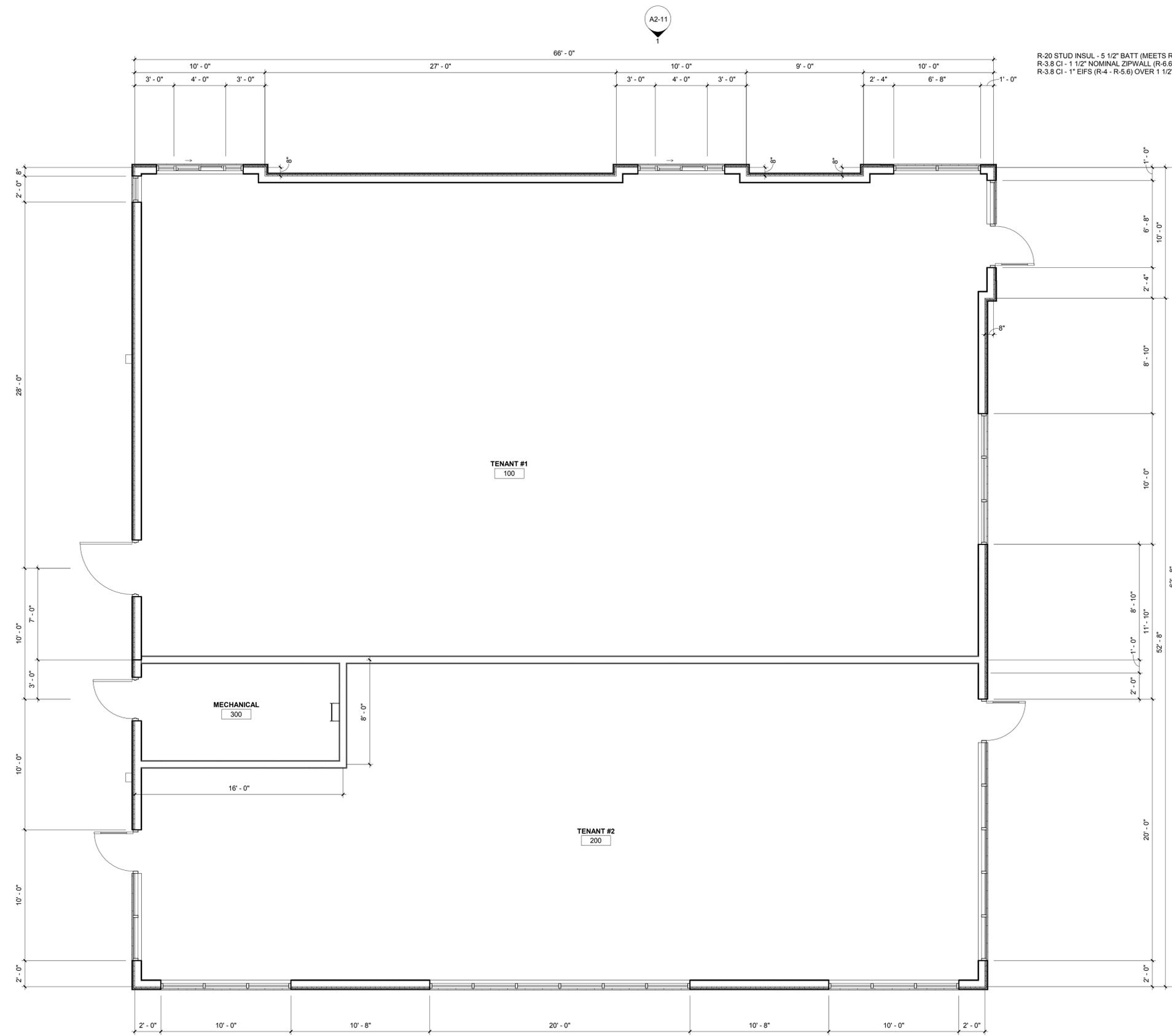


2 FIRST FLOOR LEASABLE AREA PLAN
1/16" = 1'-0"



A2-12

R-20 STUD INSUL - 5 1/2" BATT (MEETS REQUIREMENTS)
R-3.8 CI - 1 1/2" NOMINAL ZIPWALL (R-6.6)
R-3.8 CI - 1" EIFS (R-4 - R-5.6) OVER 1 1/2" NOMINAL ZIP (R-6.6)



1 FIRST FLOOR PLAN
1/4" = 1'-0"



A2-11



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PROJECT

FORE DEVELOPMENT RETAIL CENTER RIB MOUNTAIN

WAUSAU WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	18-21552
FILE NAME	
DRAWN BY	
DESIGNED BY	
REVIEWED BY	
ORIGINAL ISSUE DATE	
CLIENT PROJECT NO.	

TITLE

FIRST FLOOR PLAN

SHEET

A1-21

PRELIMINARY NOT FOR CONSTRUCTION



0 1/4" 1/2" 1" 2"



EXTERIOR FINISH SCHEDULE						
MARK	MATERIAL	MANUFACTURER	PRODUCT	SIZE	COLOR	COMMENTS
CF-1	CAP FLASHING		PREFINISHED METAL CAP FLASHING			
CF-2	CAP FLASHING		PREFINISHED METAL CAP FLASHING			
CF-3	CAP FLASHING		PREFINISHED METAL CAP FLASHING			
CP-1	CANOPY	MAPES				
CS-1	CULTURED STONE	BORAL	CAST FIT STONE	--	PARCHMENT	
DS-1	SCUPPER AND OPEN-FACED DOWNSPOUT	--	--	8" X 16" SCUPPER, 6" X 8" DOWNSPOUT	TO MATCH ADJACENT WALL	
EIFS-1	EIFS					
EIFS-2	EIFS					
MP-1	METAL PANEL				RED	
MP-2	METAL PANEL				CHARCOAL	
PF-1	PREFINISHED METAL FLASHING					
WD-1	WOOD SIDING					

NOTE: GC TO PROVIDE PRODUCT AND COLOR SAMPLES TO OWNER FOR FINAL REVIEW AND APPROVAL PRIOR TO ORDER AND INSTALLATION.



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PROJECT
FORE DEVELOPMENT RETAIL CENTER RIB MOUNTAIN

WAUSAU WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 18-21552
FILE NAME
DRAWN BY
DESIGNED BY
REVIEWED BY
ORIGINAL ISSUE DATE
CLIENT PROJECT NO.

TITLE
EXTERIOR ELEVATIONS

SHEET
A2-11

PRELIMINARY NOT FOR CONSTRUCTION



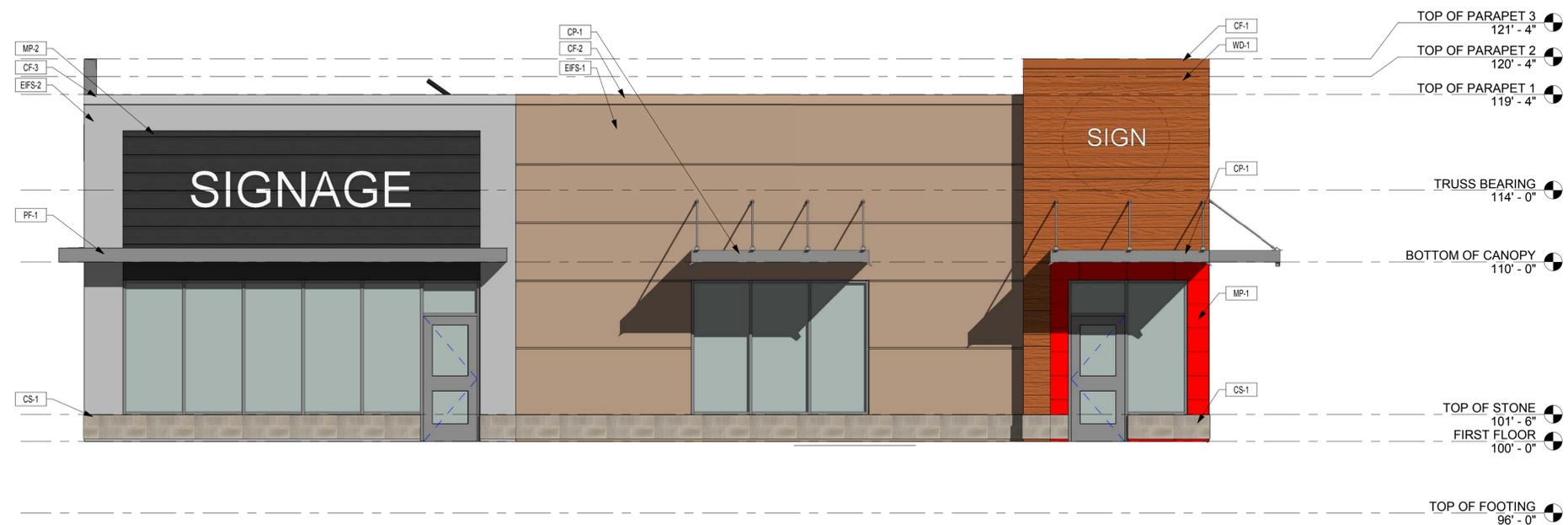


EXTERIOR FINISH SCHEDULE						
MARK	MATERIAL	MANUFACTURER	PRODUCT	SIZE	COLOR	COMMENTS
CF-1	CAP FLASHING		PREFINISHED METAL CAP FLASHING			
CF-2	CAP FLASHING		PREFINISHED METAL CAP FLASHING			
CF-3	CAP FLASHING		PREFINISHED METAL CAP FLASHING			
CP-1	CANOPY	MAPES				
CS-1	CULTURED STONE	BORAL	CAST FIT STONE	--	PARCHMENT	
DS-1	SCUPPER AND OPEN-FACED DOWNSPOUT	--	--	8" X 16" SCUPPER, 6" X 8" DOWNSPOUT	TO MATCH ADJACENT WALL	
EIFS-1	EIFS					
EIFS-2	EIFS					
MP-1	METAL PANEL				RED	
MP-2	METAL PANEL				CHARCOAL	
PF-1	PREFINISHED METAL FLASHING					
WD-1	WOOD SIDING					

NOTE: GC TO PROVIDE PRODUCT AND COLOR SAMPLES TO OWNER FOR FINAL REVIEW AND APPROVAL PRIOR TO ORDER AND INSTALLATION.



1 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



2 EAST EXTERIOR ELEVATION
1/4" = 1'-0"

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PROJECT
FORE DEVELOPMENT RETAIL CENTER RIB MOUNTAIN

WAUSAU WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 18-21552
FILE NAME
DRAWN BY
DESIGNED BY
REVIEWED BY
ORIGINAL ISSUE DATE
CLIENT PROJECT NO.

TITLE
EXTERIOR ELEVATIONS

SHEET
A2-12

PRELIMINARY NOT FOR CONSTRUCTION



REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: July 17, 2018
SUBJECT: General Development and Precise Implementation Plan Review

APPLICANT: ISG Inc., agent
PROPERTY OWNER: Koletsky Trust, represented by Bill Schofield

PROPERTY ADDRESS(S): 4611 Rib Mountain Drive

REQUEST: General Development Plan (GDP) and Precise Implementation Plan (PIP) approval for a restaurant a retail development

CURRENT ZONING: Urban Commercial (UC)
ADJACENT ZONING: UC (North & East); UDD (South & West)
PROPOSED ZONING: UDD

FUTURE LAND USE DESIGNATION: Commercial

NARRATIVE:

The applicant seeks Plan Commission recommendation on a PIP for development of a 4,142 square foot, two-tenant commercial building including a drive-thru restaurant and retail space. This development occurs on proposed Lot 2 of the General Development Plan (GDP) previously reviewed. As part of the PIP the applicant seeks to complete all site improvements to proposed Lot 2 of the GDP, install the stormwater facility intended for all three lots, construct the shared access point from the proposed new public street, install utilities for Lot 2 and service stubs for Lots 1 and 3, and necessary improvements to Lots 1 and 3 to get them pad ready.

PUBLIC BENEFITS OF THE PROPOSAL:

- Redeveloping an underutilized site within the Town’s primary commercial corridor
- Adding new tax base to the Town of Rib Mountain
- Maintaining consistent development within the commercial corridor
- Adding new destinations to Rib Mountain Drive
- Bicycle and pedestrian safety improvements in a planned bike/ped corridor
 - Trail users crossing Rib Mountain Drive from the McDonald’s/Dick’s Sporting Goods/ Days Inn are able to maintain travel off street.

CURRENT LAND USE: Vacant Land

PROPOSED LAND USES: Indoor Sales and Service, Indoor Commercial Entertainment, In-Vehicle Sales and Service

Proposed Site Visitors:

- 1) Employees: 8-12
- 2) Daily Customers: To be Determined

Hours of Operation: 6:00 am – 10:00 pm

Ingress/Egress Access:

- Access to the property is available from an existing private access road proposed to be public as part of this development process. This road is accessible from both Rib Mountain Drive and Lilac Avenue.

Parking (1 space per 300 ft² of floor area + 1 space per employee at largest shift):

- 1) Total Parking Required = 24 spaces
- 2) Total Parking Provided = 28 spaces

Landscaping

- 1) Landscape Surface Ratio
 - Required - 0.10
 - Proposed – 0.44 (entire site)
- 2) Landscape Points
 - Building Foundation
 - Required – 104
 - Provided – 71
 - Developed Area:
 - Required – 41
 - Provided - 45
 - Street Frontage
 - Required – 45
 - Provided – 45
 - Paved Areas or Parking Stalls
 - Required – 175
 - Provided – 176
 - **Total**
 - **Required – 365**
 - **Provided – 337**

ZONING STANDARDS NOT MET BY THE PROPOSAL:

The RMMC requires listing zoning standards not being met by a proposed UDD request for the purpose of helping the Plan Commission by providing information necessary to determine the relative merits of the project in regard to the private vs. public benefits. Below is a list of the staff identified code non-compliances when compared to the traditional zoning district of Urban Commercial:

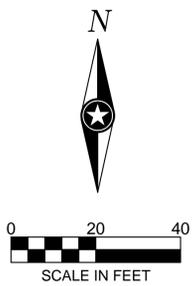
- Small sections of the north property line may have light levels exceeding 0.5
- Proposal calls for a 15-foot-tall monument sign. Typical monument limit is 10 feet in this area.
 - Proposal does call for one monument sign covering all three proposed lots.

ADDITIONAL CONSIDERATIONS:

- Recommend requiring a copy of the shared access agreement permitting Lot 2 access to the south

POSSIBLE ACTION:

1. Recommend approval of the PIP for the property addressed 4611 Rib Mountain Drive, as presented.
2. Recommend approval of the PIP for the property addressed 4611 Rib Mountain Drive, with conditions / modifications.
3. Recommend denial of the PIP for the property addressed 4611 Rib Mountain Drive.



EXISTING PROPERTY LEGAL DESCRIPTION:
 LOT 1, CERTIFIED SURVEY MAP, VOLUME 82, PAGE 97, RECORDED AS DOCUMENT NUMBER 1706866, LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 28 NORTH, RANGE 7 EAST, TOWN OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
 - ALL CURB RADII ARE 5' TO FACE OF CURB UNLESS OTHERWISE NOTED

PAVEMENT LEGEND

SYMBOL	DESCRIPTION
[Pattern]	BITUMINOUS PAVEMENT
[Pattern]	HEAVY DUTY BITUMINOUS PAVEMENT
[Pattern]	CONCRETE PAVEMENT
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	CONCRETE SIDEWALK
[Pattern]	REVERSE PITCH CONCRETE CURB & GUTTER

SITE SUMMARY

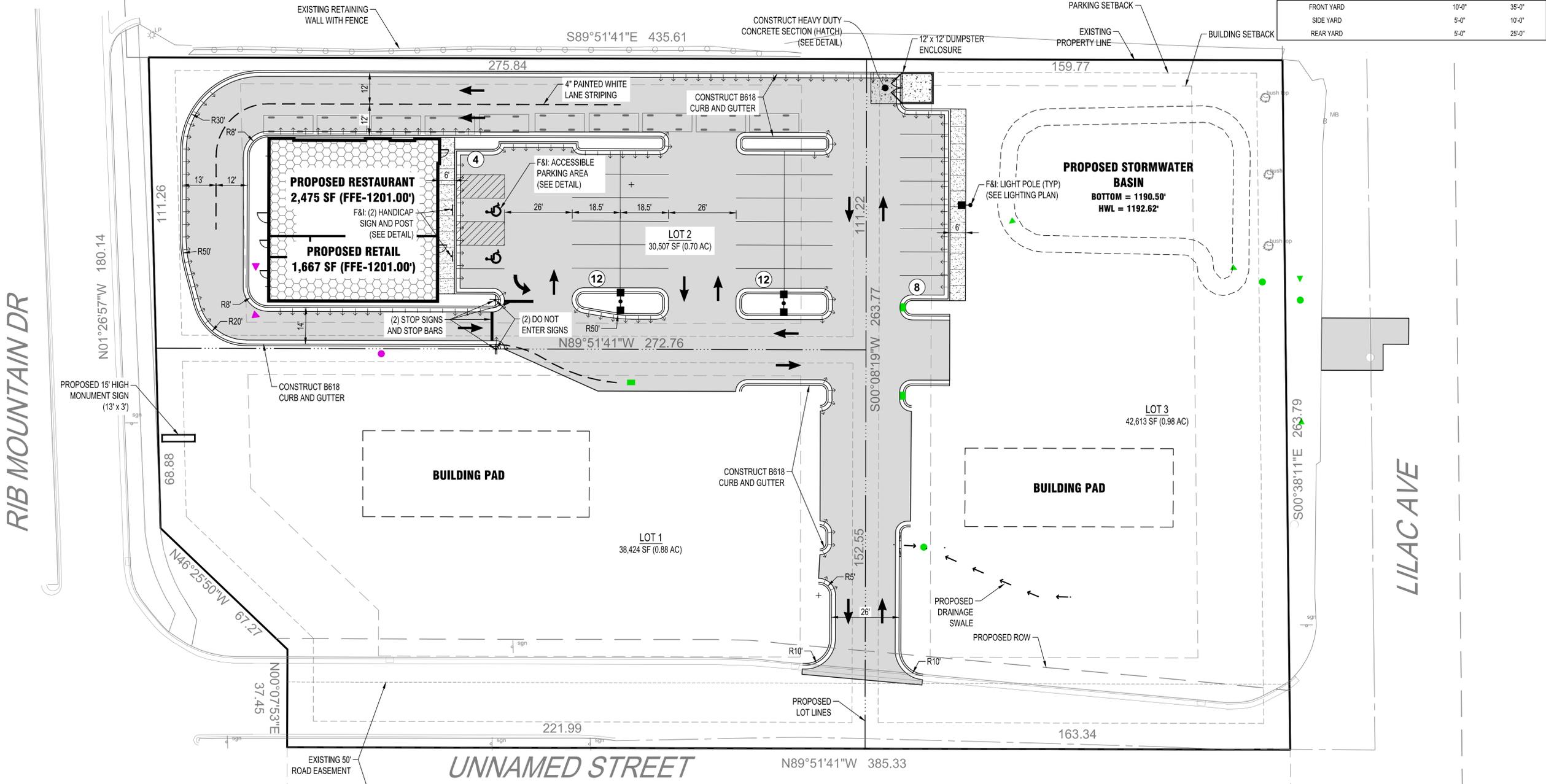
ZONING:	UC (URBAN COMMERCIAL DISTRICT)
LOT 1 TOTAL AREA:	37,501 SQ. FT / 0.86 AC.
LOT 1 IMPERVIOUS:	11,171 SQ. FT / 0.26 AC. (30%)
LOT 1 GREENSPACE:	26,330 SQ. FT / 0.60 AC. (70%)
LOT 2 TOTAL AREA:	29,932 SQ. FT / 0.69 AC.
LOT 2 IMPERVIOUS:	25,470 SQ. FT / 0.59 AC. (85%)
LOT 2 GREENSPACE:	4,462 SQ. FT / 0.10 AC. (15%)
LOT 3 TOTAL AREA:	44,523 SQ. FT / 1.02 AC.
LOT 3 IMPERVIOUS:	9,681 SQ. FT / 0.22 AC. (22%)
LOT 3 GREENSPACE:	34,842 SQ. FT / 0.80 AC. (78%)

PARKING REQUIREMENTS (PER CITY CODE)

TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
LOT 2 (RESTAURANT) (1/300 SF OF GFA)	2,475 SF	9	14
LOT 2 (RETAIL) (1/300 SF OF GFA)	1,667 SF	6	14
LOT 3	0 SF	0	8
TOTAL:		15	36

SETBACKS

	PARKING	BUILDING
FRONT YARD	10'-0"	35'-0"
SIDE YARD	5'-0"	10'-0"
REAR YARD	5'-0"	25'-0"



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PROJECT
FORE DEVELOPMENT
COMMERCIAL SITE

RIB MOUNTAIN WISCONSIN

REVISION SCHEDULE

DATE	DESCRIPTION	BY

PROJECT NO. 18-21552
 FILE NAME 21552 SITE
 DRAWN BY AJR
 DESIGNED BY AJR
 REVIEWED BY JF
 ORIGINAL ISSUE DATE 7/11/18
 CLIENT PROJECT NO. -

TITLE
SITE PLAN

SHEET
C-1

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: July 18, 2018
SUBJECT: Certified Survey Map Review

APPLICANT: ISG INC., agent
PROPERTY OWNER(S): Koletsky Trust

PROPERTY ADDRESS(S): 4611 Rib Mountain Drive
PARCEL #: #34.142807.006.032.00.00.

REQUEST: Certified Survey Map (CSM) approval for a three (3) lot land division.

CURRENT ZONING: Urban Commercial (UC)

PROPOSED ZONING: UDD

FUTURE LAND USE DESIGNATION: Commercial

NARRATIVE:

The applicant seeks Plan Commission recommendation of a CSM to split the property at 4611 Rib Mountain Drive into three parcels to accomplish a proposed redevelopment project. As part of the earlier General Development Plan review discussion, staff notes a recommendation to dedicate 30 feet of right-of-way along the south property line; thus, the acreage amounts identified on the face of the proposed CSM would be slightly less. Having said this, each proposed lot exceeds minimum dimensional standards for parcels within the Urban Commercial zoning district. Also, if the proposed rezoning to UDD is approved, typical dimensional standards are a moot point.

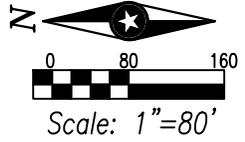
OTHER CONSIDERATIONS:

- Recommend requiring the dedication of 30 feet of right-of-way along the south property line
- Future right-of-way is likely necessary along the east property line; however, the extent of necessary right-of-way is unknown at this time.
- Edit Town signature block on page two to reflect the ‘Town’ of Rib Mountain, rather than Village. Also edit ‘City Clerk’ to read ‘Town Representative.’
- Add a statement to this block indicating “If the survey is not recorded by ____ the Town’s approval shall terminate.”
 - Town’s subdivision ordinance notes if a survey is not recorded within 90 days of being signed, the approval is terminated.

POSSIBLE ACTION:

1. Recommend approval of the Certified Survey Map for the property addressed 4611 Rib Mountain Drive, as presented.
2. Recommend approval of the Certified Survey Map for the property addressed 4611 Rib Mountain Drive, with conditions/modifications.
3. Recommend denial of the Certified Survey Map for the property addressed 4611 Rib Mountain Drive.

CERTIFIED SURVEY MAP NO. _____
 ALL OF LOT 1, CERTIFIED SURVEY MAP VOL. 82, P. 97 DOC#1706866, SECTION
 14, TOWNSHIP 28N, RANGE 7E, TOWN OF RIB MOUNTAIN,
 MARATHON COUNTY, WISCONSIN



LILAC AVENUE

(66' R.O.W.)

(R=S00°46'50"E)
 S00°38'11"E 263.79

BEARING BASIS:

The orientation of this bearing system is based upon the south line of Lot 1, Certified Survey Map Vol. 82, PG. 97. Said line bears North 89 degrees 51 minutes 41 seconds West.

LOT 2, CSM VOL. 82, PG. 97

(R=N89°59'40"E)

S89°51'41"E 435.61

159.77

P.O.B.
 FOUND 1" O.D.
 IRON PIPE

3

42,613 sq.ft.
 0.978 acres

FOUND
 MAGNAIL

163.34

S00°08'19"W 263.77

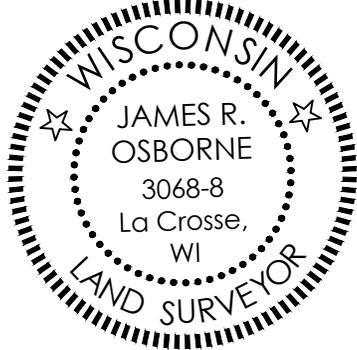
111.22

152.55

N89°51'41"W 385.33

221.99

LOT 2, CSM VOL. 82, PG. 97



AREA TABLE:

Lot 1 = 38,424 Sq. Ft.
 Lot 2 = 30,507 Sq. Ft.
 Lot 3 = 42,613 Sq. Ft.
 Total Area = 111,544 Sq. Ft.

NOTE:

Fieldwork was completed on June 25, 2018.

LEGEND

○ SET 3/4" DIA. x 24" LONG IRON ROD 1.47 LBS/LINEAL FOOT, UNLESS NOTED OTHERWISE

● FOUND 3/4" REBAR, UNLESS NOTED OTHERWISE

50' Ingress and Egress Easement, Per Doc. No. 1655831

FOUND MAGNAIL

(R=N49°34'29"W)
 N46°25'50"W

67.27

(R=N00°00'46"W)
 N00°07'53"E

37.45

111.26

68.88

N01°26'57"W 180.14
 (R=N01°35'29"W)

RIB MOUNTAIN RD.

(WIDTH VARIES)

N89°51'41"W 31.56

WEST LINE, NW 1/4,
 NW 1/4, SEC. 14,
 TWP. 28N, RGE. 7E

DRAFT

CERTIFIED SURVEY MAP



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PROJECT NO.: 18-21552

FILE NAME: 21552 CSM

DRAWN BY: BMA

REVISED:

SHEET 1 OF 2 SHEETS

CERTIFIED SURVEY MAP NO. _____
 ALL OF LOT 1, CERTIFIED SURVEY MAP VOL. 82, P. 97 DOC#1706866, SECTION
 14, TOWNSHIP 28N, RANGE 7E, TOWN OF RIB MOUNTAIN,
 MARATHON COUNTY, WISCONSIN

DESCRIPTION:

Lot 1 Certified Survey Map Volume 82, Page 97, Document Number 1706866, located in the Northwest 1/4 of the Northwest 1/4, Section 14, Township 28 North, Range 7 East, Town of Rib Mountain, County of Marathon, State of Wisconsin, described as follows:

Beginning at the northeast corner of said Lot 1; thence South 00 degrees 38 minutes 11 seconds East, assumed bearing, 263.79 feet, on the west line of Lilac Avenue, to the northeast corner of Lot 2, CSM Vol. 82, Pg. 97; thence North 89 degrees 51 minutes 41 seconds West, 385.33 feet, along the north line of said Lot 2, to the east line of Rib Mountain Drive; thence North 00 degrees 07 minutes 53 seconds East, 37.45 feet; thence North 46 degrees 25 minutes 50 seconds West, 67.27 feet; thence North 01 seconds 26 minutes 50 seconds West, 180.13 feet, to the south line of Lot 2 CSM Vol. 11, Pg. 53; thence South 89 degrees 51 minutes 41 seconds East, 435.61 feet, along said line, to the point of beginning.

CERTIFICATION:

I, James R. Osborne, Professional Land Surveyor, hereby certify that I have surveyed and mapped the lands described hereon, and that this map is a representation thereof, to the best of my knowledge and that I have complied with Chapter 236.34 of the Wisconsin State Statutes as per agreement with XXXXXXXX XXXXXXXX who has requested such survey.

VILLAGE OF RIB MOUNTAIN APPROVAL CERTIFICATE

Resolved that this Certified Survey Map is hereby approved by the Village of Rib Mountain.

Dated this _____ day of _____, 2018.

 City Clerk



DRAFT

	CERTIFIED SURVEY MAP		
	<small>THIS DOCUMENT IS THE PROPERTY OF ISG GROUP, INC. THEY MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.</small>	PROJECT NO.: 18-21552	
	FILE NAME: 21552 CSM		
	DRAWN BY: BMA		
	REVISED:		SHEET 2 OF 2 SHEETS

REPORT TO PLAN COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: October 4, 2017
SUBJECT: Small Scale Extraction Use Standards

APPLICANT: Town of Rib Mountain

REQUEST: Discussion on potential amendments to the Town’s Extraction standards related to small scale operations.

NARRATIVE:

The Plan Commission recently discussed general concepts related to regulating smaller scale nonmetallic mining operations similar to projects approved in 2017. Based on feedback from that discussion, staff began drafting sample ordinance language to accomplish the goals of the Plan Commission. The general idea was to regulate small scale (5 acres) differently than larger scale commercial operations. Attached are staff’s initial ideas for Plan Commission feedback.

POSSIBLE ACTION: No formal action required. Item is for discussion purposes only.

Example Code Language

(d) *Extraction Use, large scale*. Description: Extraction uses include any land uses involving the removal of soil, clay, sand, gravel, rock, minerals, peat, or other material in excess of that required for approved on-site development or agricultural activities **with an activity area larger than 25 percent of the total parcel area or five (5) acres, whichever is smaller, or whose activity duration exceeds five (5) years.**

1. Permitted by Right: Not applicable.
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations {RA-1-35ac, RA-2-35ac}: (Am. #09-05)
 - a. Shall receive approval from Marathon County prior to action by the Town of Rib Mountain, and shall comply with all County, State and Federal regulations.
 - b. Facility shall provide a bufferyard with a minimum opacity of 1.00 along all borders of the property (see [Section 17.150](#)).
 - c. All buildings, structures, and activity areas shall be located a minimum of ~~300 feet from all lot lines~~ **– 50 feet from all lot lines and 200 feet from all occupied buildings.**
 - d. Required site plans shall include detailed site restoration plans, which shall include at minimum, detailed grading and revegetation plans, and a detailed written statement indicating the timetable for such restoration. A surety bond, in an amount equivalent to 110% of the costs determined to be associated with said restoration (as determined by a third party selected by the Town), shall be filed with the Town by the Petitioner (subject to approval by the Zoning Administrator), and shall be held by the Town for the purpose of ensuring that the site is restored to its proposed condition. (The requirement for said surety is waived for waste disposal facilities owned by public agencies.
 - e. Shall comply with [Section 17.225](#), standards and procedures applicable to all conditional uses.
4. Parking Regulations: One space per each employee on the largest work shift.
5. **Exemptions: Bufferyard and setback requirements may be decreased if there is a written and notarized agreement between adjoining property owners filed with Marathon County Land Records for each property deed.**

(e) *Extraction Use, small scale*. Description: Extraction uses include any land uses involving the removal of soil, clay, sand, gravel, rock, minerals, peat, or other material in excess of that required for approved on-site development or agricultural activities but less than or equal to 25 percent of the total parcel area or five (5) acres of disturbed area, whichever is smaller, and whose activity duration does not exceed five (5) years.

1. Permitted by Right: Not applicable.
2. Special Use Regulations: Not applicable.
3. Conditional Use Regulations {RA-1-35ac, RA-2-35ac, RR, OR, CR-5, ER-1}:
 - a. Shall receive approval from Marathon County prior to action by the Town of Rib Mountain, and shall comply with all County, State and Federal regulations.
 - b. Facility shall provide a bufferyard with a minimum opacity of 0.30 along all borders of the property (see [Section 17.150](#)).

c. All buildings, structures, and activity areas shall be located a minimum of 50 feet from all lot lines and 200 feet from all occupied buildings.

d. Required site plans shall include detailed site restoration plans, which shall include at minimum, detailed grading and revegetation plans, and a detailed written statement indicating the timetable for such restoration. A surety bond, in an amount equivalent to 110% of the costs determined to be associated with said restoration (as determined by a third party selected by the Town), shall be filed with the Town by the Petitioner (subject to approval by the Zoning Administrator), and shall be held by the Town for the purpose of ensuring that the site is restored to its proposed condition. (The requirement for said surety is waived for waste disposal facilities owned by public agencies.

e. Shall comply with Section 17.225, standards and procedures applicable to all conditional uses.

4. Parking Regulations: One space per each employee on the largest work shift.
5. Exemptions: Bufferyard and setback requirements may be decreased if there is a written and notarized agreement between adjoining property owners filed with Marathon County Land Records for each property deed.

Additional Notes/Options:

Do we want to include a lot size requirement for small scale extraction (5 acres)?

Current Parcel Distribution:

Parcel Size	Total Parcels	Total Acreage	# Publicly Owned Parcels	Public Acreage	# Privately Owned Parcels	Private Acreage
5+ Acres	457	12316	146	6844	311	5472
10+ Acres	349	11522	140	6103	209	5419
20+ Acres	268	10342	126	5130	142	5212
35+ Acres	205	8662	113	3824	92	4838

Typical decibel level of Extraction related equipment (non-impact) – 85db @ 50 feet

Decibel Damping based on Inverse Square Law is 5-6db when distance is doubled.

EXAMPLE SITE LOCATION



- ### Legend
- Parcel Annotations
 - Parcels
 - Land Hooks
 - Section Lines/Numbers
 - Right Of Ways
 - Municipalities
- 2015 Orthos Rib Mountain
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3

130.95 0 130.95 Feet



User_Defined_Lambert_Conformal_Conic

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Notes

REPORT TO PLANNING COMMISSION

FROM: Steve Kunst, Community Development Director
DATE: July 18, 2018
SUBJECT: Keeping of Chickens in Residential Zoning Districts

APPLICANT: Town of Rib Mountain

REQUEST: Plan Commission input on the Town of Rib Mountain Zoning Ordinance related to the keeping of chickens in residential zoning districts.

NARRATIVE:

Since the Plan Commission’s previous discussion about chickens, more than two (2) years ago, staff and Town Board Supervisors have received numerous requests from residents interested in keeping chickens at their residential property. This item comes to the Plan Commission at the request of the Town Board Chairman.

Currently, the Zoning Ordinance only identifies chickens, poultry, and other typical farm animals under the ‘Husbandry’ land use. This use is typically associated with our agricultural districts, and only available to residential parcels zoned Estate Residential – 1 as a conditional use. With the continued push towards locally sourced, more sustainable food, staff only foresees the number of these requests to continue increasing.

This is by no means a local phenomenon. Communities throughout Wisconsin and the rest of the country are taking a closer look at their regulations and for the most part, relaxing them. Included in this packet is a list of some Wisconsin communities recently addressing the idea of ‘backyard chickens’ and how they elected to handle it. This is by no means a comprehensive list, but should provide a good bit of background. Communities choosing to allow chickens typically permit between 4-8 and have a number of performance standards intended to limit the impacts on neighbors (setbacks, prohibition on roosters, containment, etc.) The intent of this conversation is to get a recommendation from the Plan Commission as to how to move towards allowing chickens in residential districts (ordinance amendments).

POSSIBLE ACTION: No formal action necessary. Staff is seeking general direction at this point.

Location	Are Chickens Allowed in this location	Max Chickens Allowed	Roosters Allowed	Permit Required	Coop Restrictions
Oneida County	Yes	8	No	No	Required Coop & Pen
Green Bay	Yes	4	No	Yes (\$5 annually)	Chickens cannot be kept in a principal structure (home or business) past 8 weeks of age, chickens must be contained and cannot be housed in a front or side yard. Coop must be kept at least 25 ft from any neighboring principal structures.
Marinette	No				
Manitowoc	No				
Sturgeon Bay	Yes	No Limit	Yes	No	None
Fort Atkinson	Yes	6	No	No	None
Jefferson	Yes	4	No	No	The chickens shall be provided with a covered enclosure and must be kept in the covered enclosure or in a fenced enclosure at all times
Turtle	Yes	20 layers, 20 meaties- ZONING ORDINANCES APPLY	No	No	Sanitation, zoning, proximity, and noise restrictions apply.
Stoughton	Yes	4	No	Yes	Yes, Description: A maximum of 4 hen chickens are allowed by right on residentially zoned property with a single family, duplex or twin home residential unit including the following requirements: 1. Regulations: a. No person shall keep chickens without a city license. The license must be renewed annually. b. No chicken coop/run shall be closer than 25 feet to any residential structure on an adjacent lot and shall be located within the rear yard. c. All zoning requirements related to accessory structures are exempt for chicken coops/runs that are less than 65 square feet in area except the minimum setback shall be 4 feet from the side and rear lot line. d. Chicken coops/runs that are 65 square feet and larger in area must conform to the accessory structure requirements of the specific zoning district where located. e. Any electrical work requires an electrical permit through the department of planning and development. f. Chicken's shall not be allowed to be kept within a residential dwelling or garage.
Sheboygan	Yes		Yes	No	
Beloit	Yes	20	No	Yes	6.2.8 LIVESTOCK. (Am. #3240) Livestock, as defined in Section 7.243(1) of the Code of General Ordinances, may be kept in the DH, Development Holding District, provided that all required permits are obtained. A minimum lot area of 5 acres shall be required for the keeping of any livestock. A maximum of one animal unit shall be allowed per full acre of land area of a parcel. One animal unit shall be the equivalent of: one horse or pony, steer, bull, cow, heifer or calf; or 4 swine; or 10 sheep or goats; or 20 chickens, ducks, turkeys or pheasants.
New Berlin	Yes	Up to 4 chickens in a single family dwelling	No	No	No closer than 25 ft to neighboring dwellings and a minimum of five feet from the property line.

Wausau	Yes	na	No	No	Must be kept 300 feet from any residential boundary line and 100 feet from any stream or lake.
Antigo	Yes	2	No	No	Proximity, zoning, building, sanitation, noise ordinances apply.
Milwaukee	Yes	4	No	Yes	<p>Coop location and design</p> <ul style="list-style-type: none"> • Chicken coops shall be constructed in a workmanlike manner, be moisture resistant, and either raised off the ground or placed on a hard surface such as concrete, patio block or gravel. • Chicken coops and yards shall be constructed so they will not have standing water. • Chicken coops shall be cleaned of hen droppings, uneaten feed, feathers and other waste daily and as necessary to ensure a health, odor or other nuisance does not exist. • Chicken coops and yards together shall be large enough to provide at least 16 square feet per chicken. Fenced enclosure space can be added to the coop space to add up to the minimum number of square feet. Coops cannot be taller than 10 feet. Coops cannot exceed 50 sq. ft.. • Enclosures shall not be closer than 25 feet to any residential structure on an adjacent lot. Enclosures shall not be located in the front yard of a dwelling.
Appleton	No				
Madison	Yes	4	No	Yes	coop must be 25' from neighbors
Oshkosh	Yes	4	No	Yes	The coop must be structurally sound, moisture proof and maintained in good repair with sufficient space for freedom of movement and retention of body heat. It should provide a sufficient quantity of suitable clean bedding material. It must be enclosed, predator-proof, free of rodents, insulated, and adequately vented, with elevated perches for natural roosting position. It should have a minimum size of 7 square feet in area or 3 square feet in area per chicken, whichever is greater with 1 nest box for every 2 chickens. It must be at least 25 feet from a neighbor's primary residence, at least 3 feet from the side & rear property lines and at least 5 feet from your residence.